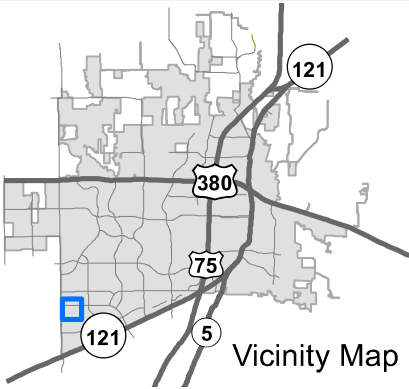
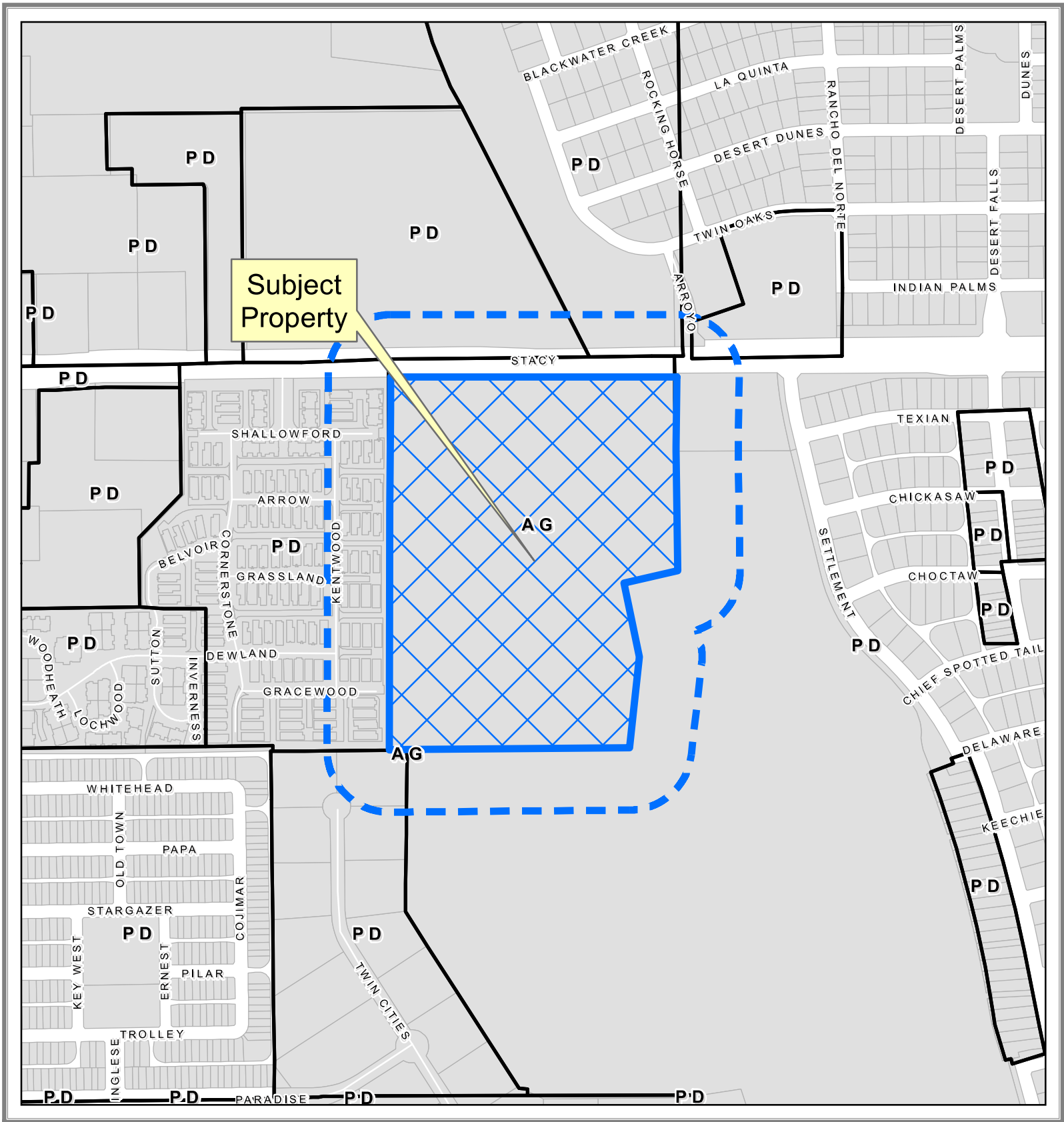
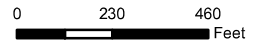


EXHIBIT A



Property Owner Notification Map

zone2021-0117



DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, errors, or variances which may exist.



EXHIBIT B

FIELD NOTE DESCRIPTION

Being a **29.867** acre tract of land located in the G. S. Baccus Survey, Abstract No. 95, in the City of McKinney, Collin County, Texas and being Lot 1, Block 1 of the Minor Plat of McKinney SPCA Addition, an addition to the City of McKinney as recorded in Cabinet M, Page 366, Plat Records, Collin County, Texas and being more particularly described as follows:

BEGINNING at the northeast corner of said Lot 1 and being in the west line of Lot 3, Block A, TPC AT CRAIG RANCH, as recorded in Cabinet P, Page 26, Plat Records, Collin County, Texas;

THENCE along the common line of said Lot 1 and said Lot 3, **SOUTH 00°49'43" EAST** a distance of **353.46** feet to a ½ inch iron rod found for corner and being located in the west line of TPC AT CRAIG RANCH, Lot 1R2, Block A, per plat recorded in Cabinet 2018, Page 781, Plat Records, Collin County, Texas;

THENCE along the common line of said Lot 1 and said Lot 1R2 as follows:

SOUTH 01°09'43" EAST a distance of **358.71** feet to a ½ inch iron rod found for corner;

SOUTH 76°43'43" WEST a distance of **195.11** feet to a point for corner;

SOUTH 12°03'27" EAST a distance of **271.56** feet to a point for corner;

SOUTH 06°32'53" WEST a distance of **330.78** feet to a point for corner;

SOUTH 89°16'37" WEST a distance of **865.22** feet to a ½ inch iron rod found for the southwest corner of said Lot 1 and being an interior ell corner of Lot 22 of the Estates at Craig Ranch West, per plat recorded in Cabinet 2006, Page 254, Plat Records, Collin County, Texas;

THENCE NORTH 00°31'04" WEST a distance of **866.36** feet to a ½ inch iron rod found for corner and being located in the east line of Lot 1, Block A of Wellstone At Craig Ranch, per plat recorded in Cabinet 2007, Page 172, Plat Records, Collin County, Texas;

THENCE continuing along the east line of said Lot 1, Block A of Wellstone At Craig Ranch, **NORTH 00°13'06" WEST** a distance of **484.93** feet to ½ inch iron rod found for the south line of F.M. 720 (Stacy Road) (Variable Width);

THENCE along continuing along the south line of F.M. 720 (Stacy Road) as follows:

NORTH 89°05'48" EAST a distance of **260.96** feet to a ½ inch iron rod found for corner and being the beginning of a curve to the right with a radius of 1335.00 feet and a chord bearing of **SOUTH 89°36'29" EAST**;

ALONG said curve to the right through a central angle of **2°35'26"** for an arch length of **60.36** feet to a ½ inch iron rod found for corner;

SOUTH 88°18'46" EAST a distance of **200.00** feet to a ½ inch iron rod found for corner and being the beginning of a curve to the left with a radius of 1465.00 feet and a chord bearing of **SOUTH 89°36'30" EAST**;

EXHIBIT B

ALONG said curve to the left through a central angle of **2°35'25"** for an arch length of **66.23** feet to a ½ inch iron rod found for corner;

NORTH 89°05'48" EAST a distance of **270.00** feet to a ½ inch iron found for corner and being the beginning of a curve to the left with a radius of 1465.00 feet and a chord bearing of SOUTH 87°49'57" WEST;

ALONG said curve to the left through a central angle of **2°31'41"** for an arch length of **64.64** feet to a ½ inch iron rod found for corner;

NORTH 86°34'07" EAST a distance of **111.75** feet to the **POINT OF BEGINNING**;

CONTAINING within these metes and bounds **29.867** acre or 1,301,023 square feet of land more or less.

EXHIBIT D

DEVELOPMENT REGULATIONS

The subject property (the “Property”) shall be zoned “PD” – Planned Development District. Use and development of the Property shall conform to the regulations contained herein. All provisions contained in the City’s Zoning Ordinance relating to development within the Property which are not in conflict with the provisions contained herein shall continue to apply to the development of the Property.

Tracts. The Property shall be divided into three (3) tracts (collectively, the “Tracts” and each separately, a “Tract”) as shown on the Zoning Exhibit, which Zoning Exhibit identifies the general geographic location of permitted land uses within the Property. Each Tract shall contain the approximate number of acres shown on the Zoning Exhibit, but such acreage may be increased or decreased by 10%.

Concept Plan. A concept plan (“Concept Plan”) for the development of Tracts A and B is attached hereto as Exhibit X.1 which depicts the general location of the private streets, fire lanes and alleys within those tracts and includes street sections attached as Exhibits X.2 and X.3 showing the general location and dimensions of pavement, setbacks, utility placements, landscaping zones, sidewalks and off-street parking.

Landscape Plan. A landscape plan (“Landscape Plan”) for the development of Tracts A and B is attached hereto as Exhibit Y which depicts the general location of placement of canopy trees and ornamental trees. All landscaped areas containing canopy trees shall be contained within an HOA easement which shall be maintained by the HOA. The exact location of the trees shown on the Landscape Plan may vary depending upon conflicts with required infrastructure, but the total number of trees set forth on the Landscape Plan shall be required.

Tract A. The regulations set forth below shall apply to development within Tract A shown on the Zoning Exhibit.

1. Permitted Uses:

- 1.1. Single Family Dwelling (attached);
- 1.2. Single Family Dwelling (detached);
- 1.3. Two Family Dwelling (duplex);
- 1.4. Assisted Living Facility, Nursing Home or Rest Home;
- 1.5. Accessory Building or Use;
- 1.6. Swimming Pool (private);
- 1.7. Garage or Lot (private);
- 1.8. Parking Incidental to Main Use;
- 1.9. Private Street Development.

2. Temporary Uses

- 2.1. Field Office or Real Estate Sales Office.

3. Space Limits

EXHIBIT D

- 3.1. Minimum Lot Area: 1580 sq ft;
 - 3.2. Minimum Lot Width: 22’;
 - 3.3. Minimum Lot Depth: 72’;
 - 3.4. Minimum Front Yard Setback: 10’;
 - 3.5. Minimum Rear Yard Setback: 5’;
 - 3.6. Minimum Space Between Buildings: 10’
 - 3.7. Minimum Side Yard Setback: 10’
 - 3.8. Minimum Side Yard Setback of Corner Lots: 15’;
 - 3.9. Maximum Height of Structure: 45’ (three stories), except that a maximum building height of 35’ (two stories) shall be observed if the single family residential structure is within 270’ of the southern Property line or within 100’ of the western Property line;
 - 3.10. Maximum Density (dwelling units per gross acre): 8.0.
4. Parking
 - 4.1. Rear driveways for town homes shall conform to the location and dimensions shown in Exhibits X.2 and X.3.
5. Landscaping
 - 5.1. In lieu of the requirement of Section 146-135(f)(15), trees shall be planted according to the type (canopy or ornamental), in the amounts and generally within the areas depicted and subject to the conditions noted in Exhibit Y.
6. Open Space
 - 6.1. The requirements of Section 146-135(f)(17) shall not apply.
- Tract B. The regulations set forth below shall apply to development within Tract B shown on the Zoning Exhibit.
1. Permitted Uses:
 - 1.1. Independent Living Facility (retirement community);
 - 1.2. Multiple Family Dwelling (apartment);
 - 1.3. Multiple Family Dwelling Senior (senior apartments);
 - 1.4. Single Family Dwelling (attached);
 - 1.5. Assisted Living Facility, Nursing Home, or Rest Home;
 - 1.6. Accessory Building or Use;
 - 1.7. Swimming Pool (private);
 - 1.8. Garage or Lot (private);
 - 1.9. Parking Incidental to Main Use;
 - 1.10. Private Street Development.
 2. Temporary Uses
 - 2.1. Field Office or Real Estate Sales Office.

EXHIBIT D

3. Space Limits

- 3.1. Minimum Lot Area: 2400 sq ft per unit;
- 3.2. Minimum Lot Width: 60’;
- 3.3. Minimum Lot Depth: 100’;
- 3.4. Minimum Front Yard Setback from public thoroughfare: 35’ and from private street: 15’;
- 3.5. Minimum Rear Yard Setback: 25’;
- 3.6. Minimum Side Yard Setback of Corner Lots: 6’;
- 3.7. Maximum Height of Structure: 55’ (four stories), except that a maximum building height of 45’ (three stories) shall be observed if the multi-family residential structure is within 270’ of the southern Property line or within 375’ of the western Property line;
- 3.8. Maximum Lot Coverage: 50%;
- 3.9. Maximum Density (dwelling units per gross acre): 18.0;
- 3.10. Single Family Dwelling shall follow the same space limits provided for Tract A.

4. Parking

- 4.1. The required off street parking shall be calculated at 1 space for each bedroom with an additional 0.2 parking spaces per unit;
- 4.2. The required number of enclosed parking spaces shall be a minimum of 30% of the total number of units and the additional 0.5 parking space for each enclosed space with a garage door is not required;
- 4.3. The required number of covered parking spaces (carports) shall be not less than the number required to bring both enclosed and covered parking spaces to 50% of the total number of units and may be constructed of steel frame with gabled standing seam metal roofs supported by steel columns clad in metal or painted wood.

5. Residential Site Design

- 5.1. The project shall contain no less than seven (7) amenities of the type required in Section 146-139(f)(2) of the Zoning Ordinance, as amended.

6. Landscape Requirements

- 6.1. The landscape buffer and canopy trees required by Section 146-135(f)(13) shall not apply except for the street frontage along Stacy Road which shall have a 20’ landscape buffer and one canopy tree for every 30 linear feet.
- 6.2. Within all other areas in Tract B, trees shall be planted according to the type (canopy or ornamental), in the amounts and generally within the areas depicted and subject to the conditions noted in Exhibit Y.

7. Screening

- 7.1. No screening walls shall be required along the sides or rear property lines.

EXHIBIT D

Tract C. The regulations set forth below shall apply to development within Tract C shown on the Zoning Exhibit.

1. Permitted Uses

- 1.1. Assisted Living Facility, Nursing Home, or Rest Home;
- 1.2. Clinic;
- 1.3. Day-care;
- 1.4. Accessory building or use;
- 1.5. Amusement, commercial (indoor);
- 1.6. Fitness club, gymnasium, exercise area or similar use;
- 1.7. Country club;
- 1.8. Golf course (private);
- 1.9. Parking incidental to main use;
- 1.10. Banks and financial institutions;
- 1.11. Drug store, pharmacy;
- 1.12. Office building;
- 1.13. Offices with showroom;
- 1.14. Office use;
- 1.15. Personal service;
- 1.16. Retail store (indoor);
- 1.17. Restaurant or cafeteria (carry out only);
- 1.18. Restaurant or cafeteria (indoor service and/or drive-through window);
- 1.19. Restaurant or cafeteria (drive-in service);
- 1.20. Travel agent.

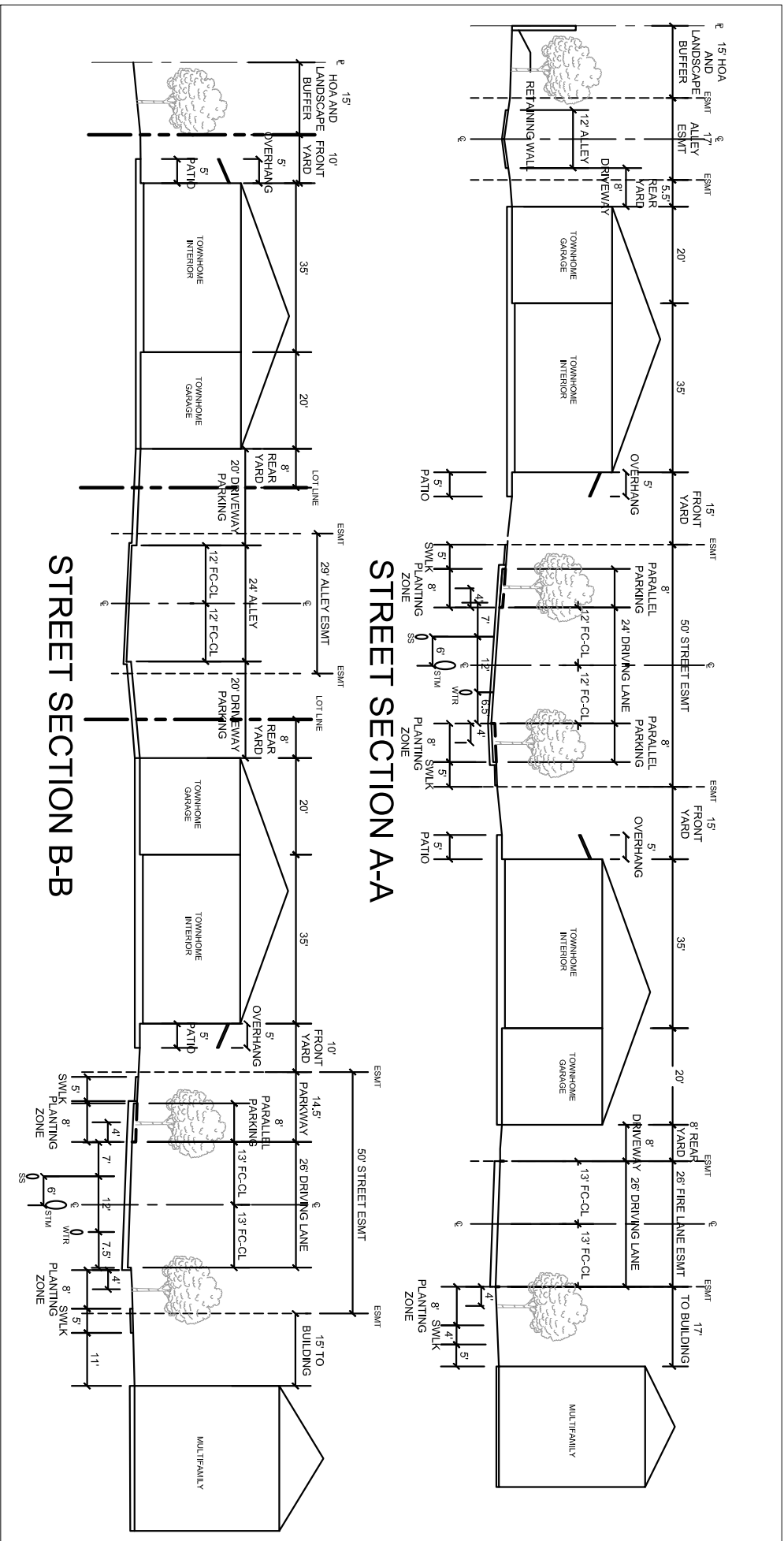
2. Temporary Uses

- 2.1. Field Office or Real Estate Sales Office.

3. Space Limits

- 3.1. Minimum Lot Area: 10,000 sq ft;
- 3.2. Minimum Lot Width: 50';
- 3.3. Minimum Lot Depth: 50';
- 3.4. Minimum Front Yard Setback: 20';
- 3.5. Minimum Rear Yard Setback: 0';
- 3.6. Minimum Side Yard Setback: 0';
- 3.7. Maximum Height of Structure: 45';
- 3.8. Maximum Lot Coverage: 70%.

EXHIBIT D



NOT TO SCALE

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LAST SAVED

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Stacy Road SPCA
EXHIBIT X.2 - STREET SECTIONS
McKinney, Texas
March 2022

Kimley-Horn
13455 Neal Road, Suite 700
Dallas, Texas 75240
972.704.1900
State of Texas Registration No. F-928
KIMLEY-HORN AND ASSOCIATES, INC.
A PROFESSIONAL ENGINEERING FIRM
THE ENGINEERING BOARD FOR ARCHITECTS, ENGINEERS AND SURVEYORS OF THE STATE OF TEXAS

EXHIBIT D

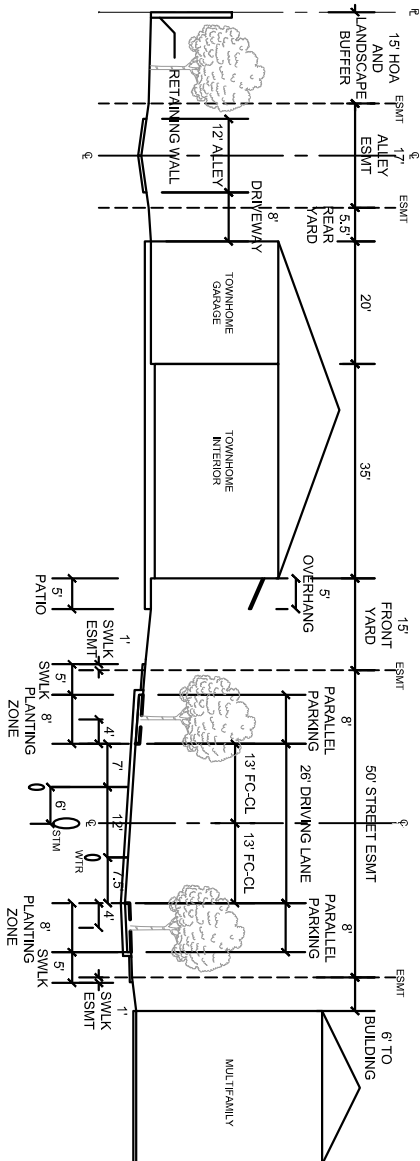
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Stacy Road SPCA EXHIBIT X.3 - STREET SECTIONS McKinney, Texas March 2022

NOT TO SCALE

STREET SECTION D-D



STREET SECTION C-C

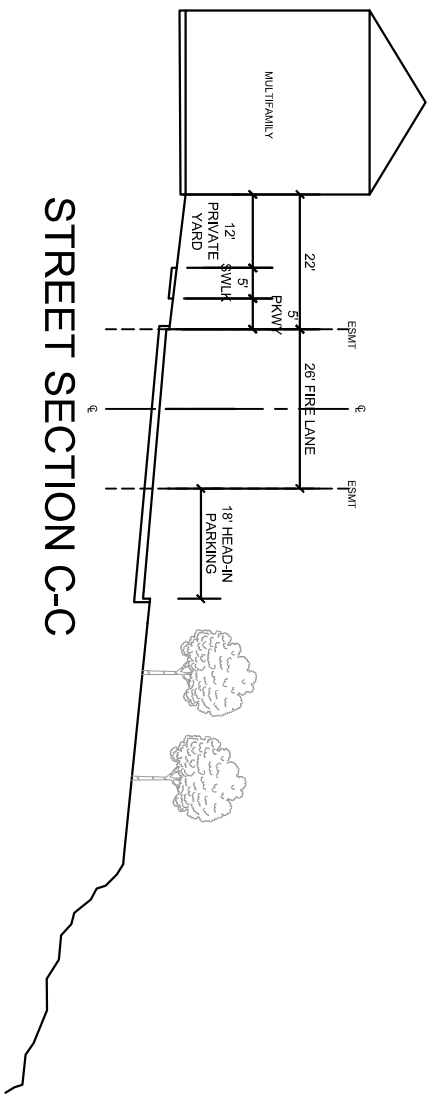


EXHIBIT D

