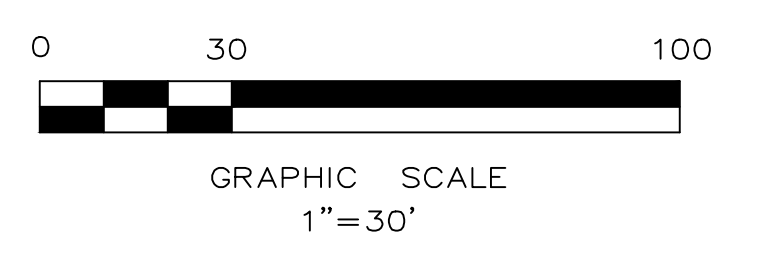




VICINITY MAP
NTS



GRAPHIC SCALE
1"=30'

- LEGEND**
- Fire Lane (Onsite)
 - Fire Lane (Offsite)
 - Proposed Sidewalk
 - Proposed Retaining Wall
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - BFR Barrier Free Ramp

CITY OF MCKINNEY STANDARD NOTES:

Mechanical and Heating and air conditioning equipment in non-residential uses shall be screened from view from the public right-of-way and from adjacent residential properties.

The Lighting for the subject property will be constructed and operated in conformance with Chapter 58 of the City of McKinney Code of Ordinances.

The Sanitation Container Screening Walls Will Be Brick Masonry, Stone Masonry, Or Other Architectural Masonry Finish, Including A Metal Gate, Primed And Painted, And The Sanitation Container Screening Walls, Gate, And Pad Site Will Be Constructed In Accordance With The City Of McKinney Design Specifications. The Sanitation Screening Walls Will Be A Minimum Of 7' In Height.

SYNOPSIS

Address:	Lot 4, Block A Parcel 1502 Addition
Zoning:	C2
Proposed Use:	Self Storage
Lot Area:	2.707 Acres (117,920 sf)
Building Areas:	Building A - 1st Story 45,300 sf 2nd Story 45,300 sf Building B 13,250 sf Building C 4,525 sf Total Bldg Area: 108,375 sf
Lot Coverage:	53.5% (Total Bldg Footprint 63,075 sf)
Floor Area Ratio:	0.92 : 1
Building Heights:	Building A 35' Building B 20' Building C 20'
Required Parking:	Office 1:400 (800/400) = 2 Spcs. Self Storage = 4 Spcs.

Parking Required Total:	6 Parking Spaces
Parking Provided Total:	6 Parking Spaces (1 HC)

ENGINEER:

Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Contact: Jon David Cross, P.E.

ARCHITECT:

BACA
100 North Travis Street, Suite 500
Sherman, Texas 75090
Phone (903) 893-5800
Contact: David Baca, AIA

SURVEYOR:

Ringley & Associates, Inc.
701 S. Tennessee Street
McKinney, Texas 75069
Phone (972) 542-1266
Contact: Lawrence H. Ringley, R.P.L.S.

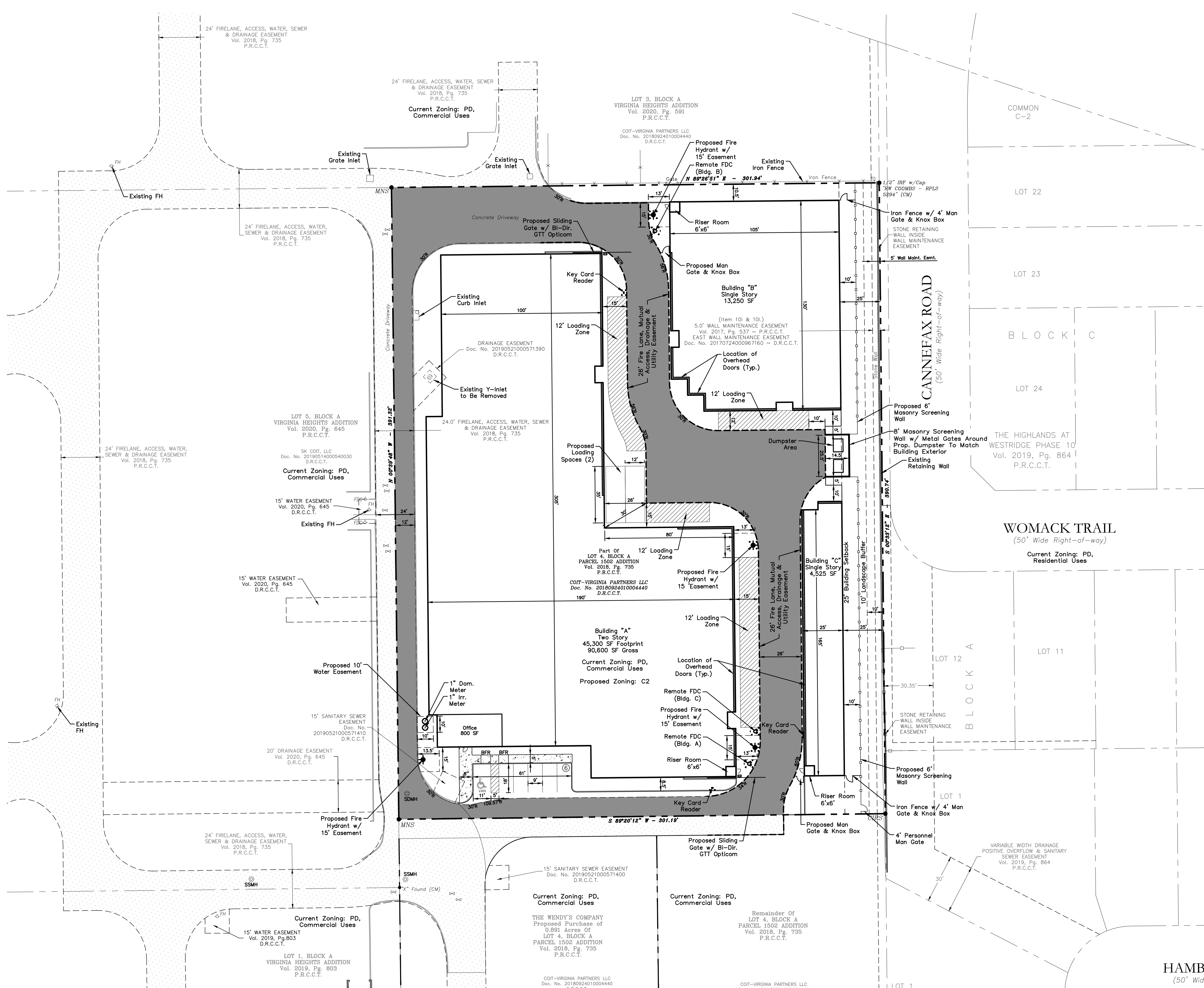
DEVELOPER:

Advantage Storage
2221 Lakeside Blvd, Suite 1260
Richardson, Texas 75082
Phone (972) 547-0236
Contact: Rick Jones

STOP!
CALL BEFORE YOU DIG



(@ least 72 hours prior to digging)



BENCHMARK:

- BM-1 = "X" in south edge of concrete sidewalk on the north side of Virginia Parkway and the west side of a concrete drive entrance south of the subject property. Approximately 237± south of the southwest boundary corner of the subject property. Elev. = 762.74
- BM-2 = "X" in concrete 29.5± south of the southwest corner of the subject property near the center of concrete driveway. Elev. = 764.53
- BM-3 = "X" in south edge of the north concrete driveway approximately 58.5± southeast of the northwest boundary corner of the subject property. Elev. = 759.72

CITY BENCHMARK:

COM-38 = Aluminum Disc in concrete at the SW corner of Virginia Parkway and Peregrine Drive. Elev = 740.77

Issue Dates:	Revision & Date:
1 11/02/2021	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS
1720 W. Virginia Street
972.562.4409
McKinney, Texas 75069
Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=30'

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

SPECIFIC USE PERMIT
ADVANTAGE STORAGE
WEST MCKINNEY
ADVANTAGE STORAGE
CITY OF MCKINNEY, TEXAS

Sheet No.
SUP
Project No.
21067

ADVANTAGE STORAGE WEST MCKINNEY