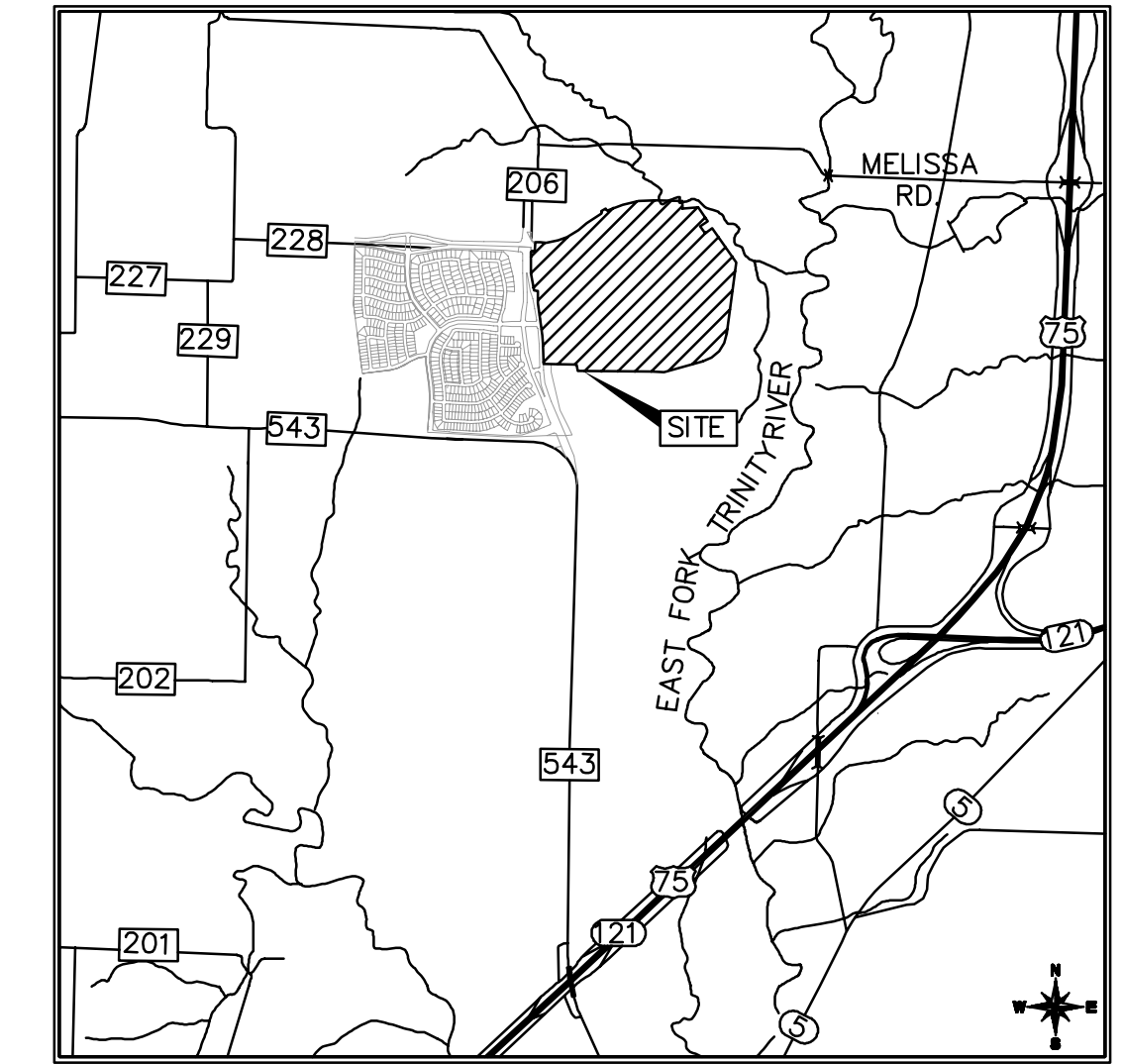
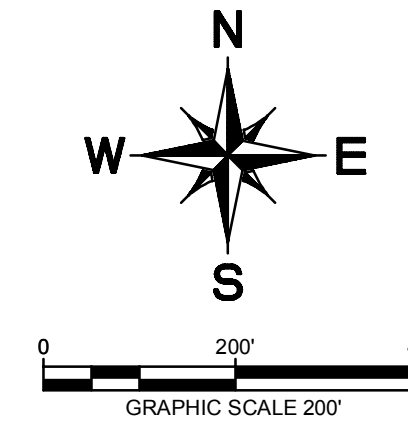


PLANNED BY: WASHINGTON, JACKSON, AND ASSOCIATES, INC. DATE: 4/16/14  
 DRAWN BY: KJR/CV/ML/MS/SM TRINITY FALLS DWG# 14-084PF PRELIMINARY PLANS (NEIGHBORHOOD EXHIBIT)  
 LAST SAVID: 4/16/2014 12:24 PM  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.



VICINITY MAP



SECOND TRACT  
 HERITAGE FARM TRUST  
 C.C.# 98-0084317  
 D.R.D.C.T.

EXISTING  
 CR 206

EXISTING TRINITY FALLS PKWY

EXISTING  
 TRINITY FALLS  
 PLANNING UNIT 1

CH-B TRINITY FALLS, L.P.  
 INST. NO. 201202290002346  
 L.R.C.C.T.

NEIGHBORHOOD LOT COUNT TABLE

	N1	N2	N3	PREVIOUSLY APPROVED PRELIMINARY PLATS	PROJECT TOTAL
SFD - 45	0	0	0	0	0
SFD - 57.5	0	186	0	249	435
SFD - 65	83	60	0	157	300
OTHER *	84	0	50	121	255
<b>TOTAL</b>	<b>167</b>	<b>246</b>	<b>50</b>	<b>527</b>	<b>990</b>

\* THESE LOTS TO MEET OR EXCEED THE REQUIREMENTS FOR SFD-65.

CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.

**NEIGHBORHOOD EXHIBIT  
 FOR  
 TRINITY FALLS  
 PLANNING UNIT #2**

463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
 COLLIN COUNTY, TEXAS

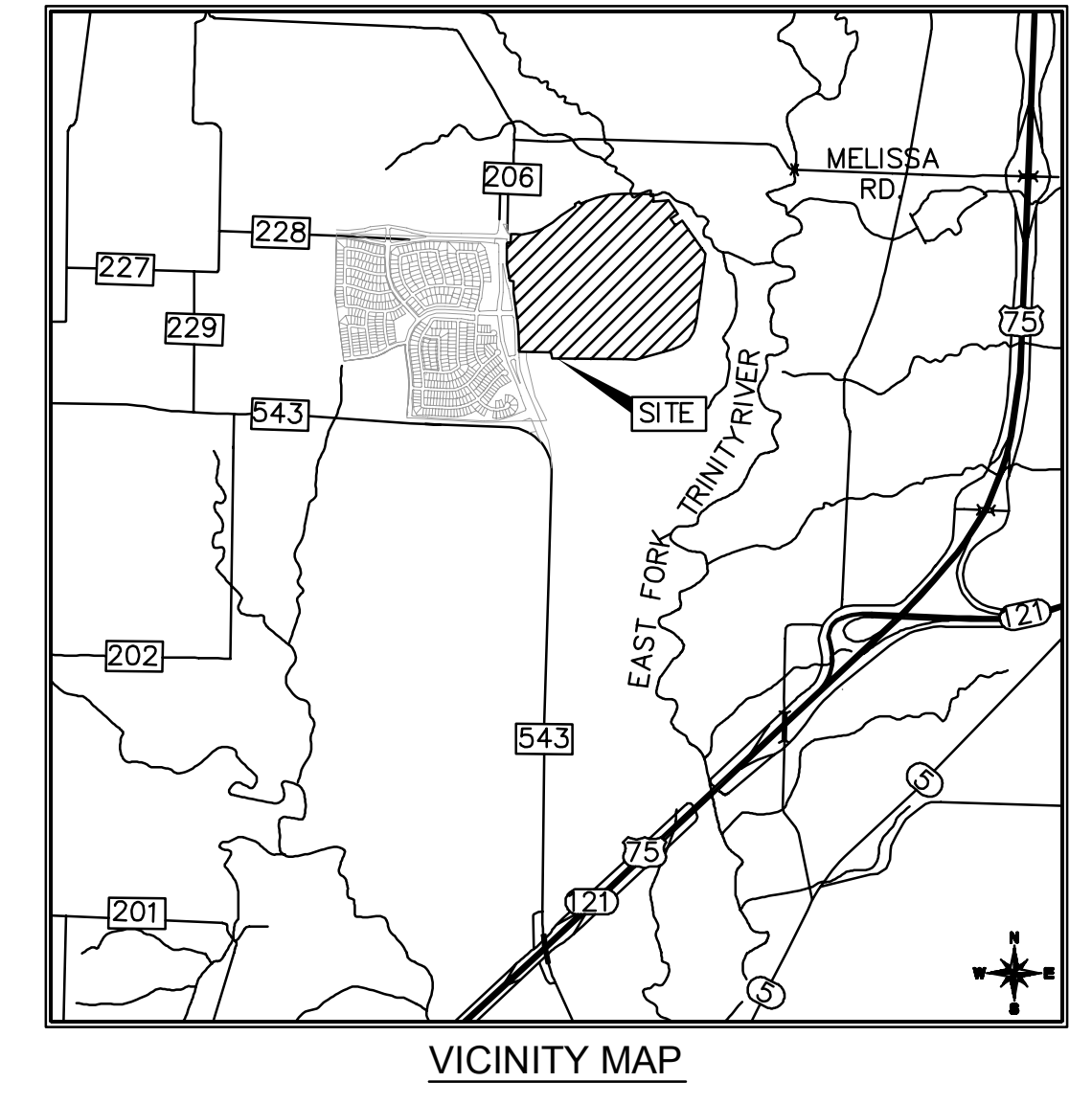
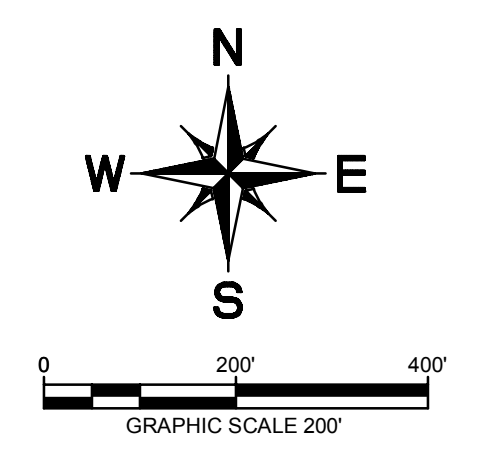
**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates 5750 Genesis Ct, Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
--	--	--

DESIGNED PDM	DRAWN JW	CHECKED RLK	SCALE AS SHOWN	DATE APRIL 2014	KHA PROJECT NO. 088150018	1
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**RECEIVED**  
 By Planning Department at 4:18 pm, Apr 16, 2014

PLOTTED BY: W/SHARON JACKSON, 4/16/2014 1:54 PM  
 DRAWN BY: KJRU (CVL) 6/25/2014 10:00 AM - TRINITY FALLS DWG/P2/PL2/RELI/MIN/PLAN/SETBACK/LX/1001/DWG [Setback Exhibit]  
 LAST SAVID: 4/16/2014 12:24 PM  
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.



SECOND TRACT  
 HERITAGE FARM TRUST  
 C.C.# 98-0084317  
 D.R.D.C.T.

CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.

CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.

SETBACK EXHIBIT  
 FOR  
**TRINITY FALLS**  
 PLANNING UNIT #2  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
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CITY OF MCKINNEY PROJECT NO. 14-084PF

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates 5750 Genesis Ct, Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
--	--	--

DESIGNED	DRAWN	CHECKED	SCALE	DATE	KHA PROJECT NO.	
PDM	JW	RLK	AS SHOWN	APRIL 2014	088150018	1

# PRELIMINARY/FINAL PLAT

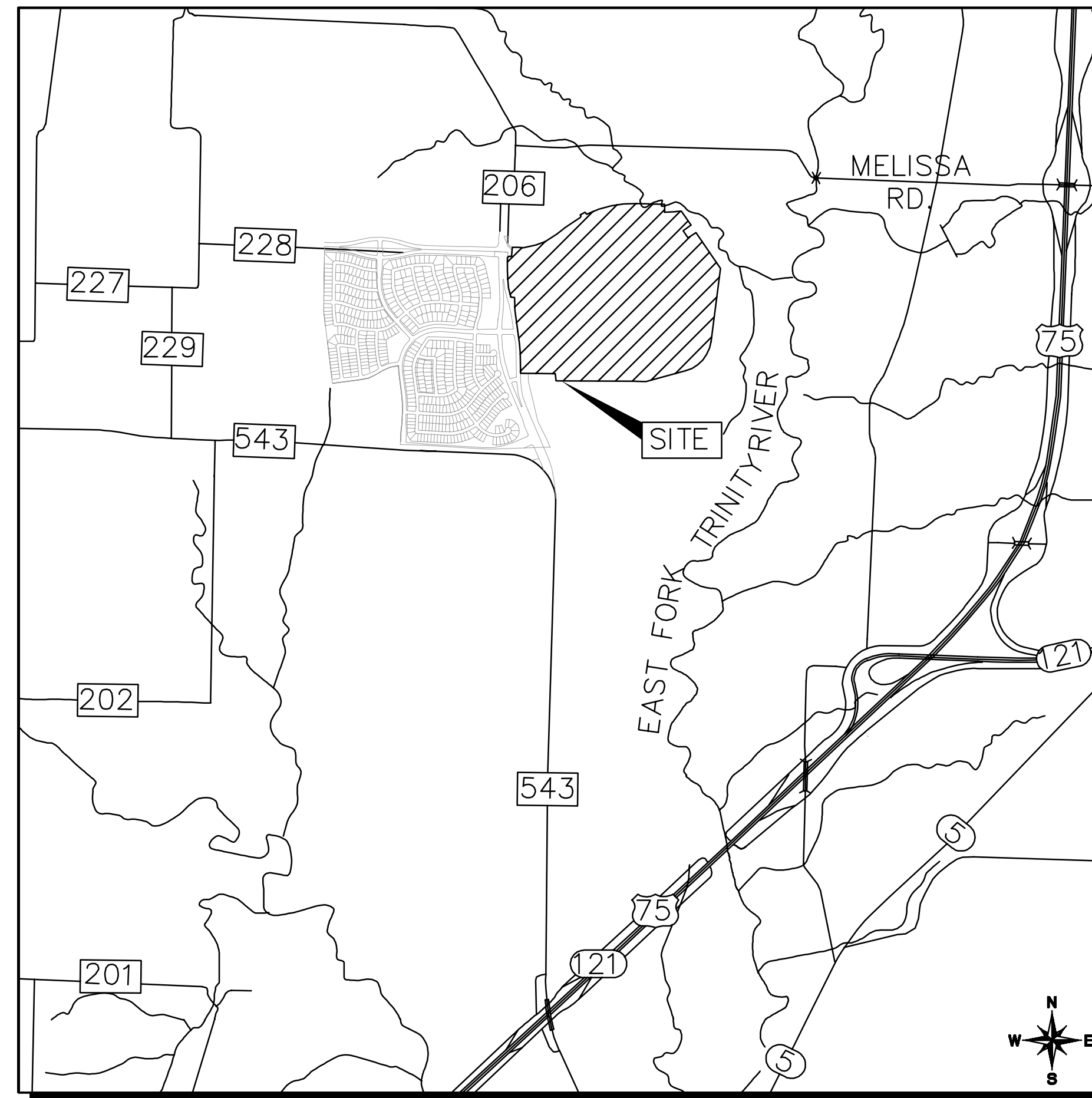
# TRINITY FALLS PLANNING UNIT #2

# MCKINNEY ETJ, COLLIN COUNTY, TEXAS



### PLAN SUBMITTAL/REVIEW LOG

FIRST SUBMITTAL TO CITY OF MCKINNEY	03/24/2014
SECOND SUBMITTAL TO CITY OF MCKINNEY	04/07/2014
THIRD SUBMITTAL TO CITY OF MCKINNEY	04/16/2014



LOCATION MAP

## APRIL 2014

### SHEET INDEX

SHEET NO.	DESCRIPTION	DATE	REVISION
G-1	COVER SHEET	04/16/2014	
G-2	MATCHLINE EXHIBIT	04/16/2014	
P-1	PRELIMINARY PLAT	04/16/2014	
P-2	PRELIMINARY PLAT	04/16/2014	
P-3	PRELIMINARY PLAT	04/16/2014	
P-4	PRELIMINARY PLAT	04/16/2014	

### ENGINEER

**Kimley-Horn and Associates, Inc.**  
STATE OF TEXAS REGISTRATION NO. F-928  
5750 GENESIS COURT, SUITE 200  
FRISCO, TX 75034  
TEL. 972.335.3580  
CONTACT: RUSSELL L. KENNEDY, P.E.

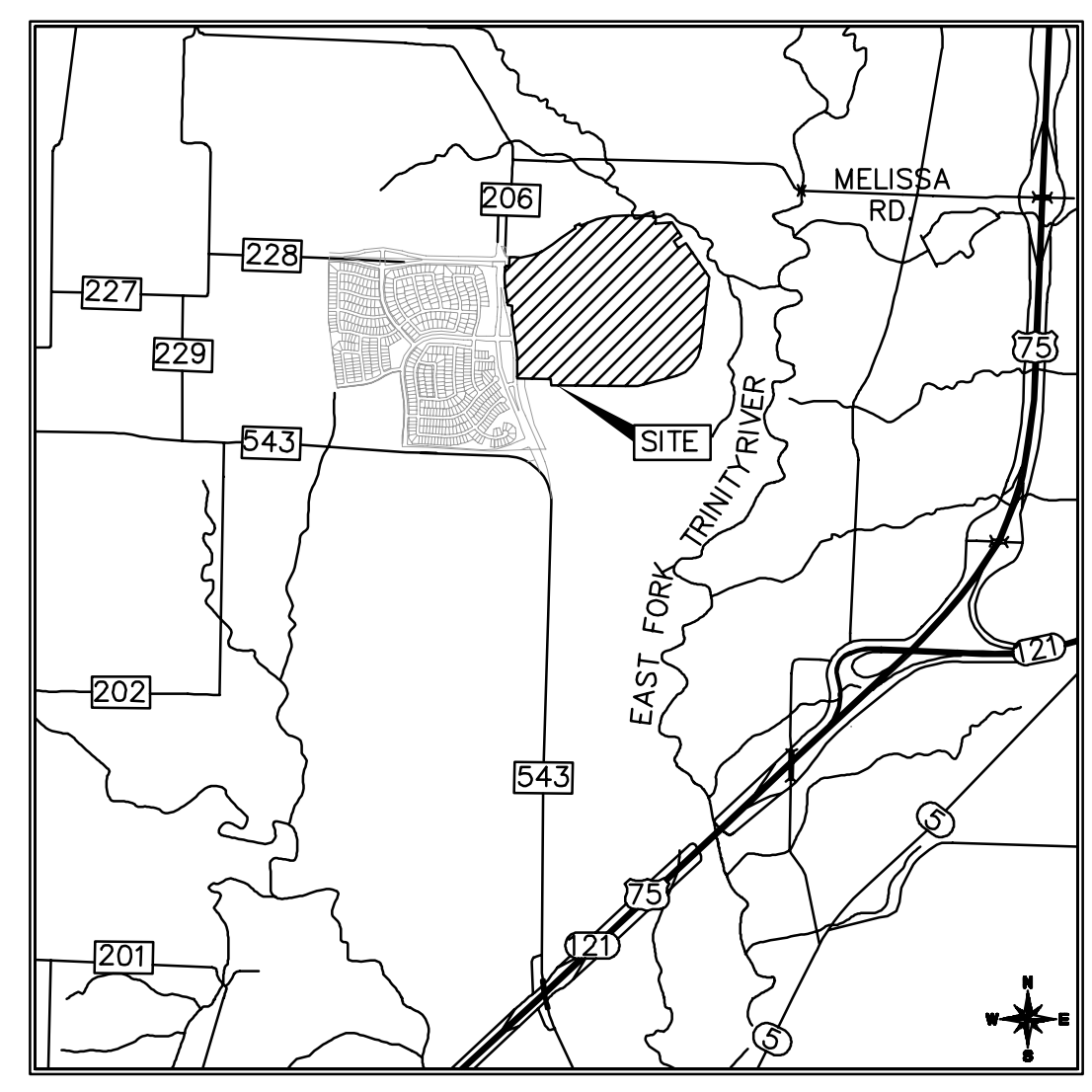
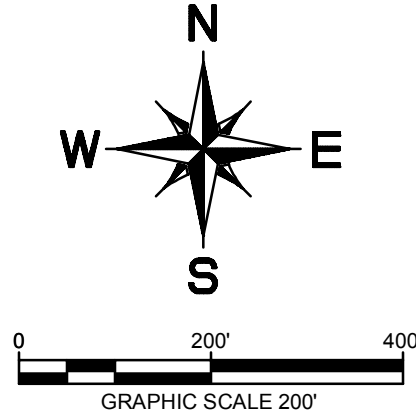
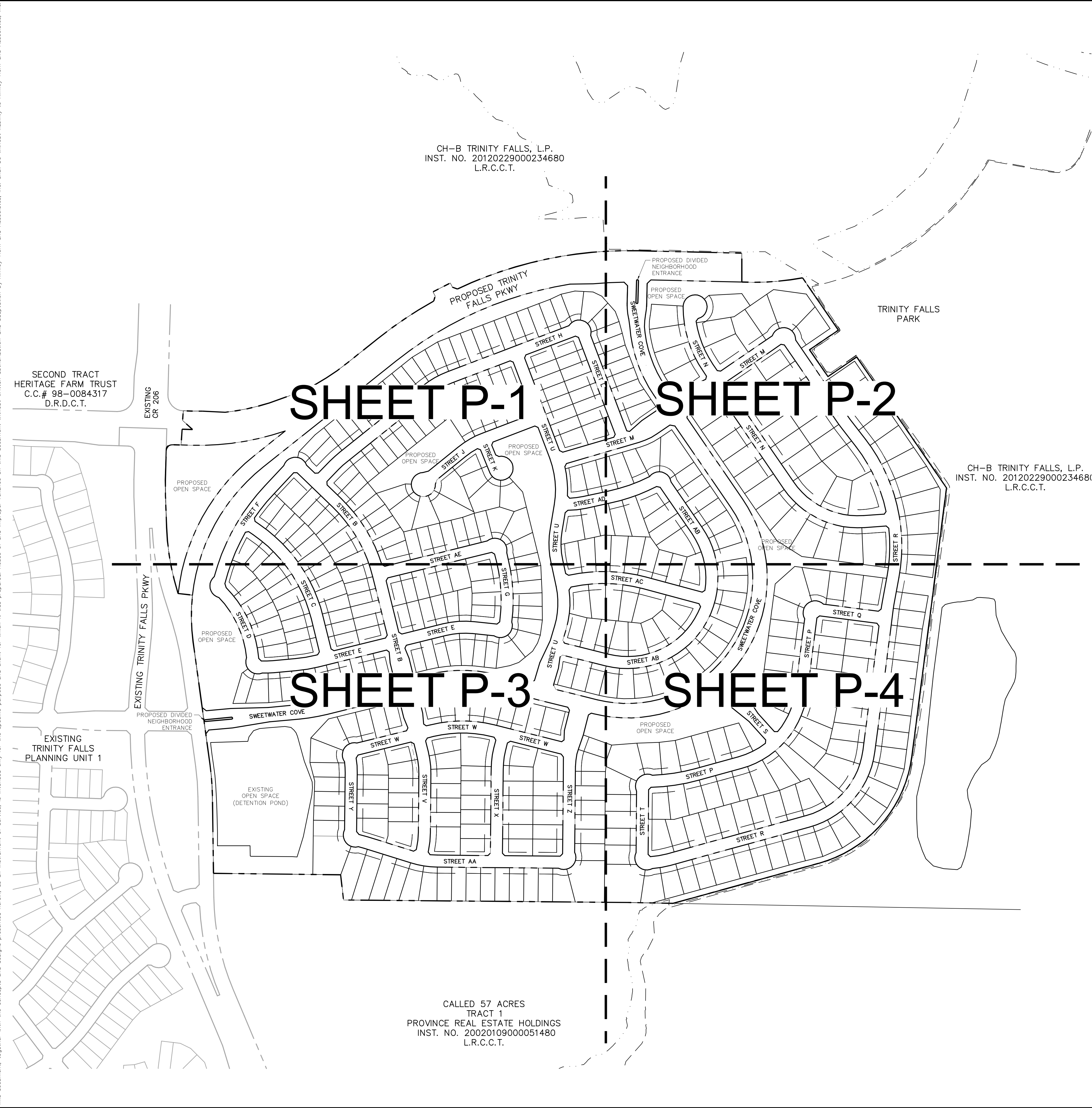
### OWNER/DEVELOPER

CH-B TRINITY FALLS, L.P.  
Castle Hill Partners  
1111 West 11th St.  
Austin, TX 78703  
CONTACT: Gary Mefford  
(512) 381-6136

NOTE: ALL PROPOSED LOTS SITUATED ENTIRELY  
OUTSIDE THE CITY'S CORPORATE LIMITS AND WITHIN  
THE CITY'S EXTRATERRITORIAL JURISDICTION  
COMPLY WITH THE SUBDIVISION ORDINANCE

PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY

PLANNING UNIT #2  
 TRINITY FALLS  
 CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.  
 THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

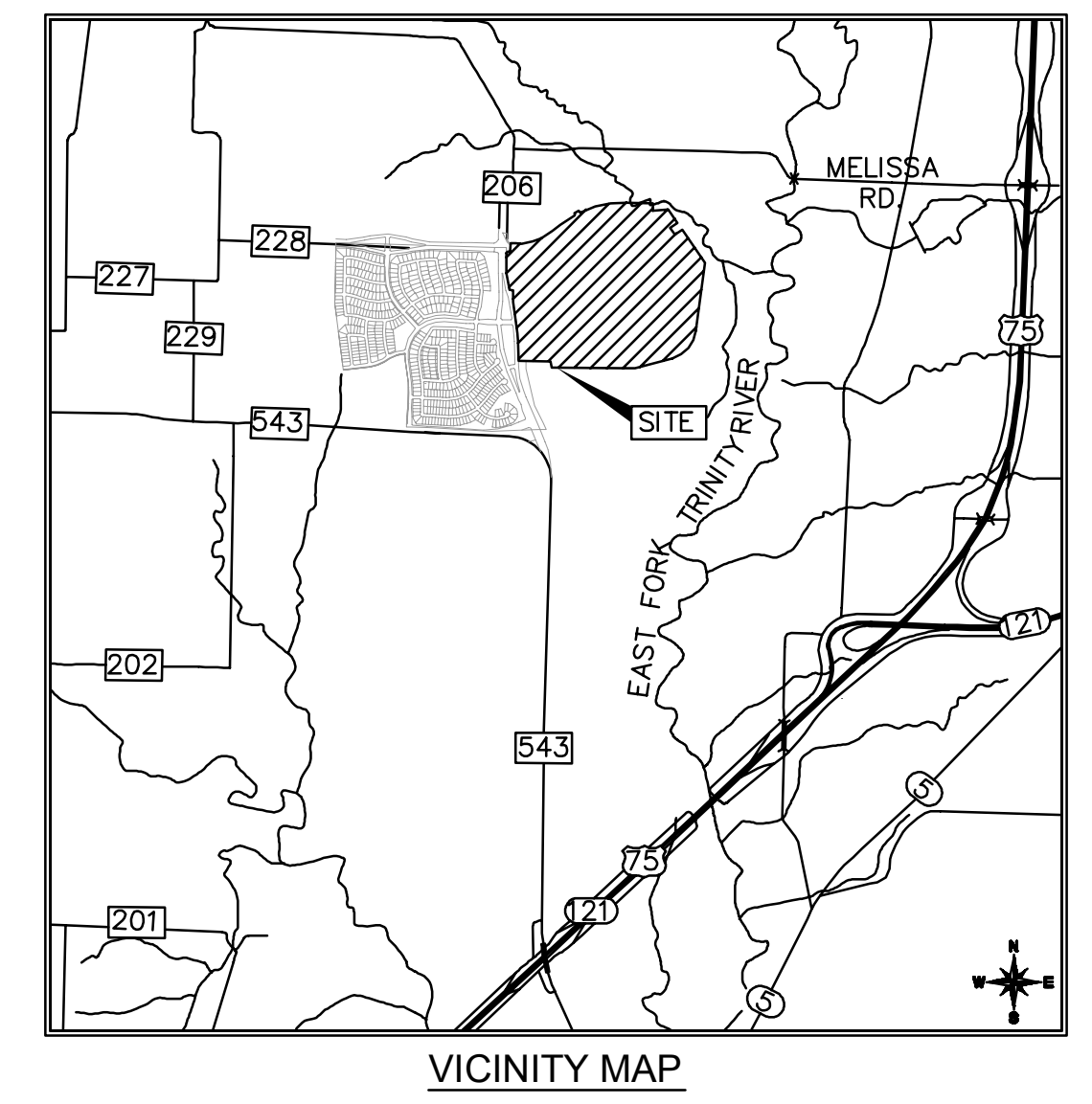
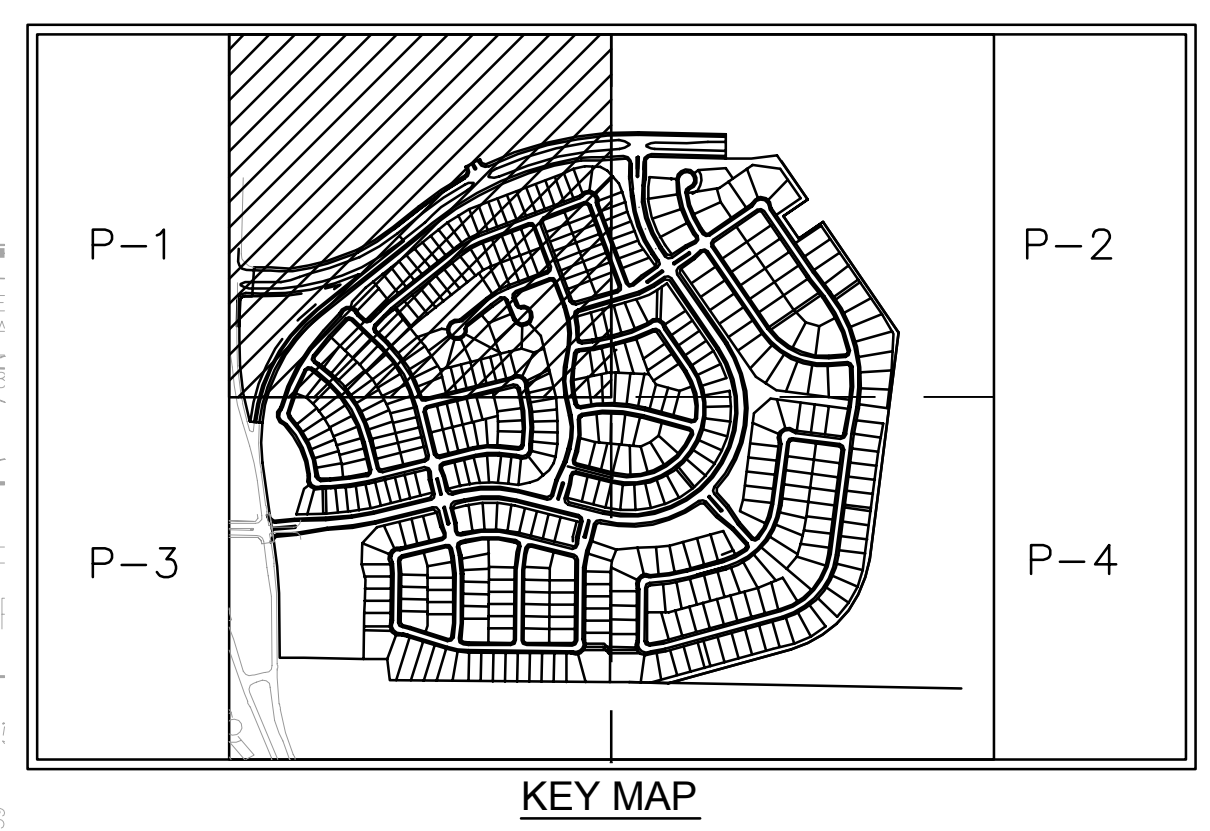
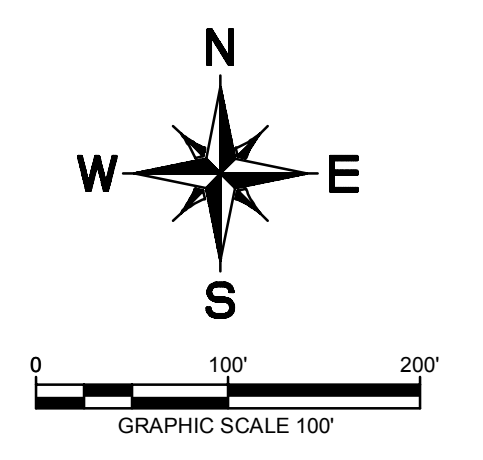
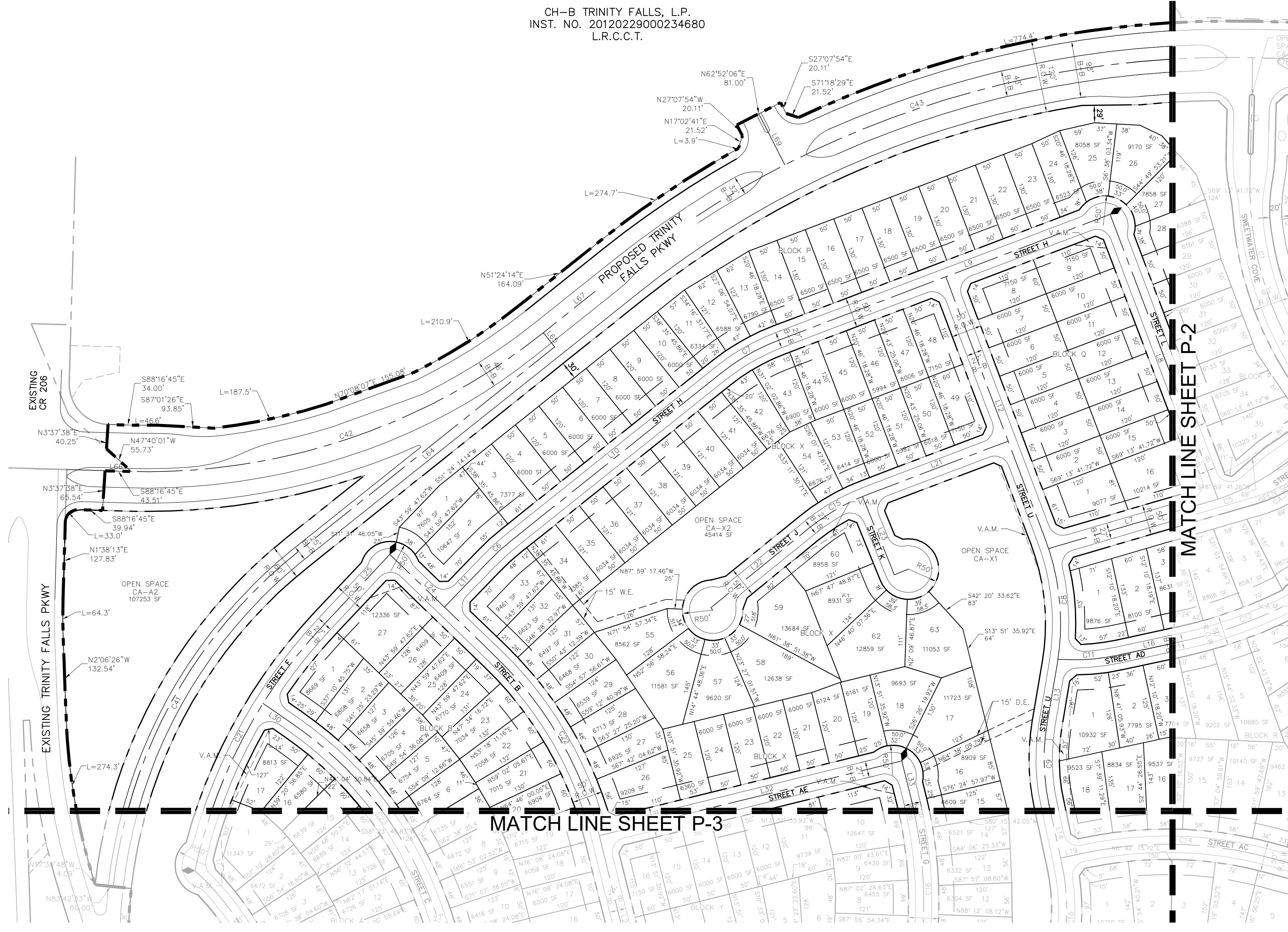


**MATCHLINE EXHIBIT  
 FOR  
 TRINITY FALLS  
 PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  <b>Kimley-Horn          and Associates, Inc.</b> Kimley-Horn and Associates 5750 Genesis Ct., Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
DESIGNED: PDM DRAWN: JW CHECKED: RLK SCALE: AS SHOWN DATE: APRIL 2014 KHA PROJECT NO.: 088150018	G-2	

PLATTED BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 04/15/14  
 DRAWN BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 04/15/14  
 CHECKED BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 04/15/14  
 LAST SAVID: 4/15/14  
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, and shall be without liability to Kimley-Horn and Associates, Inc.



LINE TABLE		
LINE	LENGTH	BEARING
L7	281.00	N73°44'39.39"E
L8	502.17	S20°46'18.28"E
L9	584.76	N69°13'41.72"E
L10	443.33	N51°24'14.14"E
L11	104.62	N43°59'47.62"E
L12	462.05	S20°46'18.28"E
L13	101.30	S9°33'50.68"W
L16	105.73	N77°49'41.80"E
L21	248.29	N69°13'41.72"E
L22	208.56	N50°57'10.54"E
L23	139.55	S22°12'11.13"E
L24	241.61	S46°00'12.38"E
L25	157.23	N43°15'11.88"E
L30	59.05	N55°23'36.09"W
L32	514.14	N76°08'24.08"E
L33	66.57	S13°51'35.92"E
L64	543.56	S51°24'14.14"W
L65	30.00	S38°35'45.86"E
L66	36.55	S88°16'44.77"E
L67	164.09	N51°24'14.14"E
L69	144.62	S27°07'54.12"E

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C6	400.00'	51.71'	N47°42'01"E	51.68'	7°24'27"	25.89'
C7	350.00'	108.88'	N60°18'58"E	108.44'	17°49'28"	54.88'
C8	395.00'	209.14'	S5°36'14"E	206.70'	30°20'09"	107.08'
C9	350.00'	132.77'	S1°18'14"E	131.98'	21°44'08"	67.20'
C11	350.00'	100.78'	N86°04'38"E	100.43'	16°29'53"	50.74'
C15	350.00'	111.64'	N60°05'26"E	111.16'	18°16'31"	56.30'
C21	857.93'	465.32'	N27°42'55"E	459.64'	31°04'33"	238.54'
C22	625.00'	350.63'	S29°55'54"E	346.05'	32°08'36"	180.06'
C41	820.00'	645.64'	S28°50'51"W	629.10'	45°06'47"	340.60'
C42	1050.00'	738.85'	N71°33'45"E	723.70'	40°19'01"	385.46'
C43	1610.00'	1122.24'	N71°22'22"E	1099.66'	39°56'15"	585.00'

LEGEND	
	PROPERTY LINE
	STREET NAME CHANGE
	PROPOSED VISIBILITY ACCESS MAINTENANCE EASEMENT
	PROPOSED DRAINAGE EASEMENT
	PROPOSED WATER EASEMENT
	PROPOSED SANITARY SEWER EASEMENT

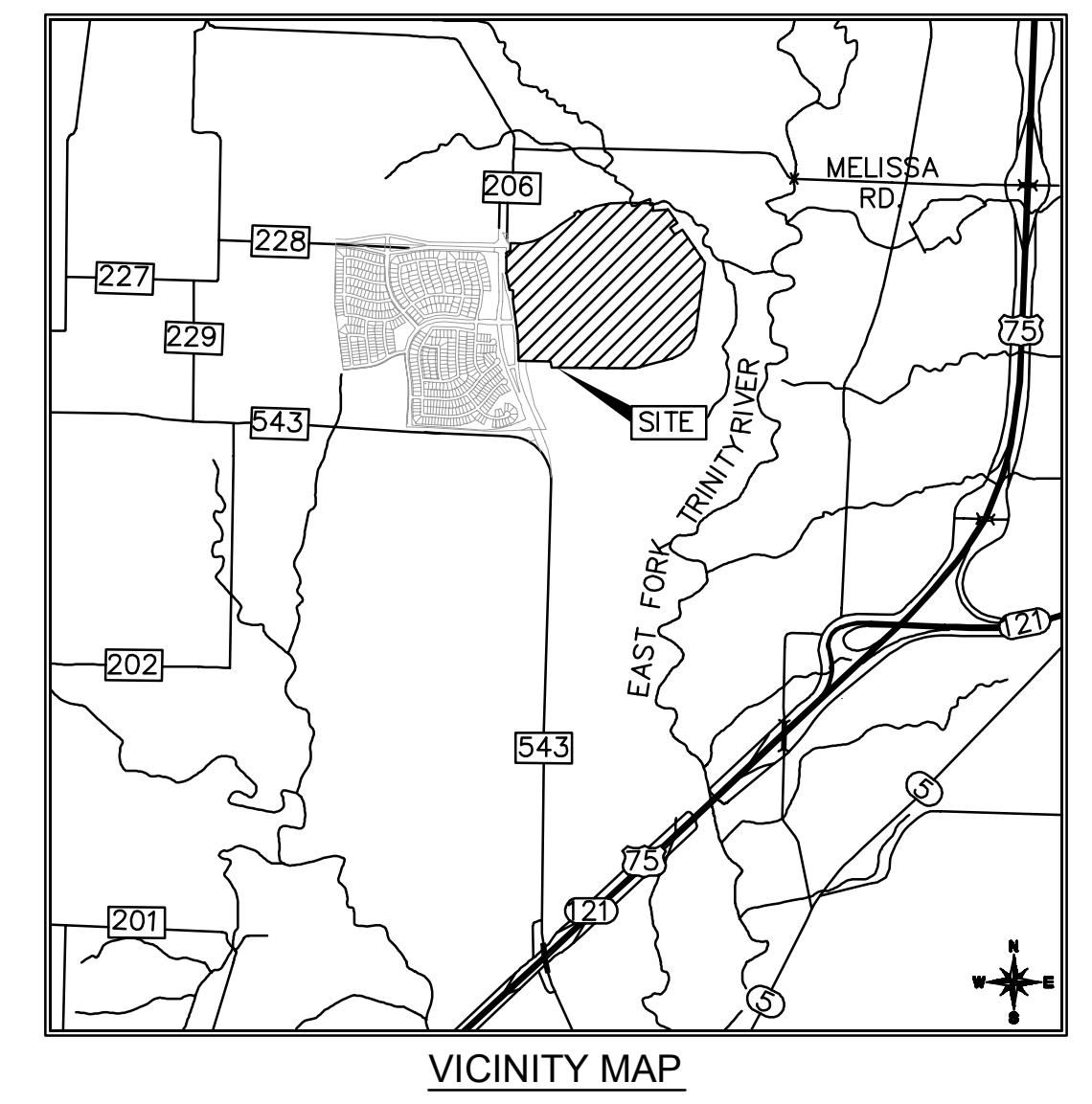
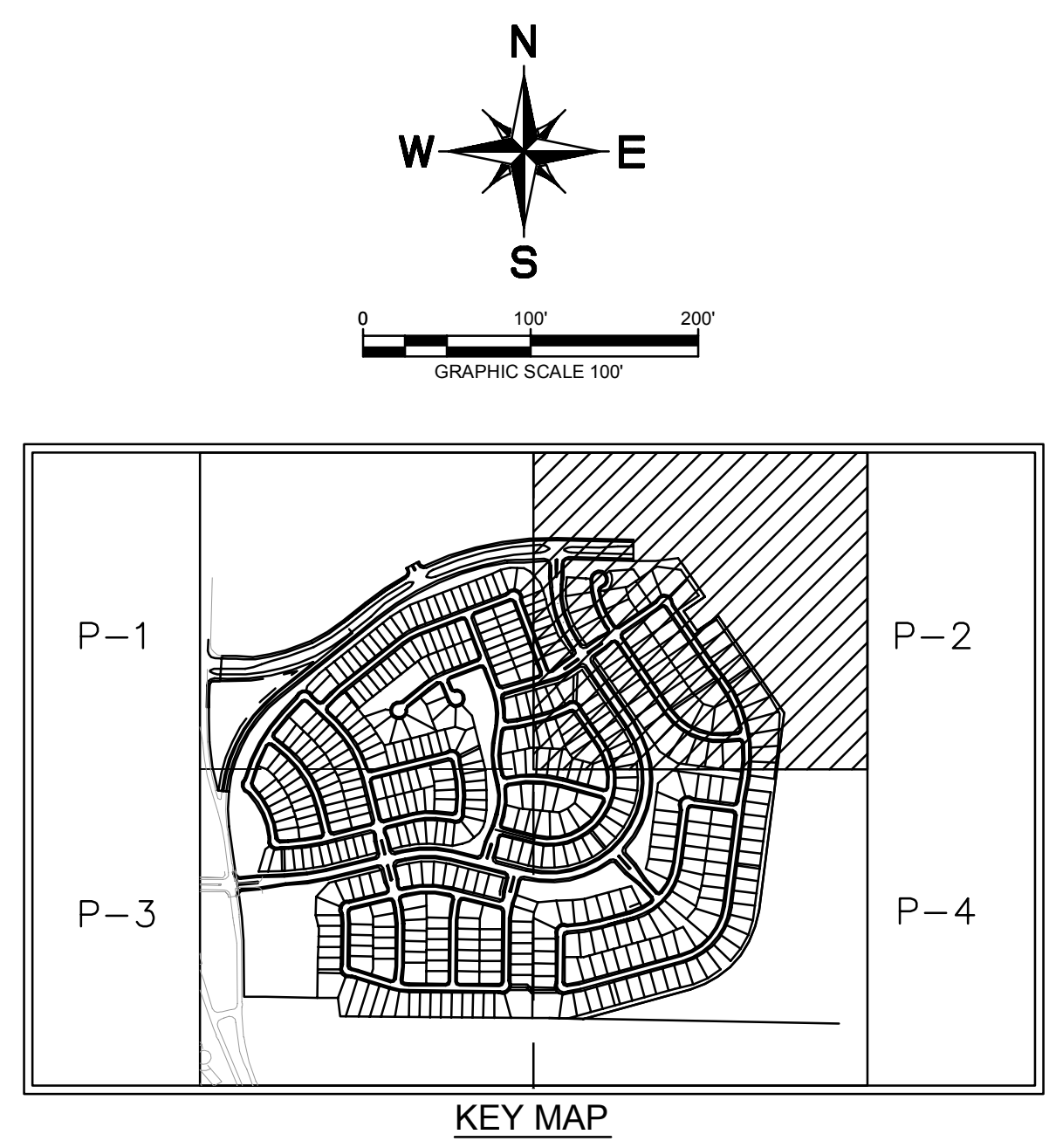
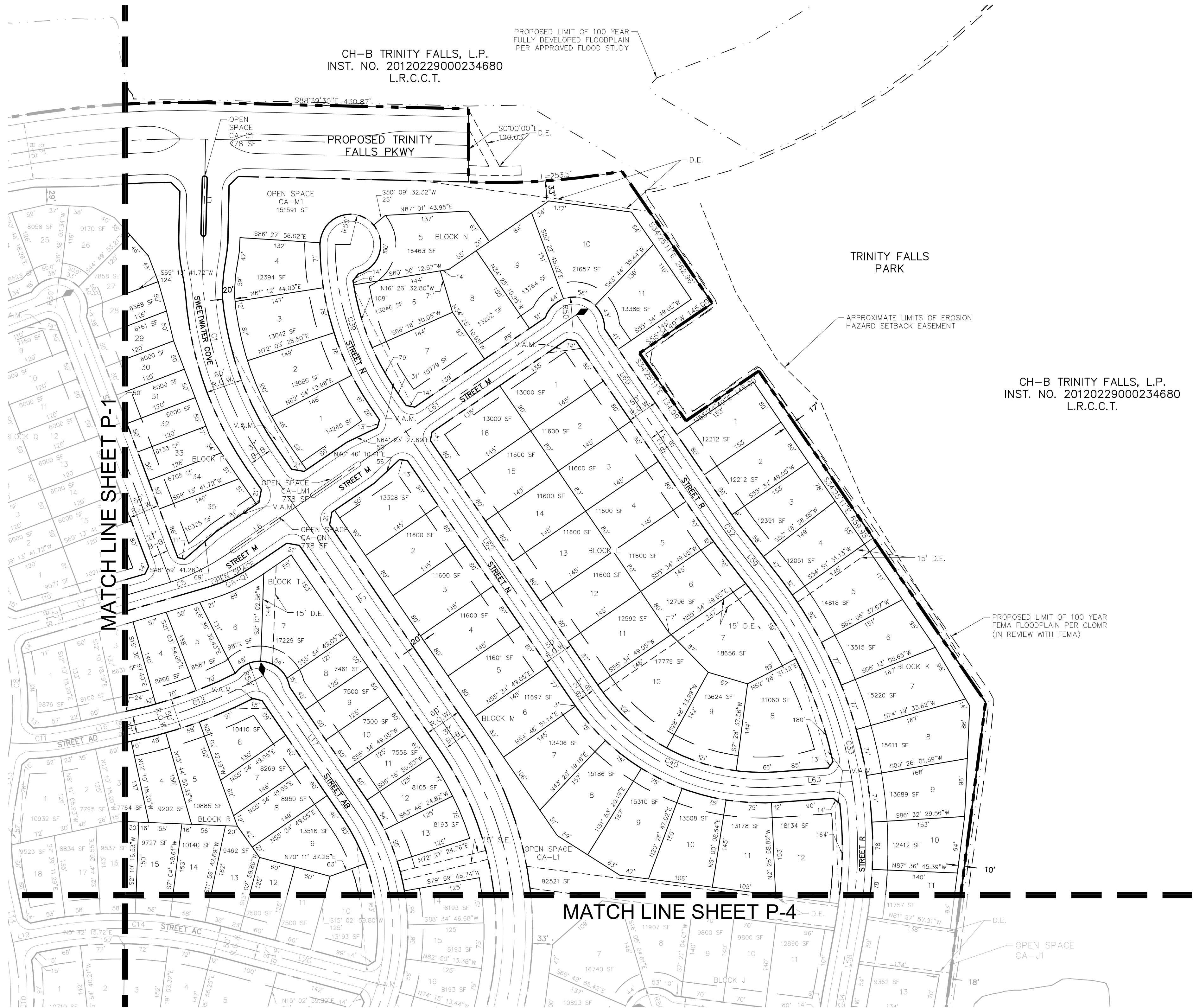
- GENERAL NOTES**
- ALL PROPOSED LOTS SITUATED ENTIRELY OUTSIDE THE CITY'S CORPORATE LIMITS AND WITHIN THE CITY'S EXTRATERRITORIAL JURISDICTION COMPLY WITH THE SUBDIVISION ORDINANCE.
  - PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY.
  - REFER TO SETBACK EXHIBIT FOR FRONT YARD, SIDE YARD, AND REAR YARD SETBACK DIMENSIONS.

**PRELIMINARY PLAT FOR TRINITY FALLS PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS BEING 163.91 ACRES OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates 5750 Genesis Ct, Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.				
DESIGNED: PDM	DRAWN: JW	CHECKED: RLK	SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018	P-1

PROJECT NO. 20120229000234680  
 DRAWN BY: KJRU  
 CHECKED BY: RJK  
 DATE: 04/11/14  
 SCALE: AS SHOWN  
 SHEET NO. P-2  
 TOTAL SHEETS: 4  
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LINE TABLE

LINE	LENGTH	BEARING
L1	199.27	S1'20'29.57"W
L2	565.94	S34'25'10.95"E
L6	139.35	N55'34'49.05"E
L17	268.04	S34'25'10.95"E
L59	105.05	S37'41'21.62"E
L60	424.98	S34'25'10.95"E
L61	560.00	N55'34'49.05"E
L62	591.20	S34'25'10.95"E
L63	123.20	N85'47'40.92"E
L68	459.37	S88'39'30.43"E

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	550.00'	343.28'	S16°32'21"E	337.74'	35°45'41"	177.44'
C5	350.00'	110.96'	N64°39'44"E	110.49'	18°09'50"	55.95'
C12	750.00'	228.56'	N69°05'52"E	227.68'	17°27'39"	115.17'
C32	350.00'	19.97'	S36°03'16"E	19.97'	3°16'11"	9.99'
C33	700.00'	588.41'	S13°36'31"E	571.24'	48°09'42"	312.84'
C39	450.00'	268.75'	S17°18'37"E	264.77'	34°13'06"	138.52'
C40	350.00'	365.21'	S64°18'45"E	348.87'	59°47'08"	201.20'

LEGEND

---	PROPERTY LINE
◆	STREET NAME CHANGE
V.A.M.	PROPOSED VISIBILITY ACCESS MAINTENANCE EASEMENT
D.E.	PROPOSED DRAINAGE EASEMENT
W.E.	PROPOSED WATER EASEMENT
S.E.	PROPOSED SANITARY SEWER EASEMENT

- GENERAL NOTES
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  - REFER TO SETBACK EXHIBIT FOR FRONT YARD, SIDE YARD, AND REAR YARD SETBACK DIMENSIONS.

PRELIMINARY PLAT FOR TRINITY FALLS PLANNING UNIT #2

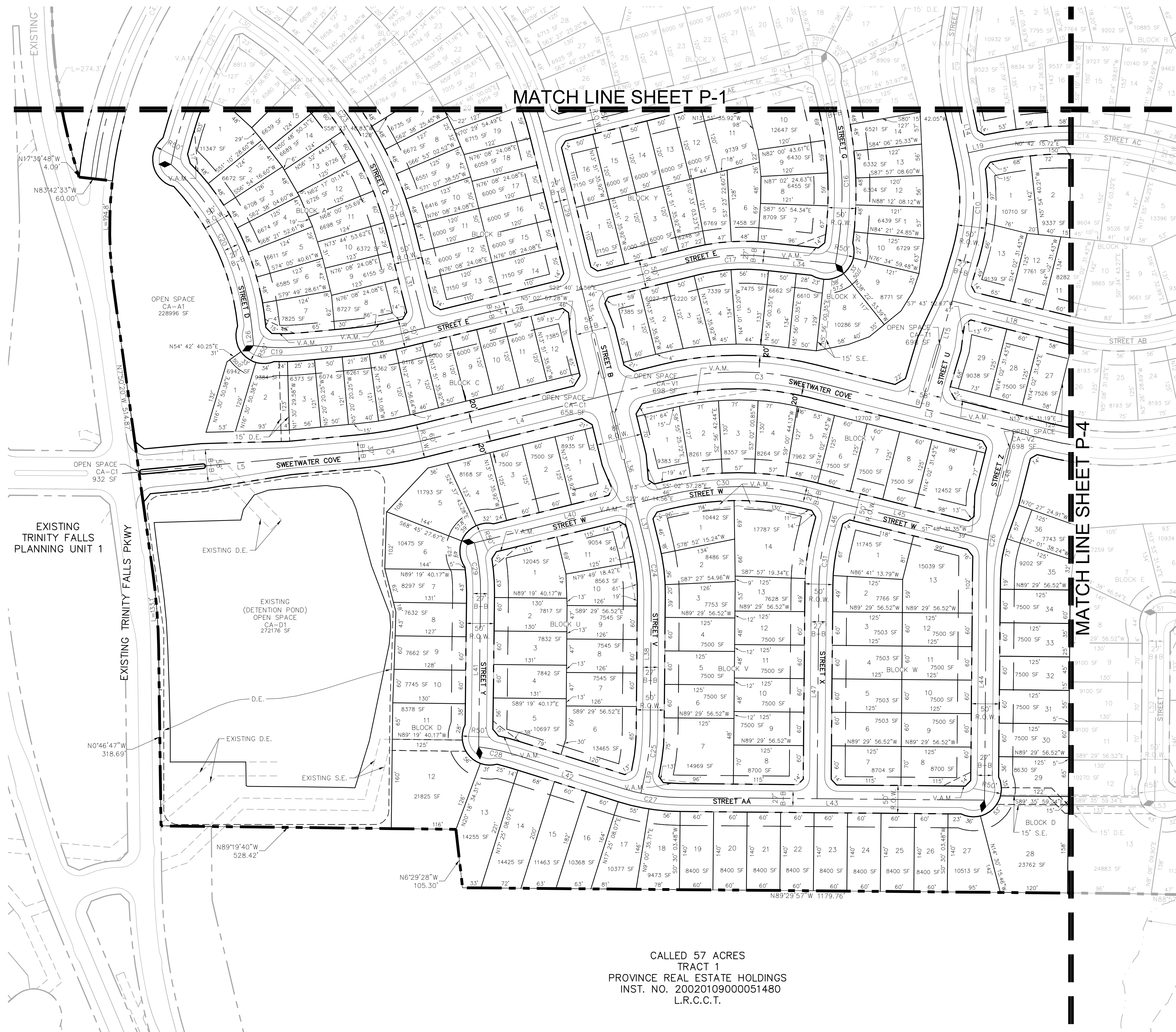
463 RESIDENTIAL LOTS / 19 COMMON AREAS BEING 163.91 ACRES OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS

CITY OF MCKINNEY PROJECT NO. 14-084PF

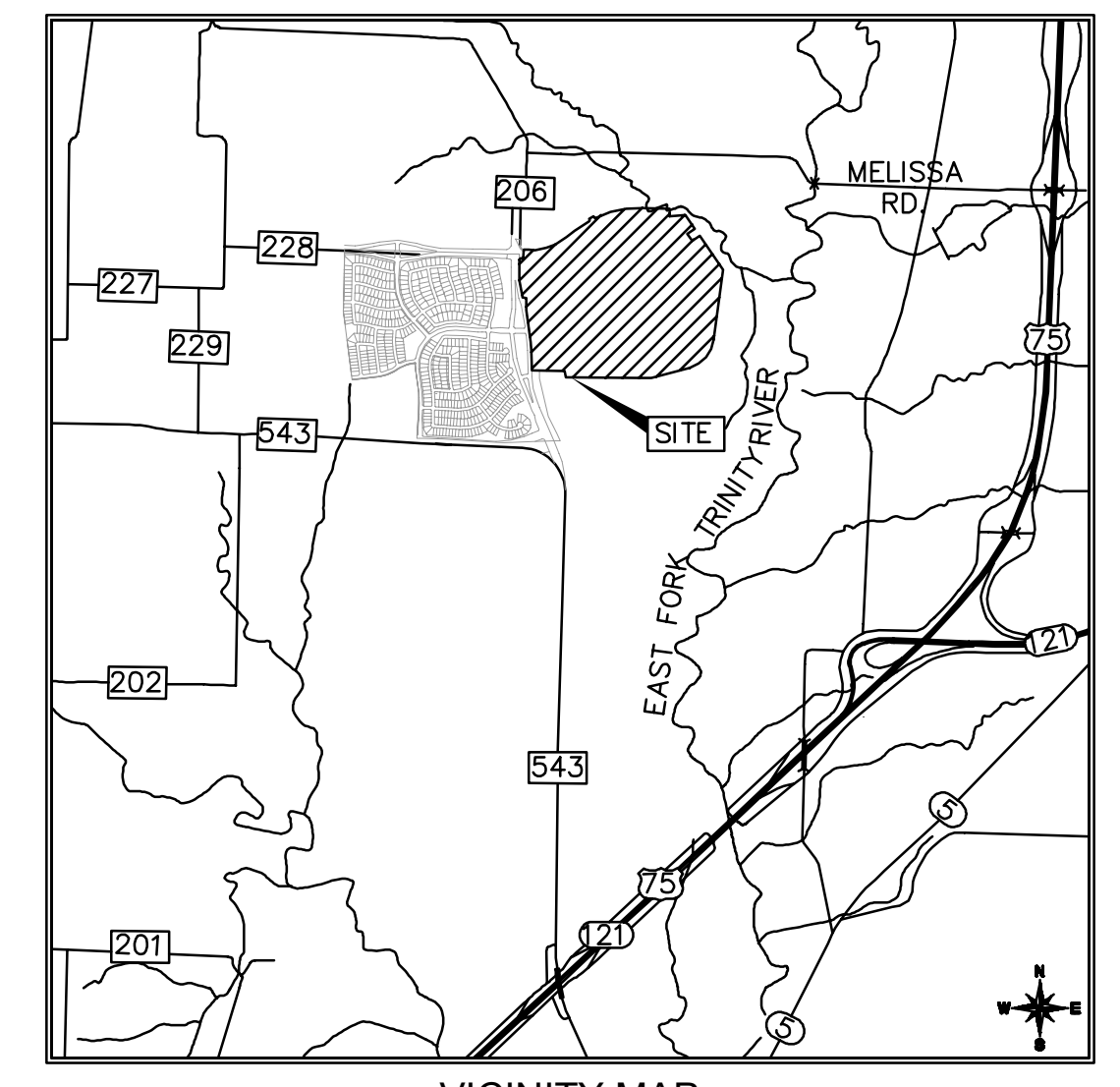
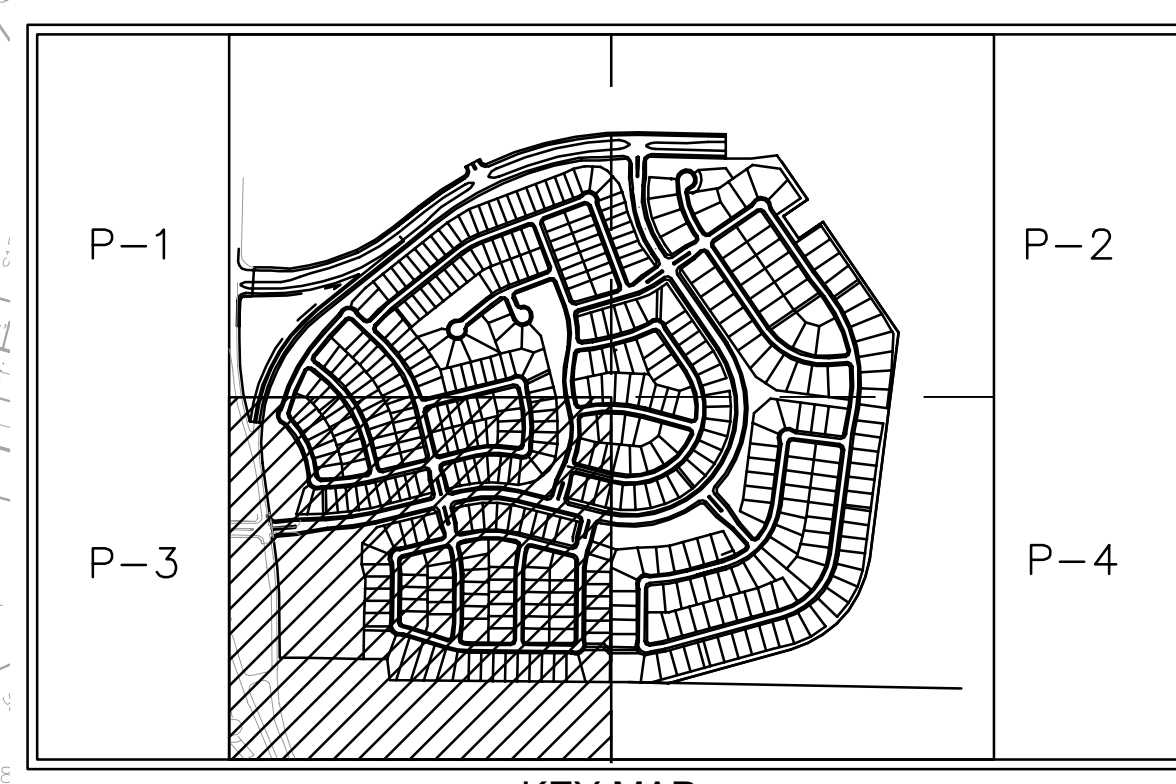
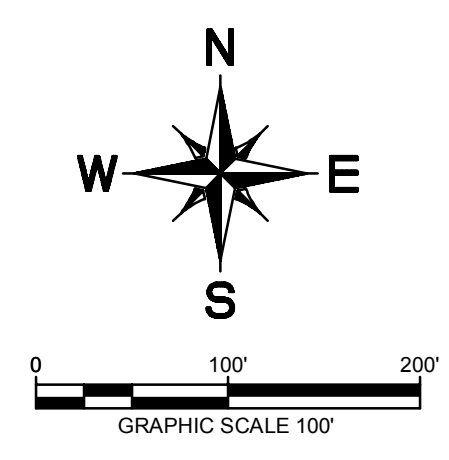
OWNER: CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	DEVELOPER: CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	ENGINEER/PLANNER: <b>Kimley-Horn and Associates, Inc.</b> 5750 Genesis Ct. Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
DESIGNED: PDM	DRAWN: JW	CHECKED: RLK
SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018

P-2

PLATTED BY: WICKHAM & ASSOCIATES, INC. 4/15/14  
 DRAWN BY: KJRU/CVL/RS/SS/00 - TRINITY FALLS PLANNING UNIT #2 PRELIMINARY PLATTING [P-3 Preliminary Plat]  
 LAST SAVID: 4/16/2014 11:34 AM  
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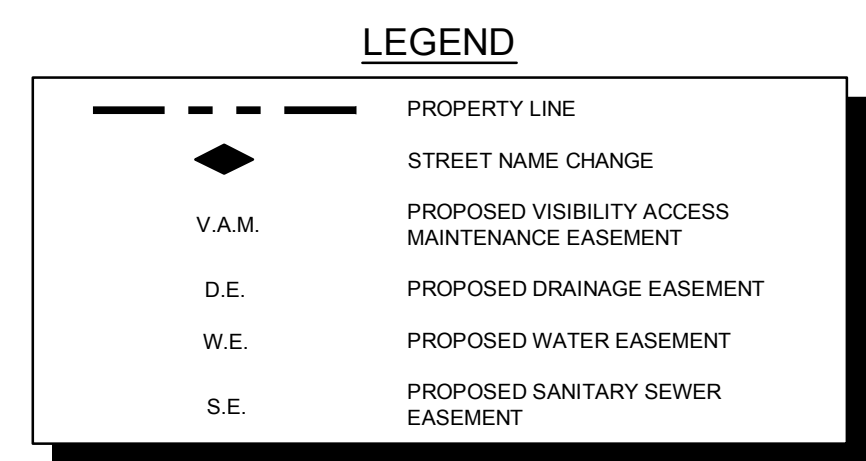


CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.



LINE TABLE		
LINE	LENGTH	BEARING
L3	432.56	N75°57'28.57"W
L4	450.55	S76°08'24.08"W
L5	426.23	S84°39'39.75"W
L14	101.76	S12°10'18.20"E
L15	285.46	S16°32'31.43"W
L18	225.22	N75°57'28.57"W
L19	39.70	N77°49'41.80"E
L26	34.50	N5°20'20.25"W
L27	94.27	S84°39'39.75"W
L28	544.67	S76°08'24.08"W
L29	285.78	S13°51'35.92"E
L34	128.97	N84°03'59.65"W
L35	195.00	S13°51'35.92"E
L36	200.00	S13°51'35.92"E
L37	80.91	S13°51'35.92"E
L38	242.78	S0°30'03.48"W
L39	42.49	S12°00'47.71"W
L40	356.89	N76°08'24.08"E
L41	274.67	N0°40'19.83"E
L42	203.49	N72°34'51.93"W
L43	545.72	N89°29'56.52"W
L44	425.06	S0°30'03.48"W
L45	330.48	S75°57'28.57"E
L46	68.41	S14°02'31.43"W
L47	384.22	S0°30'03.48"W
L48	158.45	S14°02'31.43"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C3	550.00'	267.84'	N89°54'32"W	265.20'	27°54'07"	136.63'
C4	750.00'	111.54'	S80°24'02"W	111.44'	8°31'16"	55.87'
C10	350.00'	175.40'	S2°11'07"W	173.57'	28°42'50"	89.58'
C16	695.00'	296.71'	S1°37'46"E	294.46'	24°27'39"	150.65'
C17	350.00'	120.91'	S86°02'12"W	120.31'	19°47'36"	61.06'
C18	600.00'	89.23'	S80°24'02"W	89.15'	8°31'16"	44.70'
C19	350.00'	83.87'	N88°28'28"W	83.67'	13°43'45"	42.13'
C20	450.00'	332.08'	N26°28'49"W	324.60'	42°16'56"	174.01'
C23	625.00'	453.06'	N34°37'36"W	443.20'	41°32'00"	237.00'
C24	350.00'	87.73'	S6°40'46"E	87.50'	14°21'39"	44.09'
C25	350.00'	70.32'	S6°15'26"W	70.21'	11°30'44"	35.28'
C26	350.00'	82.72'	S7°16'17"W	82.53'	13°32'28"	41.55'
C27	350.00'	103.35'	N81°02'24"W	102.97'	16°55'05"	52.05'
C28	350.00'	66.02'	N77°59'07"W	65.93'	10°48'30"	33.11'
C29	350.00'	91.92'	N6°51'04"W	91.65'	15°02'48"	46.22'
C30	525.00'	255.67'	S89°54'32"E	253.15'	27°54'07"	130.42'
C31	350.00'	82.72'	S7°16'17"W	82.53'	13°32'28"	41.55'



- GENERAL NOTES**
- ALL PROPOSED LOTS SITUATED ENTIRELY OUTSIDE THE CITY'S CORPORATE LIMITS AND WITHIN THE CITY'S EXTRATERRITORIAL JURISDICTION COMPLY WITH THE SUBDIVISION ORDINANCE.
  - PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY.
  - REFER TO SETBACK EXHIBIT FOR FRONT YARD, SIDE YARD, AND REAR YARD SETBACK DIMENSIONS.

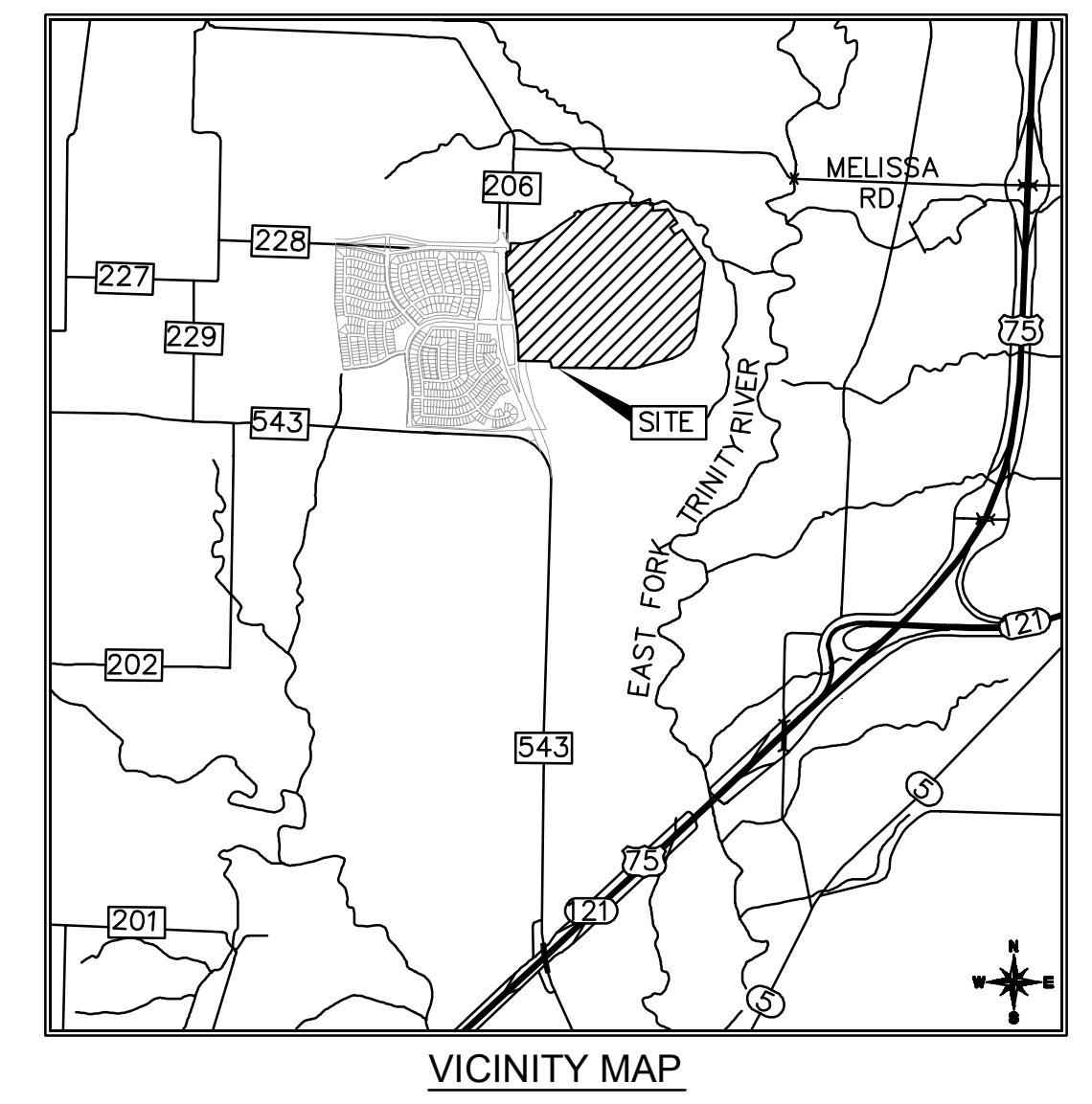
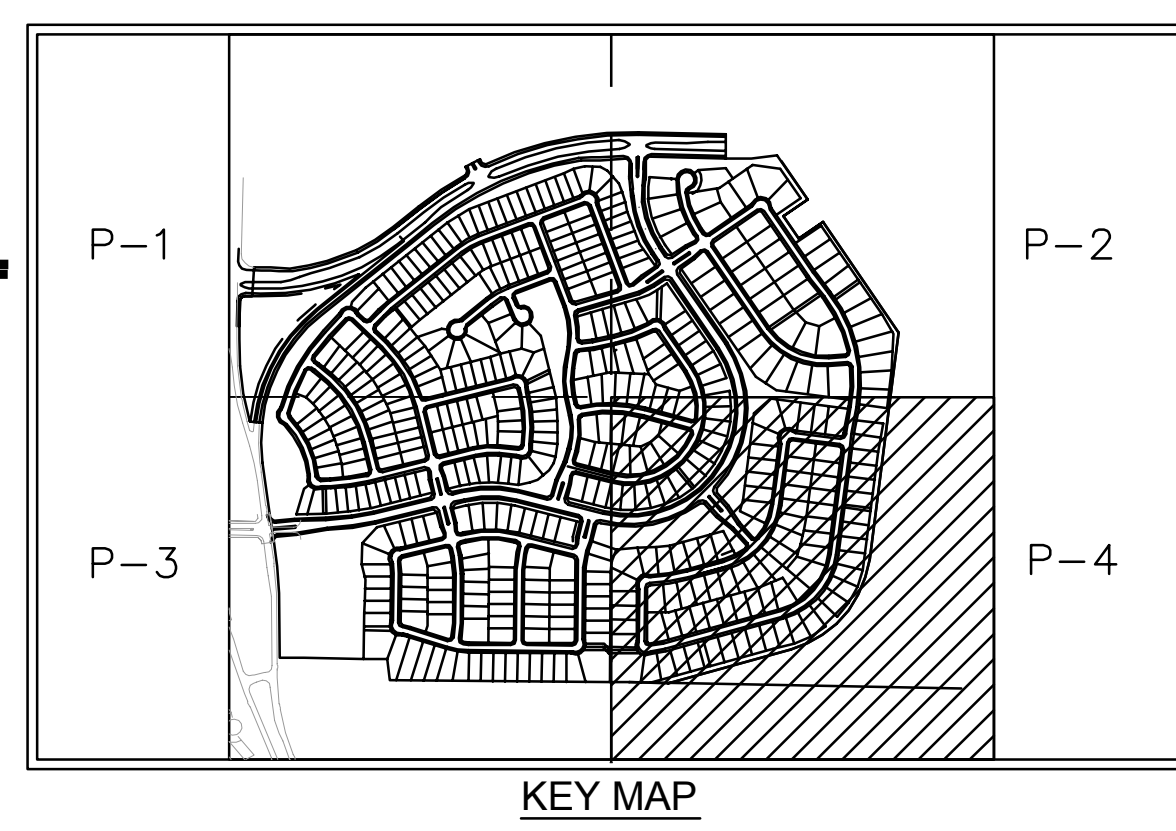
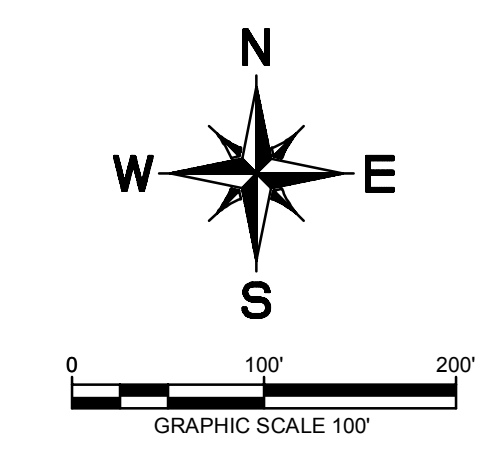
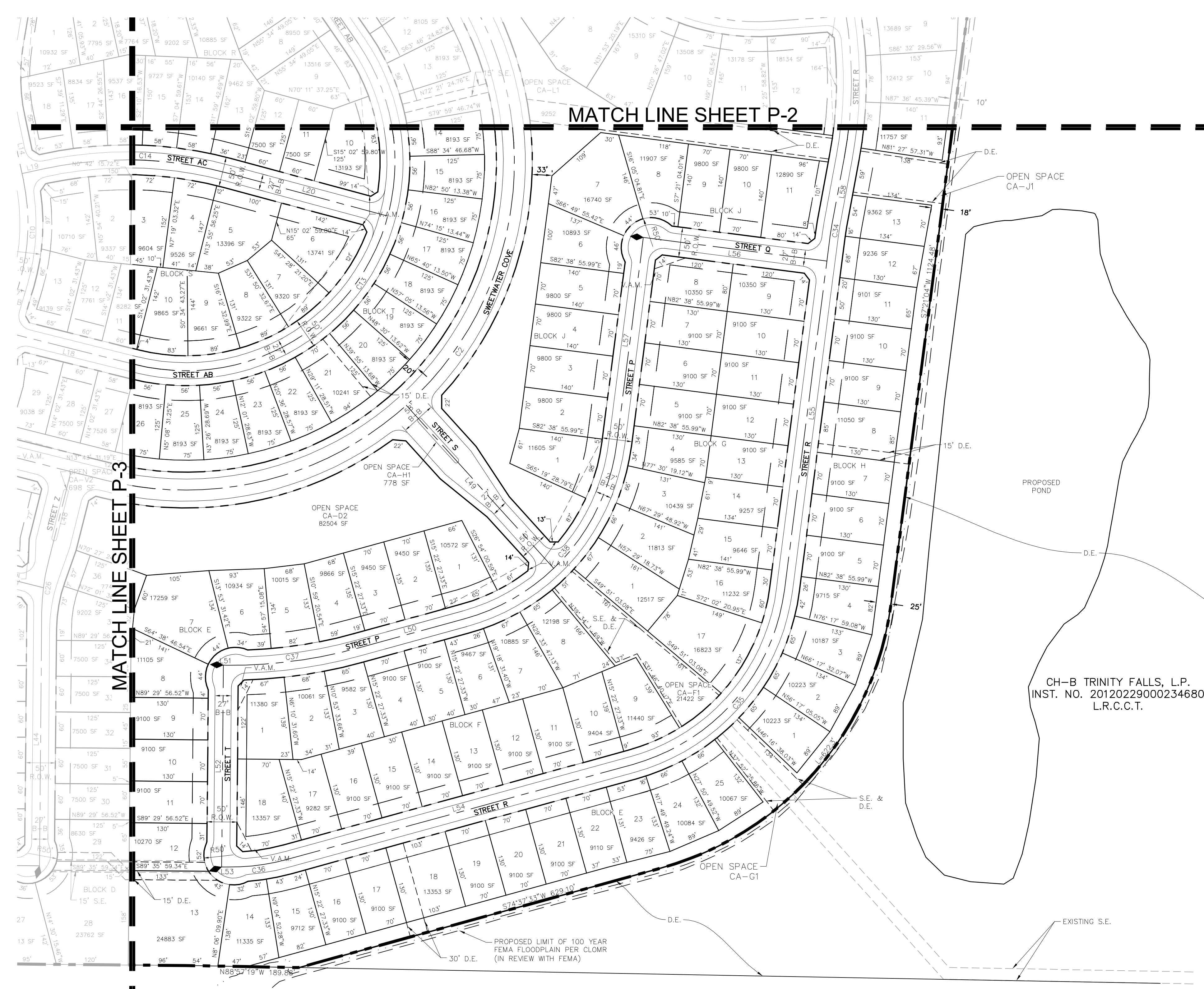
**PRELIMINARY PLAT FOR TRINITY FALLS PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS BEING 163.91 ACRES OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates, Inc. 5750 Genesis Ct, Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
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DESIGNED: PDM	DRAWN: JW	CHECKED: RLK	SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018	P-3
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PLATTED BY: WOODRUFF, JOHNSON, AND ASSOCIATES, L.P. (P-4 Preliminary Plat)  
 DRAWN BY: KJRU (CVL) 6/20/2014  
 LAST SAVID: 6/10/2014  
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LINE TABLE		
LINE	LENGTH	BEARING
L20	277.61	S74°57'00.20"E
L49	368.28	N42°07'47.91"W
L50	186.04	N74°37'32.67"E
L51	5.93	S89°29'56.52"E
L52	338.24	N0°30'03.48"E
L53	10.51	N89°29'56.52"W
L54	599.39	S74°37'32.67"W
L55	598.52	S7°21'04.01"W
L56	310.00	S82°38'55.99"E
L57	349.01	N7°21'04.01"E
L58	113.55	S10°28'20.47"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C2	550.00'	1329.14'	S34°48'40"W	1028.52'	138°27'42"	1450.24'
C13	350.00'	845.81'	S34°48'40"W	654.51'	138°27'42"	922.88'
C14	650.00'	308.82'	S88°33'39"E	305.92'	27°13'18"	157.38'
C34	350.00'	19.07'	S8°54'42"W	19.06'	3°07'16"	9.54'
C35	350.00'	410.96'	S40°59'18"W	387.75'	67°16'29"	232.87'
C36	365.00'	101.13'	S82°33'48"W	100.81'	15°52'31"	50.89'
C37	800.00'	221.66'	N82°33'48"E	220.95'	15°52'31"	111.54'
C38	350.00'	410.95'	N40°59'17"E	387.75'	67°16'25"	232.86'

LEGEND	
	PROPERTY LINE
	STREET NAME CHANGE
	PROPOSED VISIBILITY ACCESS MAINTENANCE EASEMENT
	PROPOSED DRAINAGE EASEMENT
	PROPOSED WATER EASEMENT
	PROPOSED SANITARY SEWER EASEMENT

- GENERAL NOTES**
- ALL PROPOSED LOTS SITUATED ENTIRELY OUTSIDE THE CITY'S CORPORATE LIMITS AND WITHIN THE CITY'S EXTRATERRITORIAL JURISDICTION COMPLY WITH THE SUBDIVISION ORDINANCE.
  - PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY.
  - REFER TO SETBACK EXHIBIT FOR FRONT YARD, SIDE YARD, AND REAR YARD SETBACK DIMENSIONS.

CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.

CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.

**PRELIMINARY PLAT FOR TRINITY FALLS PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS BEING 163.91 ACRES OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates 5750 Genesis Ct, Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
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DESIGNED: PDM	DRAWN: JW	CHECKED: RLK	SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018	P-4
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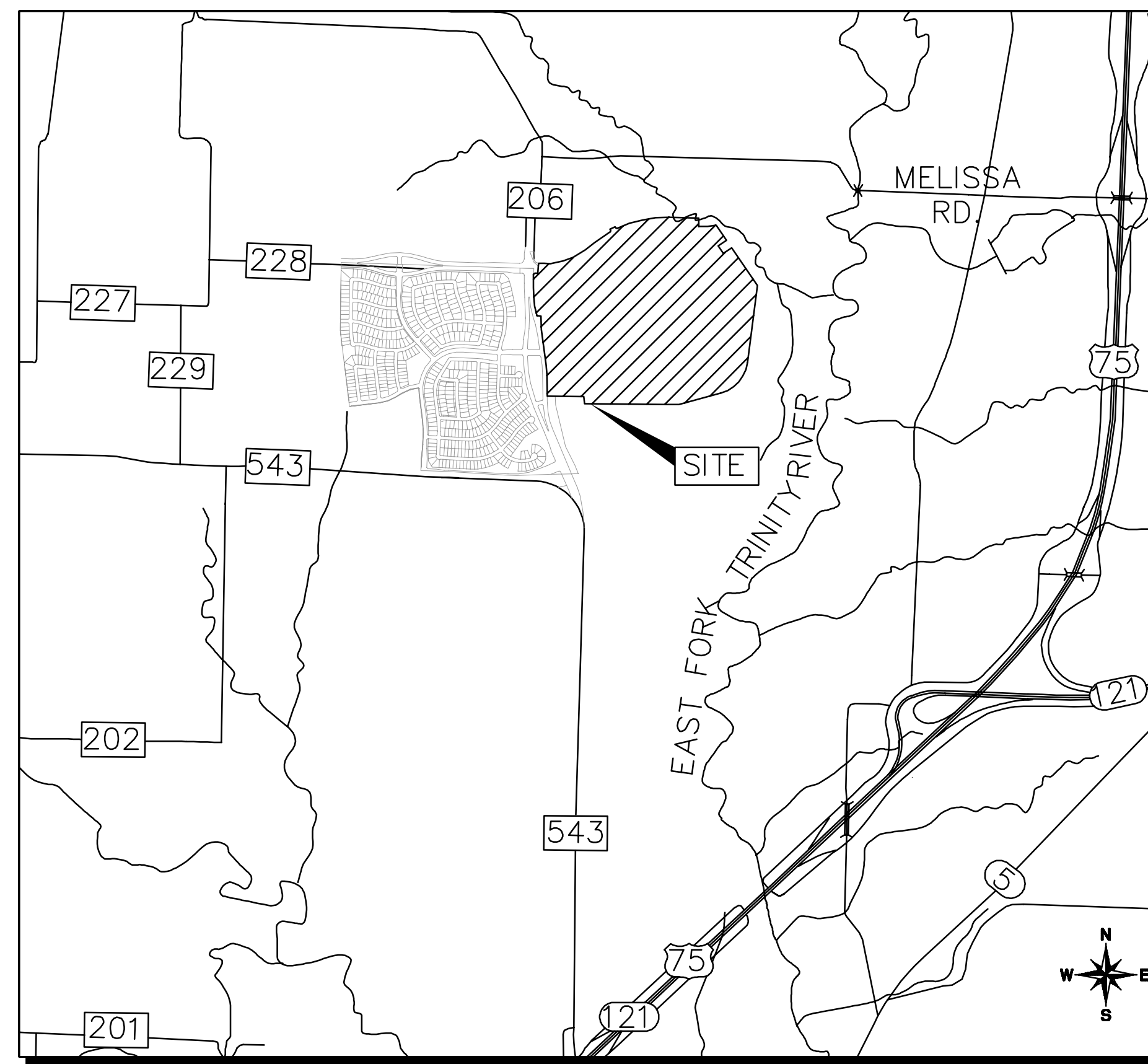


# CONCEPTUAL WATER, SANITARY SEWER, AND DRAINAGE PLANS TRINITY FALLS PLANNING UNIT #2 MCKINNEY ETJ, COLLIN COUNTY, TEXAS



## PLAN SUBMITTAL/REVIEW LOG

FIRST SUBMITTAL TO CITY OF MCKINNEY	03/24/2014
SECOND SUBMITTAL TO CITY OF MCKINNEY	04/07/2014
THIRD SUBMITTAL TO CITY OF MCKINNEY	04/16/2014



LOCATION MAP

# APRIL 2014

## SHEET INDEX

SHEET NO.	DESCRIPTION	DATE	REVISION
G-1	COVER SHEET	04/16/2014	
G-2	MATCHLINE EXHIBIT	04/16/2014	
U-1	CONCEPTUAL WATER AND SANITARY SEWER	04/16/2014	
U-2	CONCEPTUAL WATER AND SANITARY SEWER	04/16/2014	
U-3	CONCEPTUAL WATER AND SANITARY SEWER	04/16/2014	
U-4	CONCEPTUAL WATER AND SANITARY SEWER	04/16/2014	
D-1	DRAINAGE AREA MAP	04/16/2014	
D-2	DRAINAGE AREA MAP	04/16/2014	
D-3	DRAINAGE AREA MAP	04/16/2014	
D-4	DRAINAGE AREA MAP	04/16/2014	

## ENGINEER

**Kimley-Horn  
and Associates, Inc.**  
STATE OF TEXAS REGISTRATION NO. F-928  
5750 GENESIS COURT, SUITE 200  
FRISCO, TX 75034  
TEL. 972.335.3580  
CONTACT: RUSSELL L. KENNEDY, P.E.

## OWNER/DEVELOPER

CH-B TRINITY FALLS, L.P.  
Castle Hill Partners  
1111 West 11th St.  
Austin, TX 78703  
CONTACT: Gary Mefford  
(512) 381-6136

NOTE: ALL PROPOSED LOTS SITUATED ENTIRELY  
OUTSIDE THE CITY'S CORPORATE LIMITS AND WITHIN  
THE CITY'S EXTRATERRITORIAL JURISDICTION  
COMPLY WITH THE SUBDIVISION ORDINANCE

PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY

PLOTTED BY: WASHINGTON, JACKSON, AND ASSOCIATES, INC. DATE: 4/15/14  
 DWGNAME: K:\PROJECTS\2014\20140415\20140415\_PU2\20140415\_PU2\_PU2\20140415\_PU2\_PU2.dwg (Macdubois, Bob)  
 LAST SAVER: KIMBLE, BOBBY DATE: 4/15/14  
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CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.

SECOND TRACT  
 HERITAGE FARM TRUST  
 C.C.# 98-0084317  
 D.R.D.C.T.

EXISTING  
 CR. 206

EXISTING TRINITY FALLS PKWY

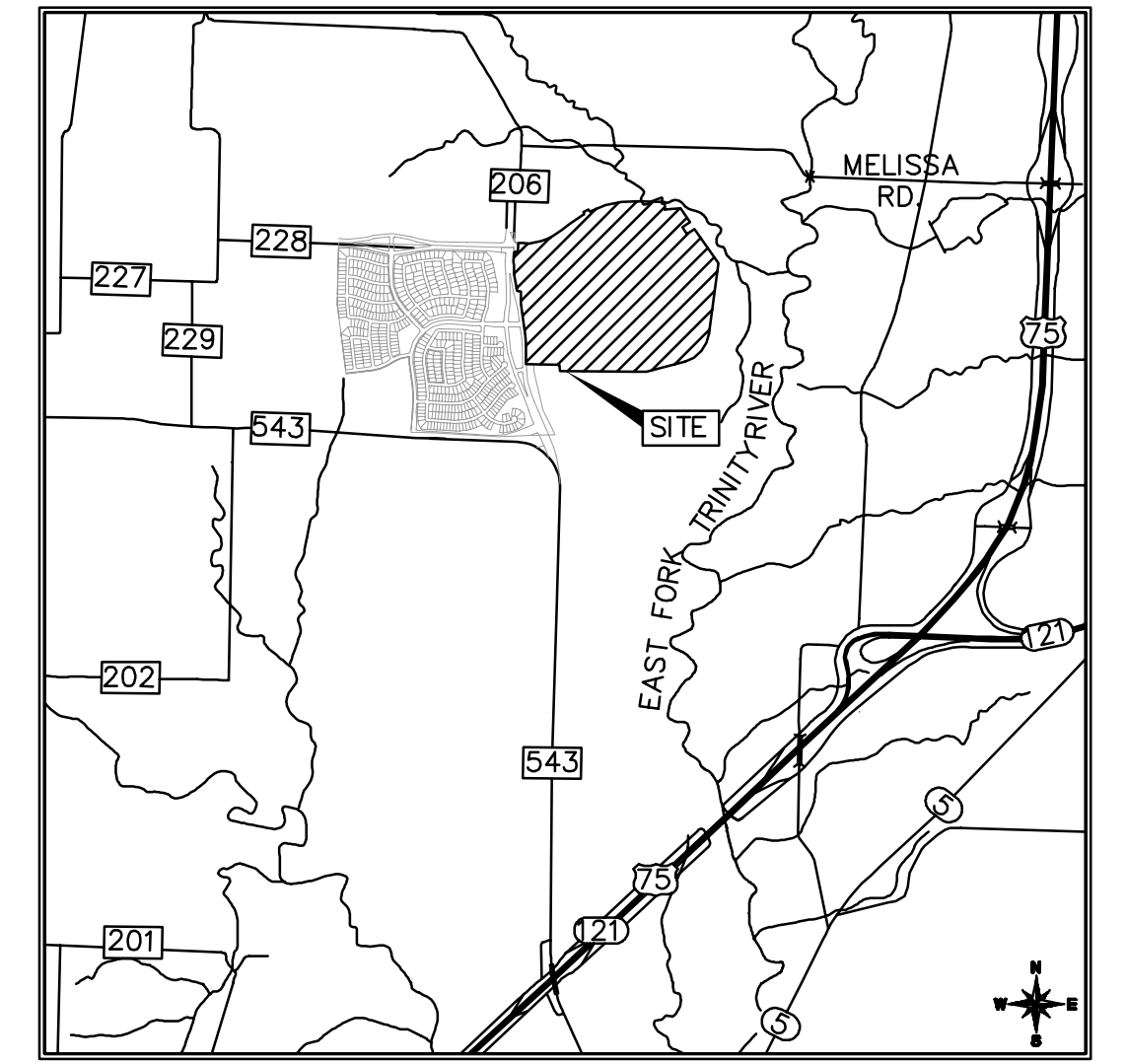
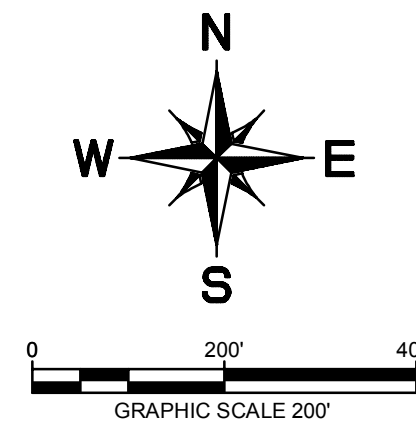
EXISTING  
 TRINITY FALLS  
 PLANNING UNIT 1

# SHEET U-1/D-1 SHEET U-2/D-2

# SHEET U-3/D-3 SHEET U-4/D-4

CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.

CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.



VICINITY MAP

TRINITY FALLS  
 PARK

MATCHLINE EXHIBIT  
 FOR  
**TRINITY FALLS**  
 PLANNING UNIT #2  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
 COLLIN COUNTY, TEXAS

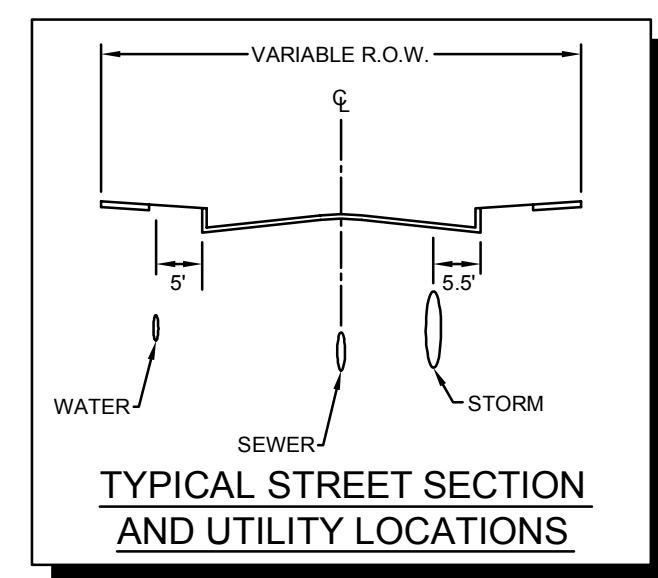
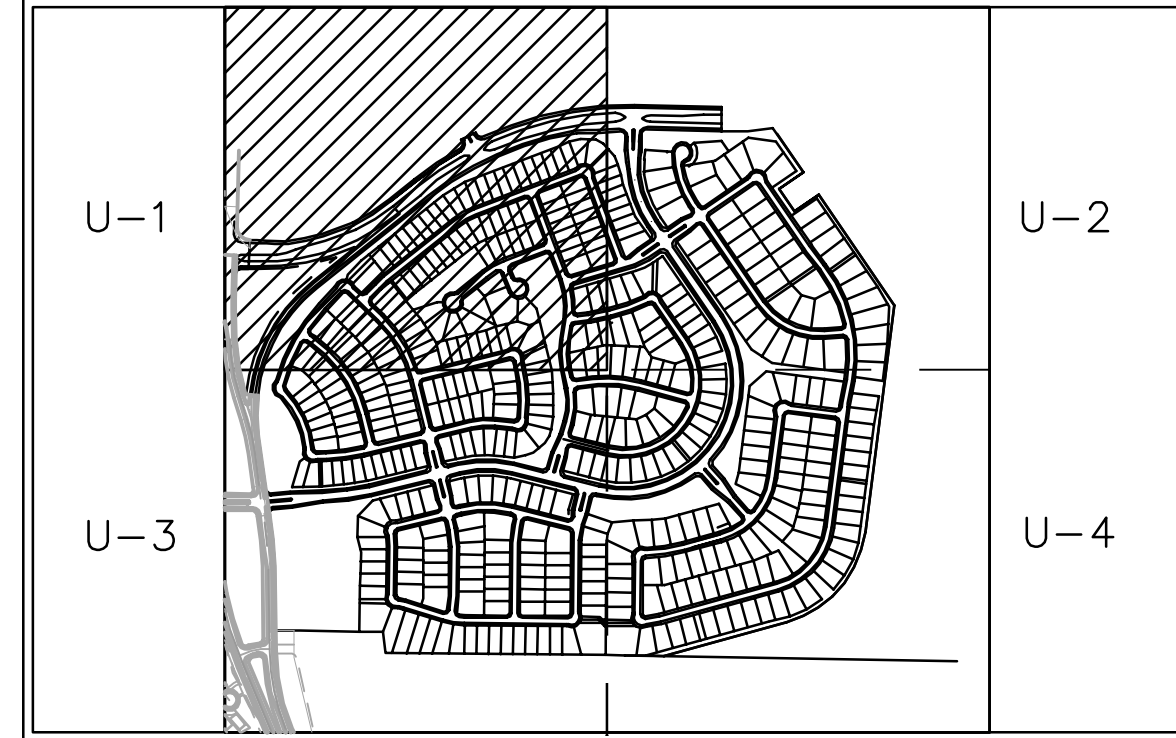
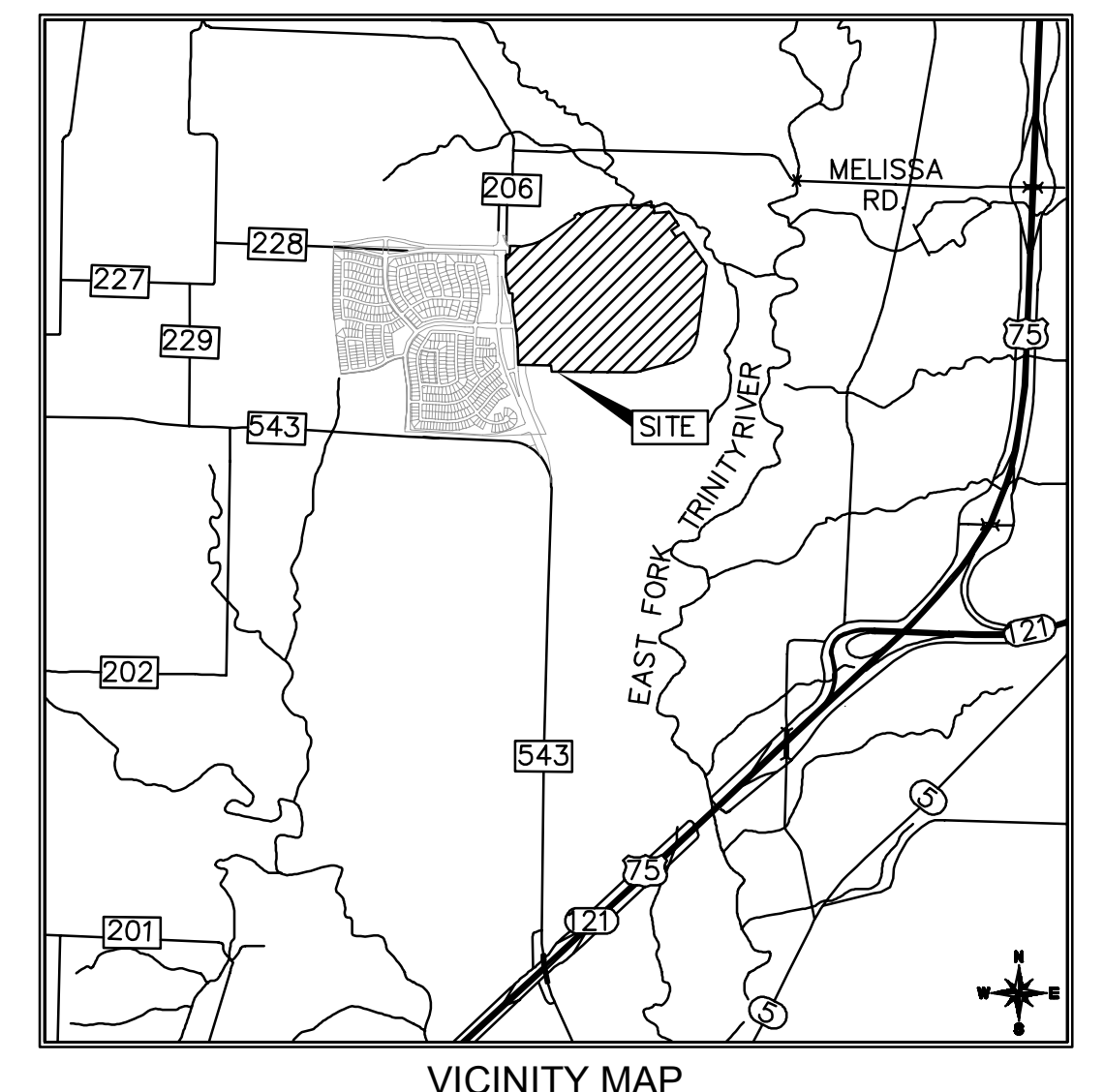
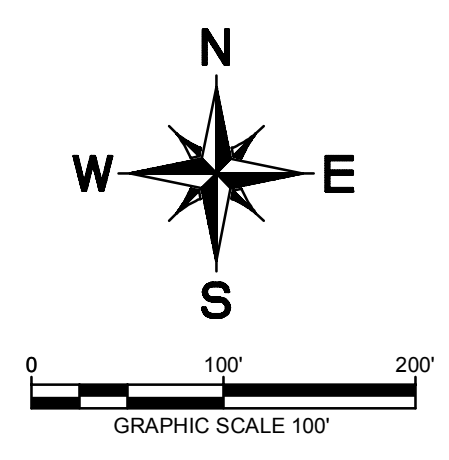
CITY OF MCKINNEY PROJECT NO. 14-084PF

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimble-Horn and Associates, Inc. 5750 Genesis Ct, Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
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DESIGNED PDM	DRAWN JW	CHECKED RLK	SCALE AS SHOWN	DATE APRIL 2014	KHA PROJECT NO. 088150018	G-2
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PLOTTED BY: KIMBLEY, HORN, AND ASSOCIATES, INC. DATE: 4/15/14  
 DRAWN BY: KIMBLEY, HORN, AND ASSOCIATES, INC. DATE: 4/15/14  
 CHECKED BY: KIMBLEY, HORN, AND ASSOCIATES, INC. DATE: 4/15/14  
 LAST SAVID: 4/15/14

This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, and shall be without liability to Kimbley-Horn and Associates, Inc.



**LEGEND**

---	PROPERTY LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE
D.E.	PROPOSED DRAINAGE EASEMENT
W.E.	PROPOSED WATER EASEMENT
S.E.	PROPOSED SANITARY SEWER EASEMENT
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED SANITARY MANHOLE CLEANOUT
⊙	PROPOSED SANITARY SEWER CLEANOUT
→	SANITARY SEWER FLOW DIRECTION
⚡	PROPOSED FIRE HYDRANT
I	PROPOSED GATE VALVE
---	EXISTING CONTOUR

- GENERAL NOTES**
- ALL WATER AND SANITARY SEWER LINES ARE 8" UNLESS OTHERWISE NOTED.
  - LAYOUT SHOWN IS PRELIMINARY. MANHOLE LOCATIONS WILL BE SUBJECT TO CHANGE IN FINAL DESIGN.

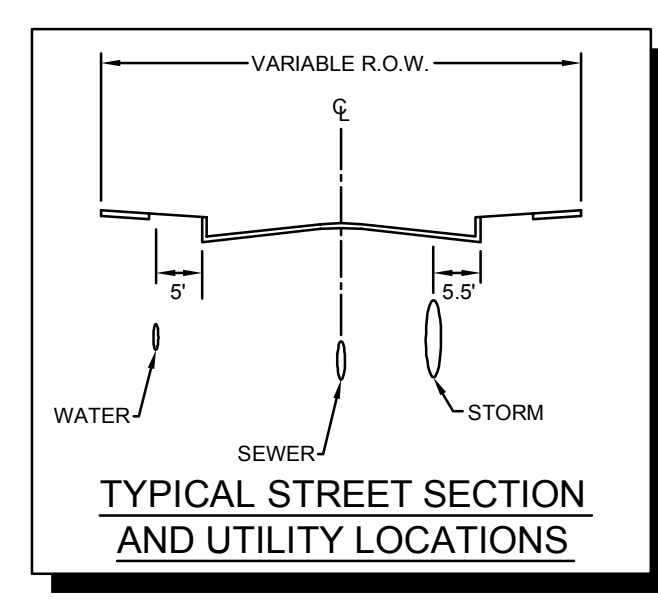
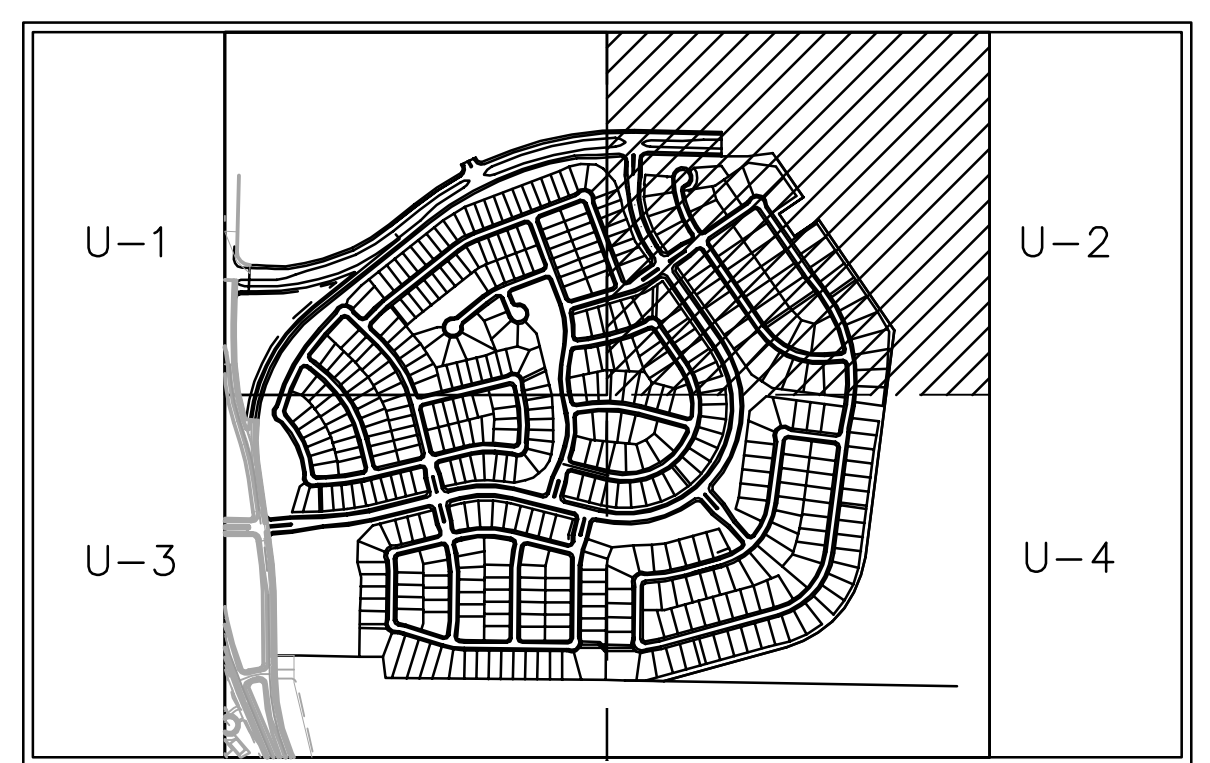
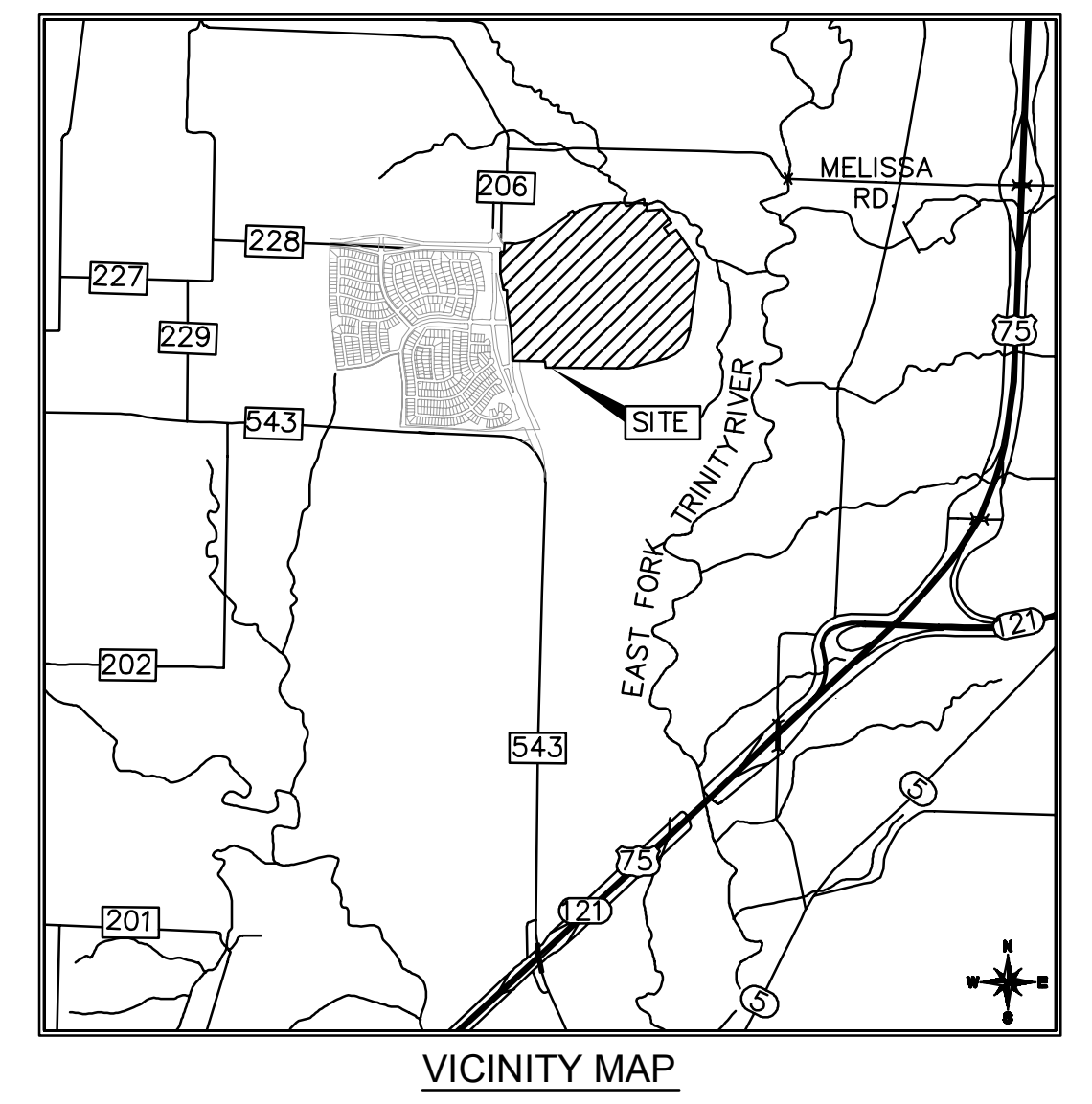
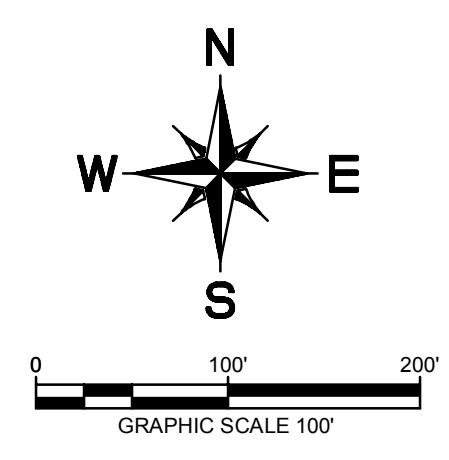
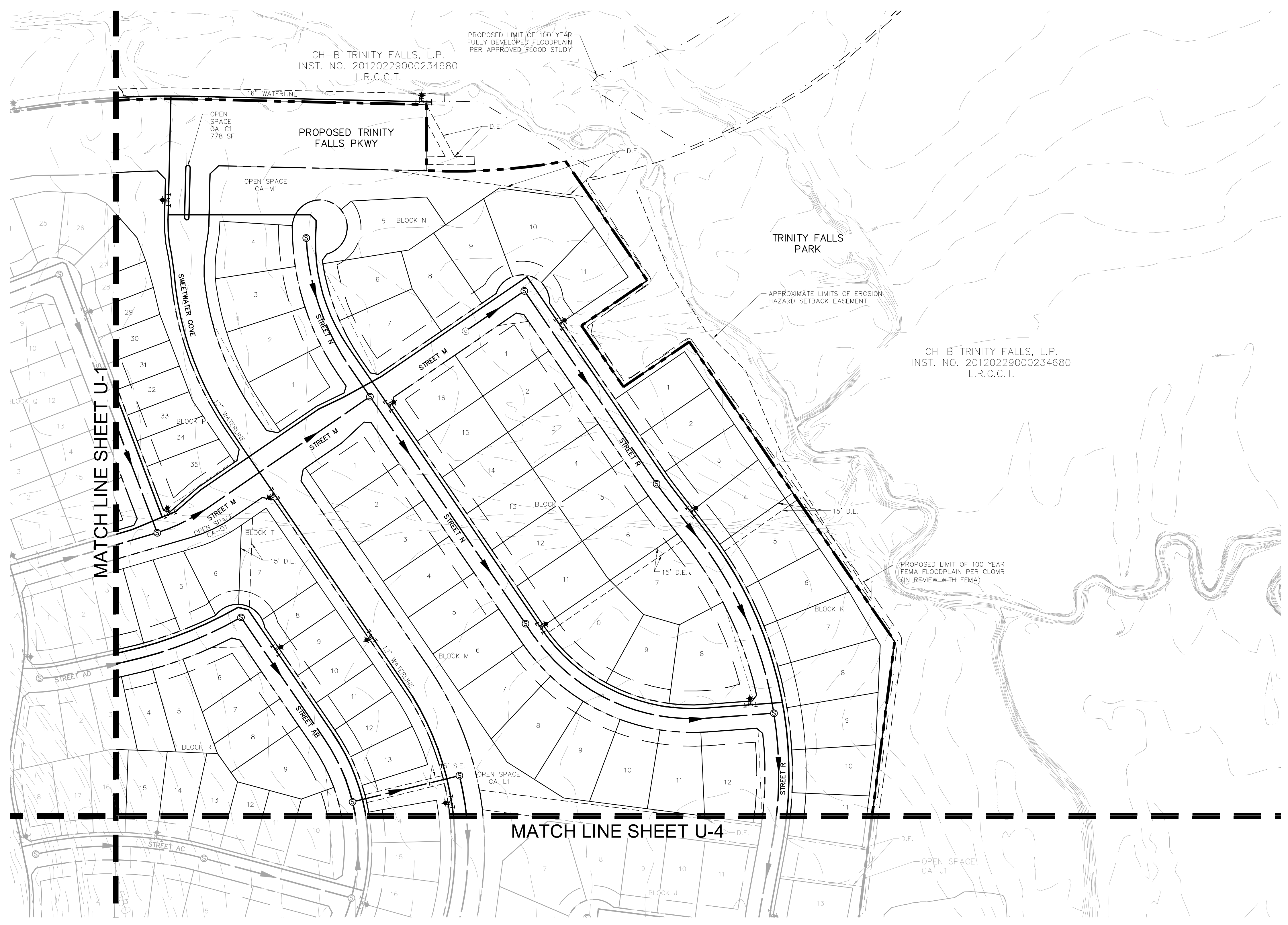
**CONCEPTUAL WATER AND SANITARY SEWER FOR**  
**TRINITY FALLS**  
**PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
 COLLIN COUNTY, TEXAS

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DESIGNED PDM	DRAWN JW	CHECKED RLK	SCALE AS SHOWN	DATE APRIL 2014	KHA PROJECT NO. 088150018	U-1
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PLOTTED BY: WASHINGTON, JACKSON, AND ASSOCIATES, INC. DATE: 4/15/14  
 DRAWN BY: KJRU CIVIL/08/05/00 - TRINITY FALLS/PLANS/UTILITY.DWG [U-2 Conceptual Water and Sanitary Sewer]  
 LAST SAVED: 4/16/2014 1:15 PM  
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**LEGEND**

	PROPERTY LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
D.E.	PROPOSED DRAINAGE EASEMENT
W.E.	PROPOSED WATER EASEMENT
S.E.	PROPOSED SANITARY SEWER EASEMENT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY MANHOLE CLEANOUT
	PROPOSED SANITARY SEWER CLEANOUT
	SANITARY SEWER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	EXISTING CONTOUR

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CONCEPTUAL WATER AND SANITARY SEWER FOR

**TRINITY FALLS**

PLANNING UNIT #2

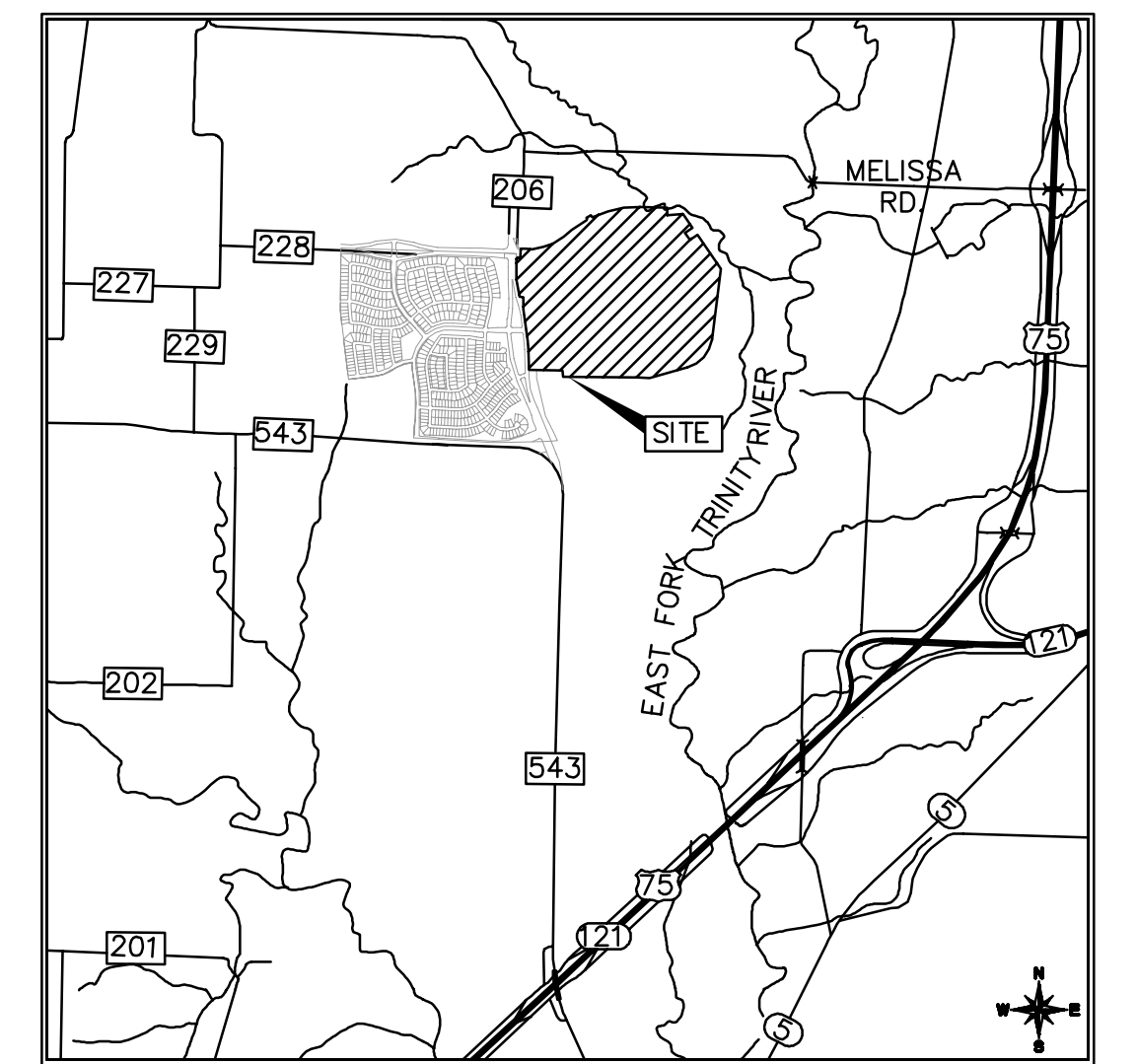
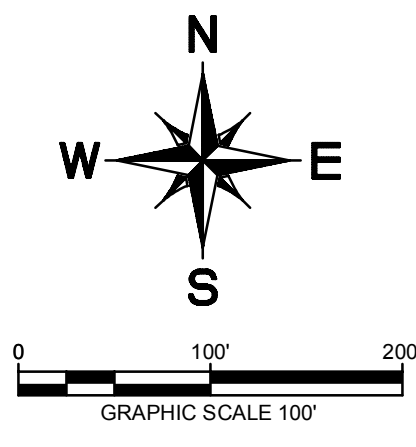
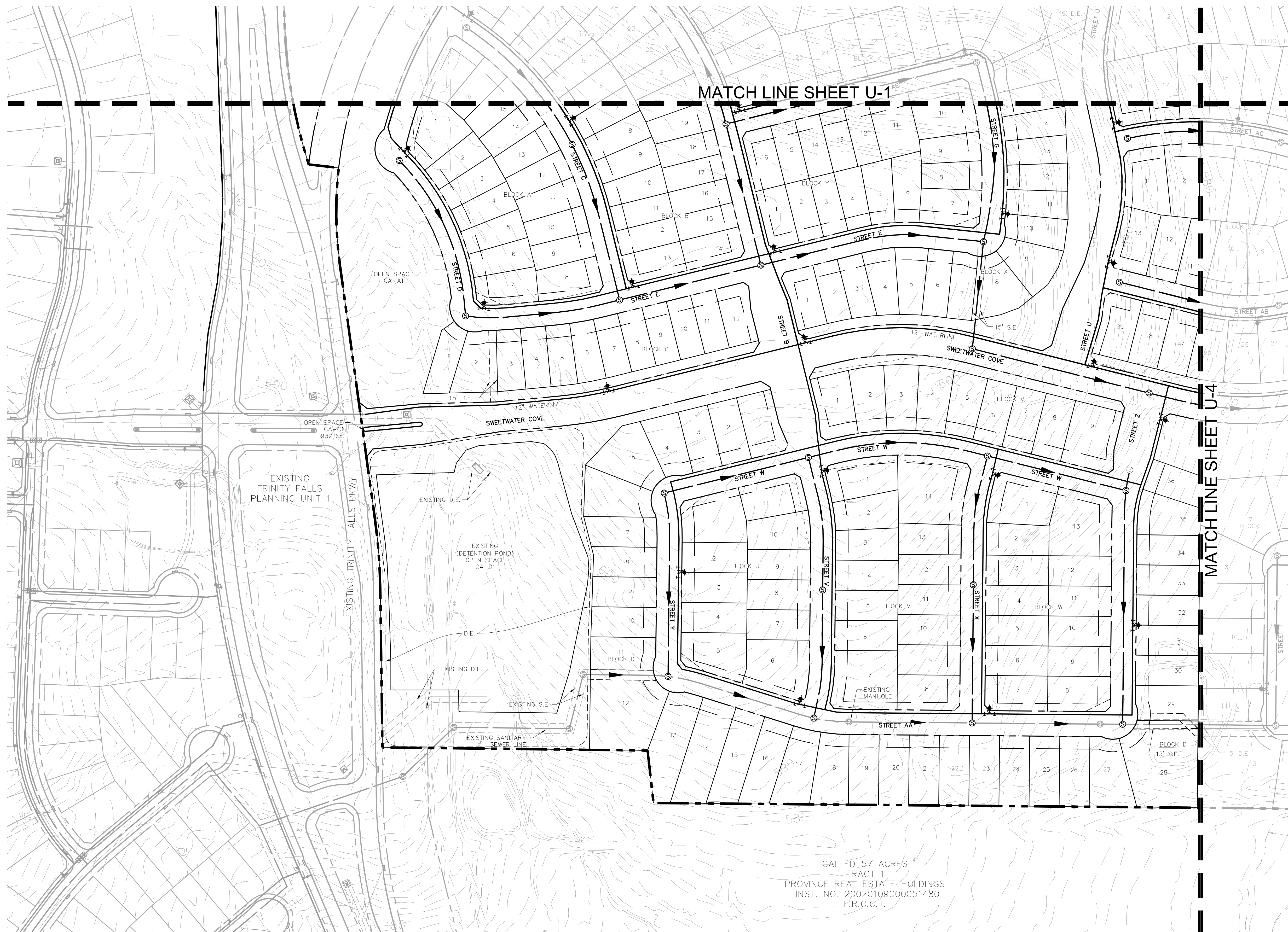
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COLLIN COUNTY, TEXAS

CITY OF MCKINNEY PROJECT NO. 14-084PF

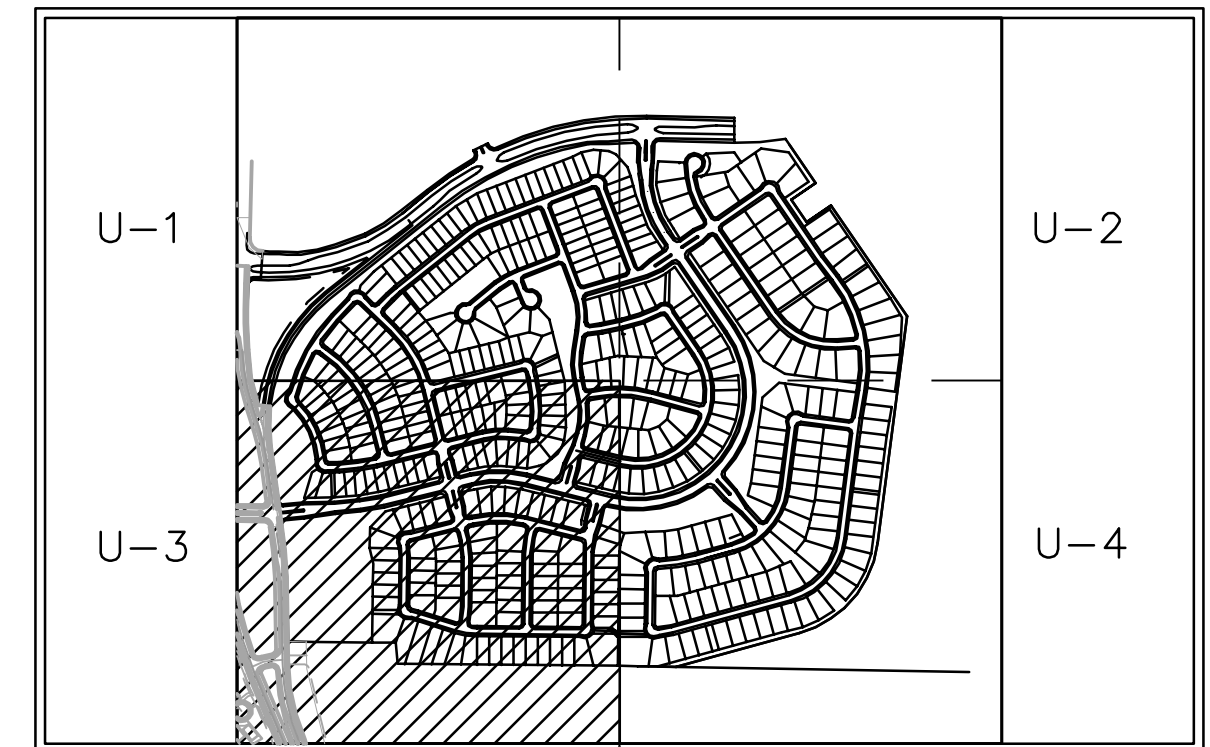
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DESIGNED	DRAWN	CHECKED	SCALE	DATE	KHA PROJECT NO.	
PDM	JW	RLK	AS SHOWN	APRIL 2014	088150018	U-2

PLOTTED BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 4/15/14 PM  
 DRAWN BY: KJR/CV/LL/MS/000 TRINITY FALLS PLAN UTILITY.DWG [U-3 Conceptual Water and Sanitary Sewer]  
 LAST SAVID: 4/16/2014 11:58 AM  
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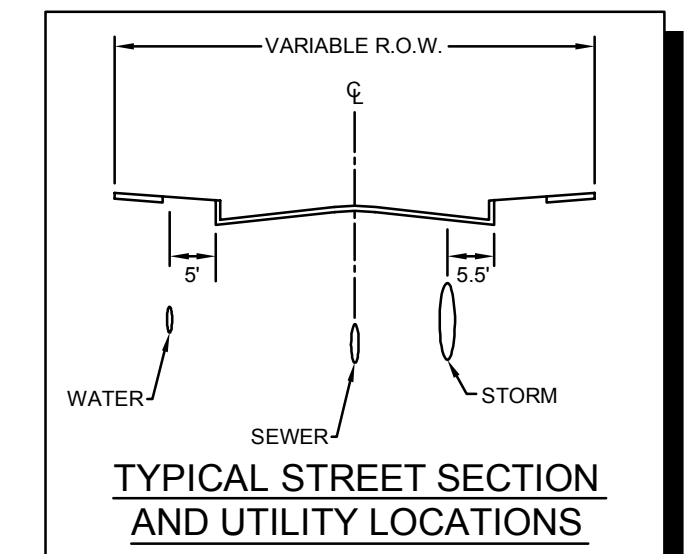


VICINITY MAP



**LEGEND**

	PROPERTY LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED DRAINAGE EASEMENT
	PROPOSED WATER EASEMENT
	PROPOSED SANITARY SEWER EASEMENT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY MANHOLE CLEANOUT
	PROPOSED SANITARY SEWER CLEANOUT
	SANITARY SEWER FLOW DIRECTION
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	EXISTING CONTOUR



**GENERAL NOTES**

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2. LAYOUT SHOWN IS PRELIMINARY. MANHOLE LOCATIONS WILL BE SUBJECT TO CHANGE IN FINAL DESIGN.

**CONCEPTUAL WATER AND SANITARY SEWER FOR**  
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**PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
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 OF UNPLATTED PROPERTY OUT OF THE  
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 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

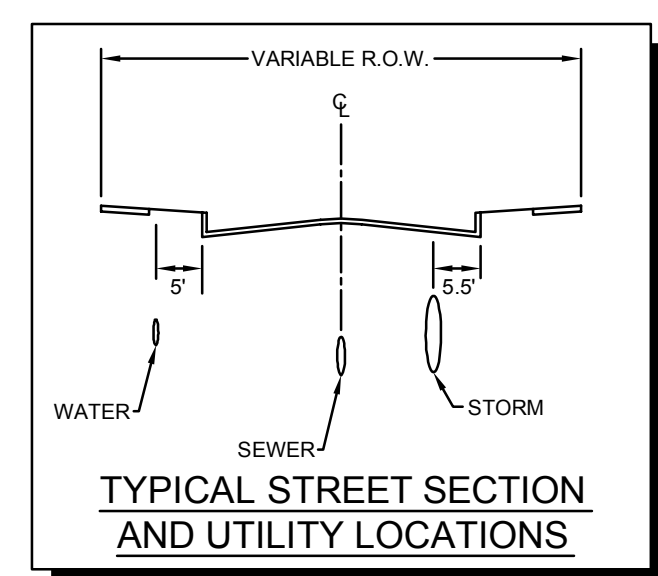
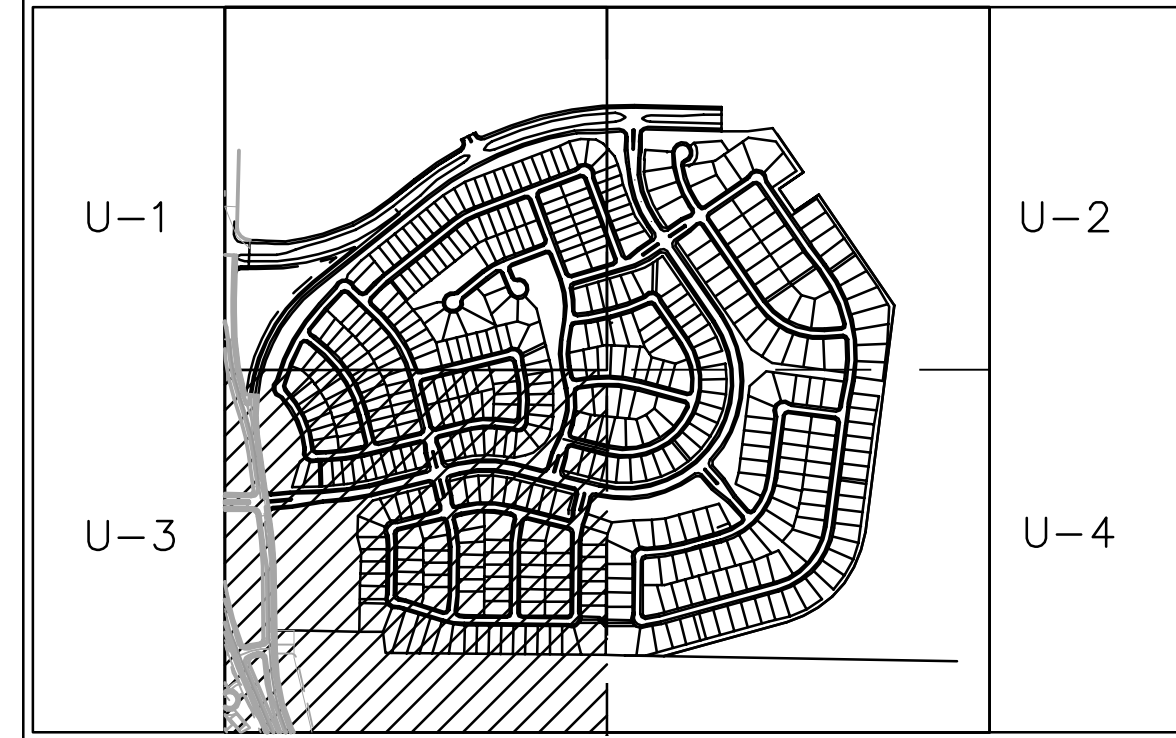
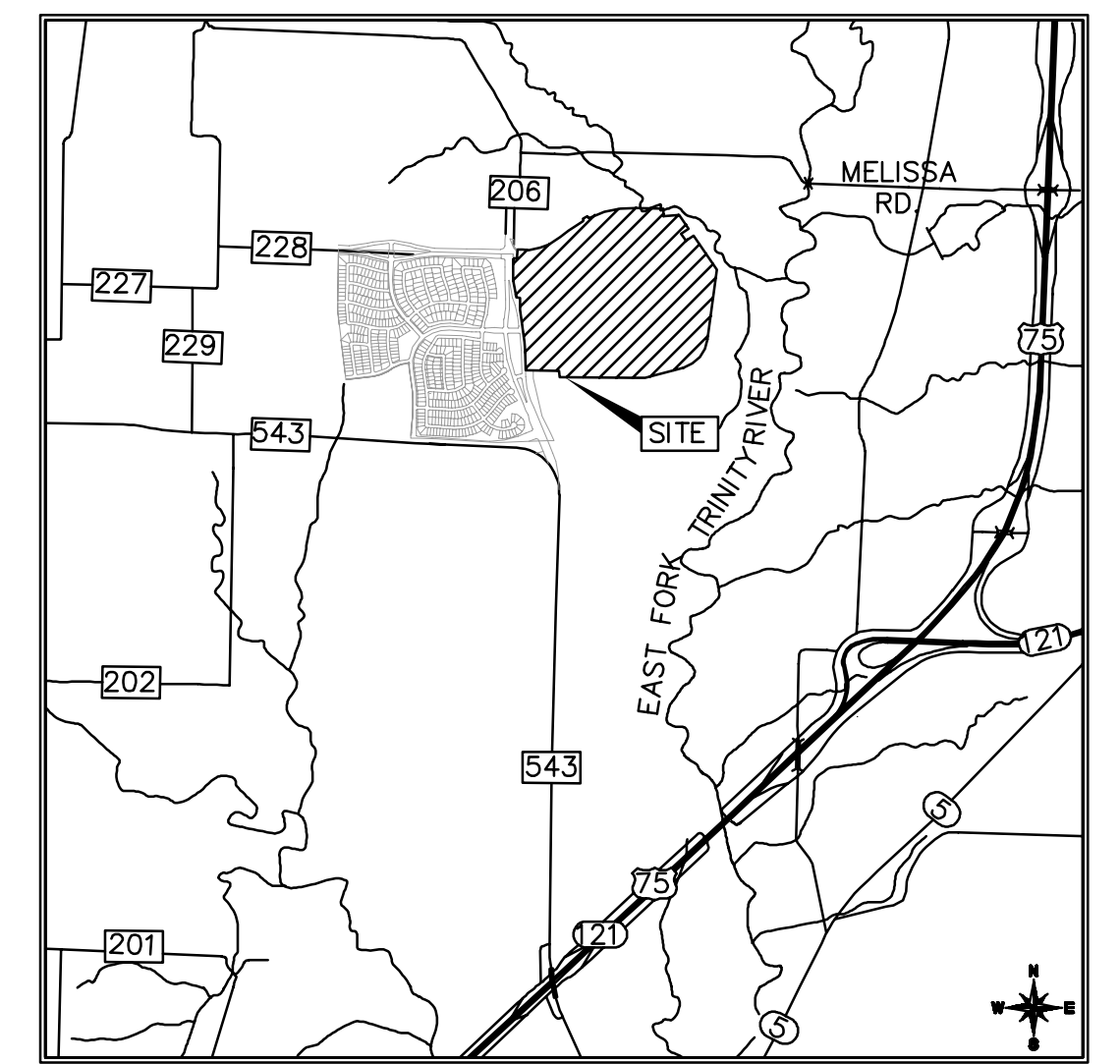
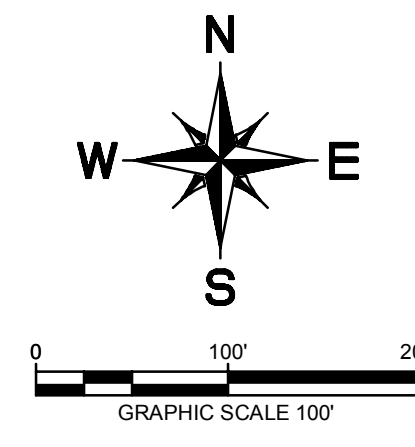
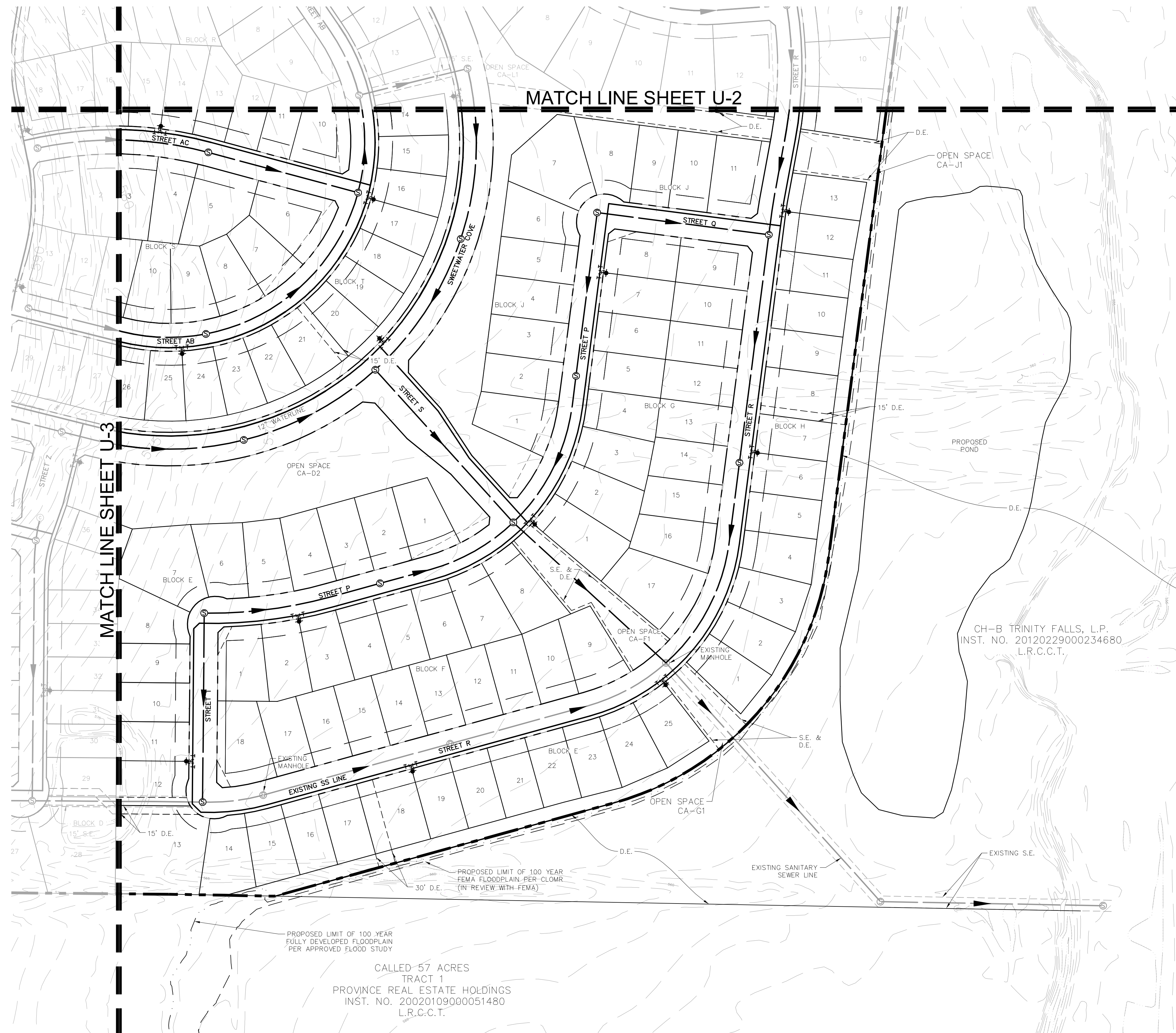
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DESIGNED PDM	DRAWN JW	CHECKED RLK	SCALE AS SHOWN	DATE APRIL 2014	KHA PROJECT NO. 088150018	U-3
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CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.

PLOTTED BY: KIMBLEY, HORN, AND ASSOCIATES, INC. DATE: 4/10/14  
 DRAWN BY: KIMBLEY, HORN, AND ASSOCIATES, INC. DATE: 4/10/14  
 CHECKED BY: KIMBLEY, HORN, AND ASSOCIATES, INC. DATE: 4/10/14  
 LAST SAVID: 4/10/14

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**LEGEND**

---	PROPERTY LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE
D.E.	PROPOSED DRAINAGE EASEMENT
W.E.	PROPOSED WATER EASEMENT
S.E.	PROPOSED SANITARY SEWER EASEMENT
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	PROPOSED SANITARY MANHOLE CLEANOUT
⊙	PROPOSED SANITARY SEWER CLEANOUT
→	SANITARY SEWER FLOW DIRECTION
⊙	PROPOSED FIRE HYDRANT
I	PROPOSED GATE VALVE
---	EXISTING CONTOUR

**GENERAL NOTES**

- ALL WATER AND SANITARY SEWER LINES ARE 8" UNLESS OTHERWISE NOTED.
- LAYOUT SHOWN IS PRELIMINARY. MANHOLE LOCATIONS WILL BE SUBJECT TO CHANGE IN FINAL DESIGN.

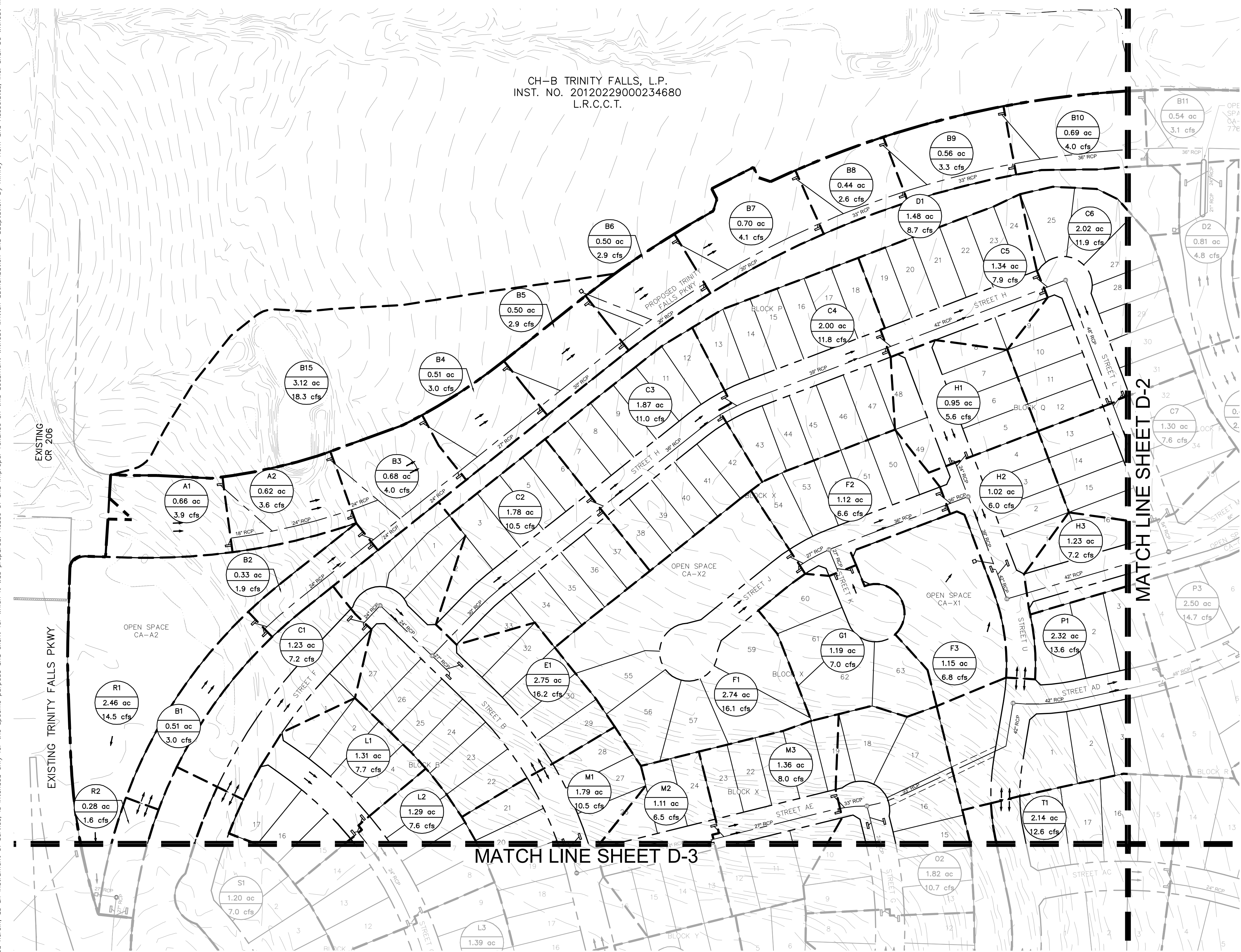
**CONCEPTUAL WATER AND SANITARY SEWER FOR**  
**TRINITY FALLS**  
**PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

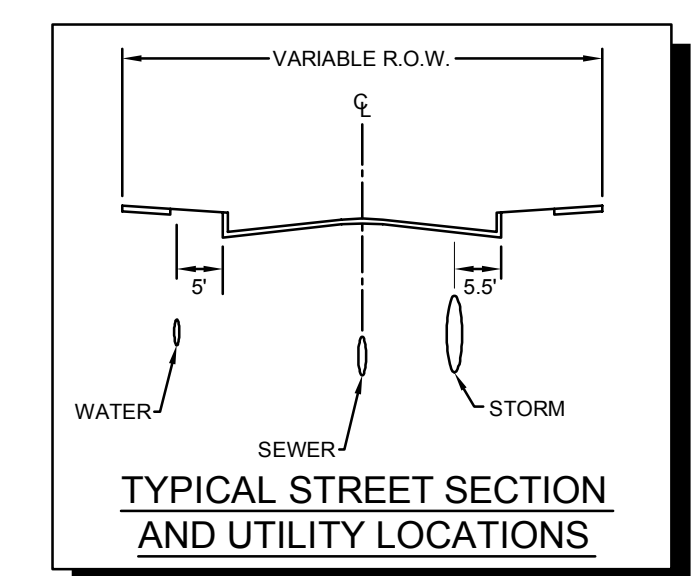
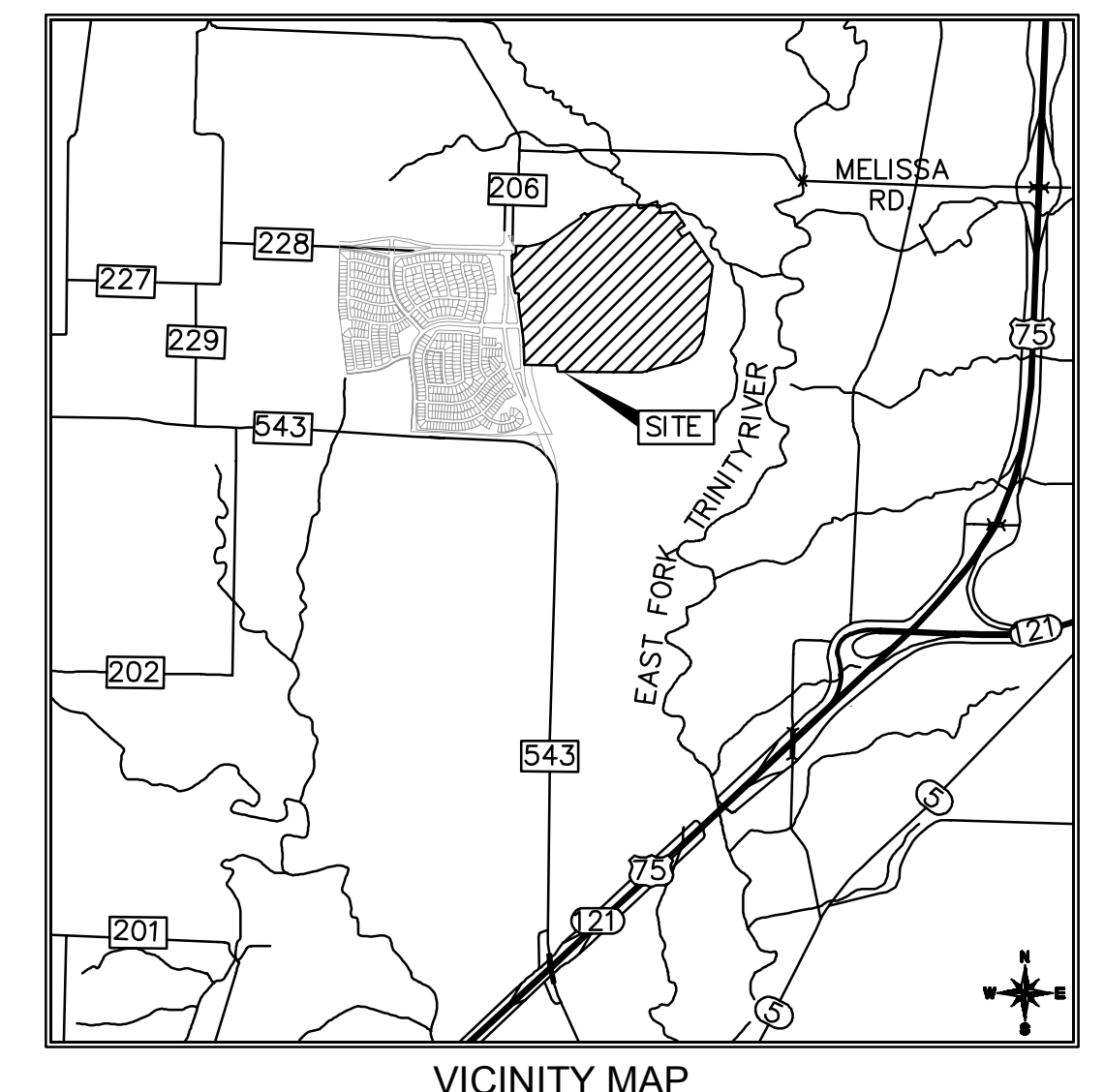
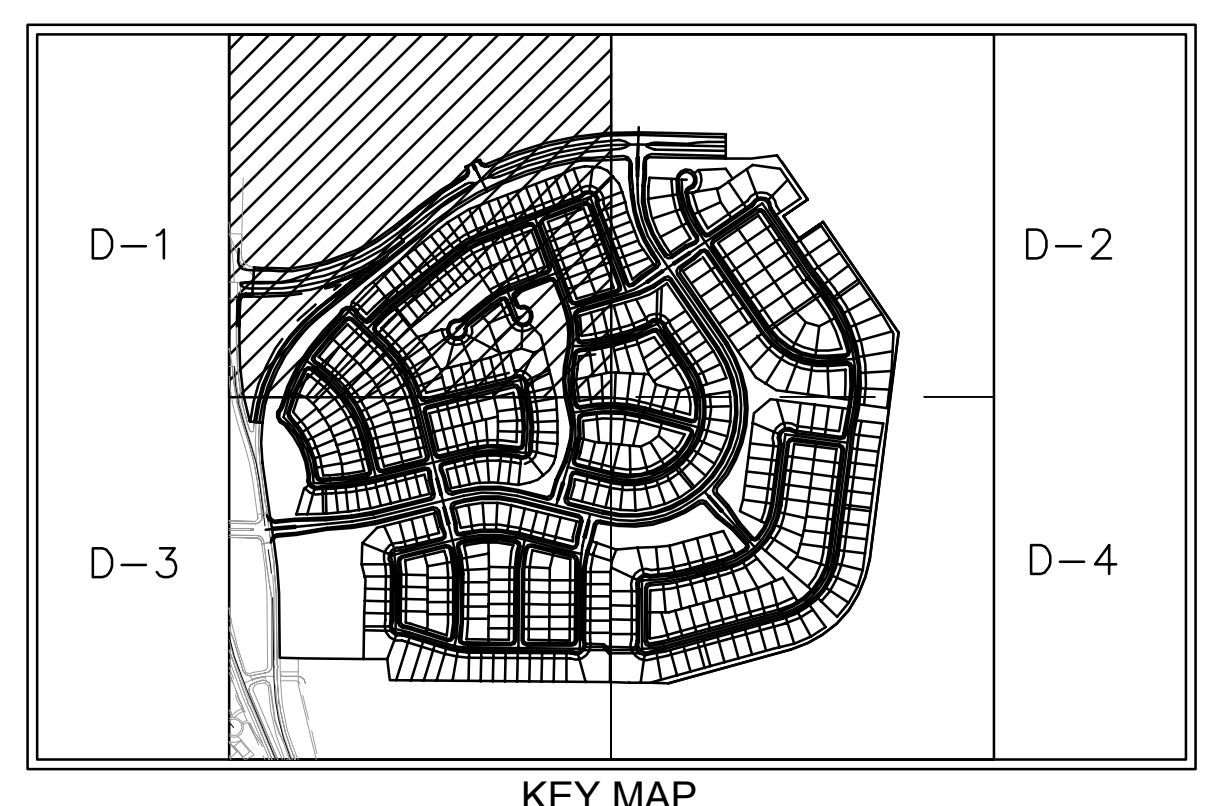
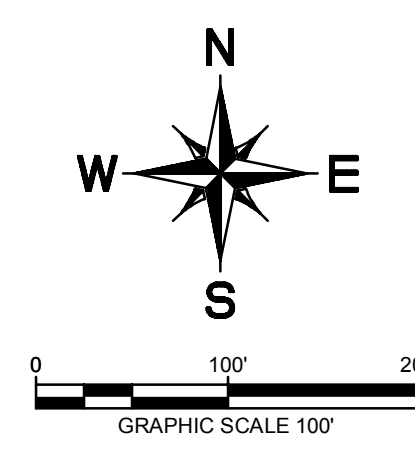
<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimbley-Horn and Associates, Inc. 5750 Genesis Ct., Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
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DESIGNED PDM	DRAWN JW	CHECKED RLK	SCALE AS SHOWN	DATE APRIL 2014	KHA PROJECT NO. 088150018	U-4
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PLOTTED BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 4/16/2014 10:54 AM  
 DWGNAME: K:\2014\1405000 - TRINITY FALLS\DWG\20140500 - TRINITY FALLS\DRAINAGE\AREA MAP\DWG - [D1] Drainage Area Map  
 LAST SAVID: 4/16/2014 10:54 AM  
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CH-B TRINITY FALLS, L.P.  
 INST. NO. 20120229000234680  
 L.R.C.C.T.



**DRAINAGE DESIGN CRITERIA**

$Q100 = K \cdot C \cdot I^A$   
 $Q = \text{FLOW IN CUBIC FEET PER SECOND (CFS)}$   
 $K = \text{FREQUENCY FACTOR}$   
 $K = 1.15$   
 $C = \text{RUNOFF COEFFICIENT}$   
 0.65 SINGLE FAMILY  
 0.95 ASPHALT, CONCRETE  
 0.85 COMMERCIAL  
 0.40 OPEN SPACE/PARK  
 0.95 POND  
 $I = \text{INTENSITY}$   
 FOR TIME OF CONCENTRATION OF 15 MINUTES,  $I = 7.86 \text{ IN/HR}$   
 FOR TIME OF CONCENTRATION OF 10 MINUTES,  $I = 9.20 \text{ IN/HR}$   
 $A = \text{DRAINAGE AREA IN ACRES}$

**LEGEND**

	AREA DESIGNATOR
	AREA IN ACRES
	G100 FLOW IN CFS
	PROPERTY LINE
	PROPOSED STORM DRAIN LINE
	FUTURE STORM DRAIN LINE
	PROPOSED DRAINAGE DIVIDE
	PROPOSED DRAINAGE EASEMENT
	PROPOSED STORM DRAIN INLET
	PROPOSED DETENTION POND OUTLET STRUCTURE
	PROPOSED STORM DRAIN HEADWALL
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED FLOW DIRECTION
	EXISTING CONTOUR

- GENERAL NOTES**
- LAYOUT SHOWN IS PRELIMINARY. INLET/ MANHOLE LOCATIONS WILL BE SUBJECT TO CHANGE IN FINAL DESIGN.
  - ALL LATERALS ARE 18" RCP UNLESS OTHERWISE NOTED.
  - DETENTION FACILITIES WITHIN OPEN SPACES ARE DEPICTED CONCEPTUALLY AND EXACT CONFIGURATIONS WILL BE DETERMINED AT THE TIME OF FINAL DESIGN TO MINIMIZE EASEMENT SIZES.

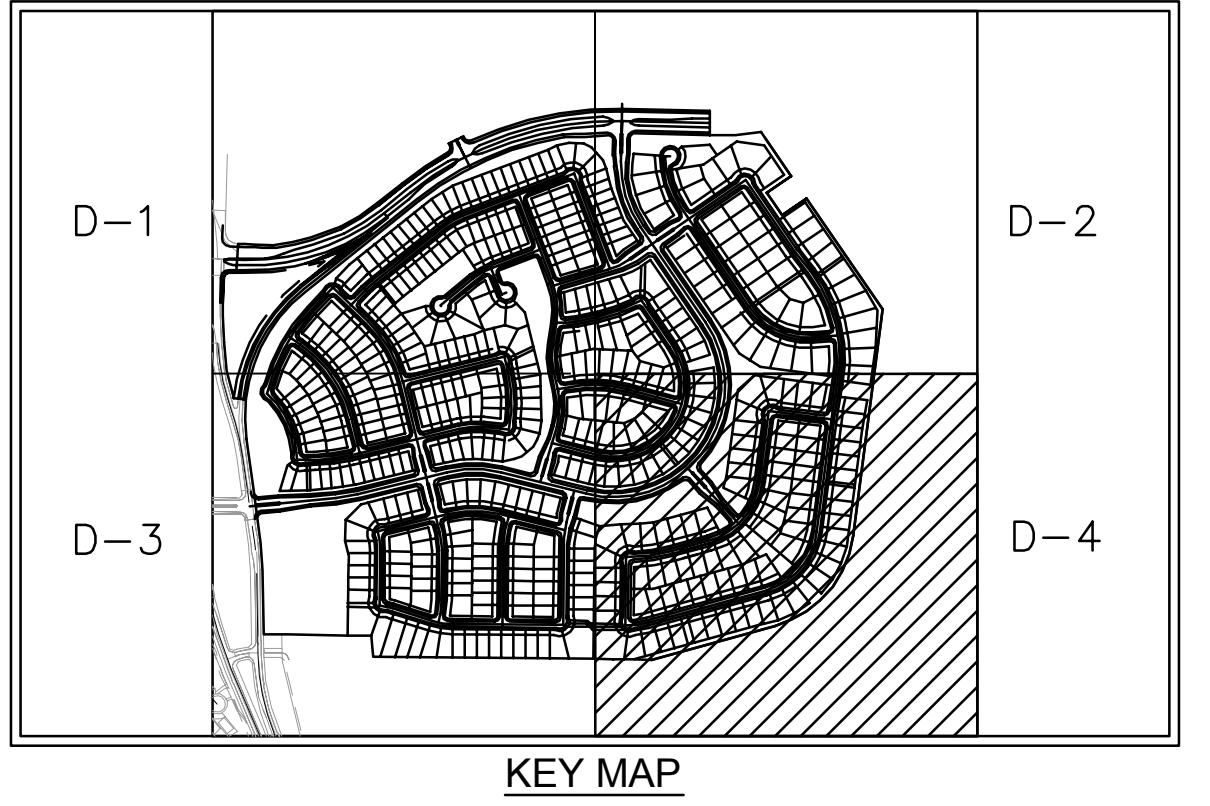
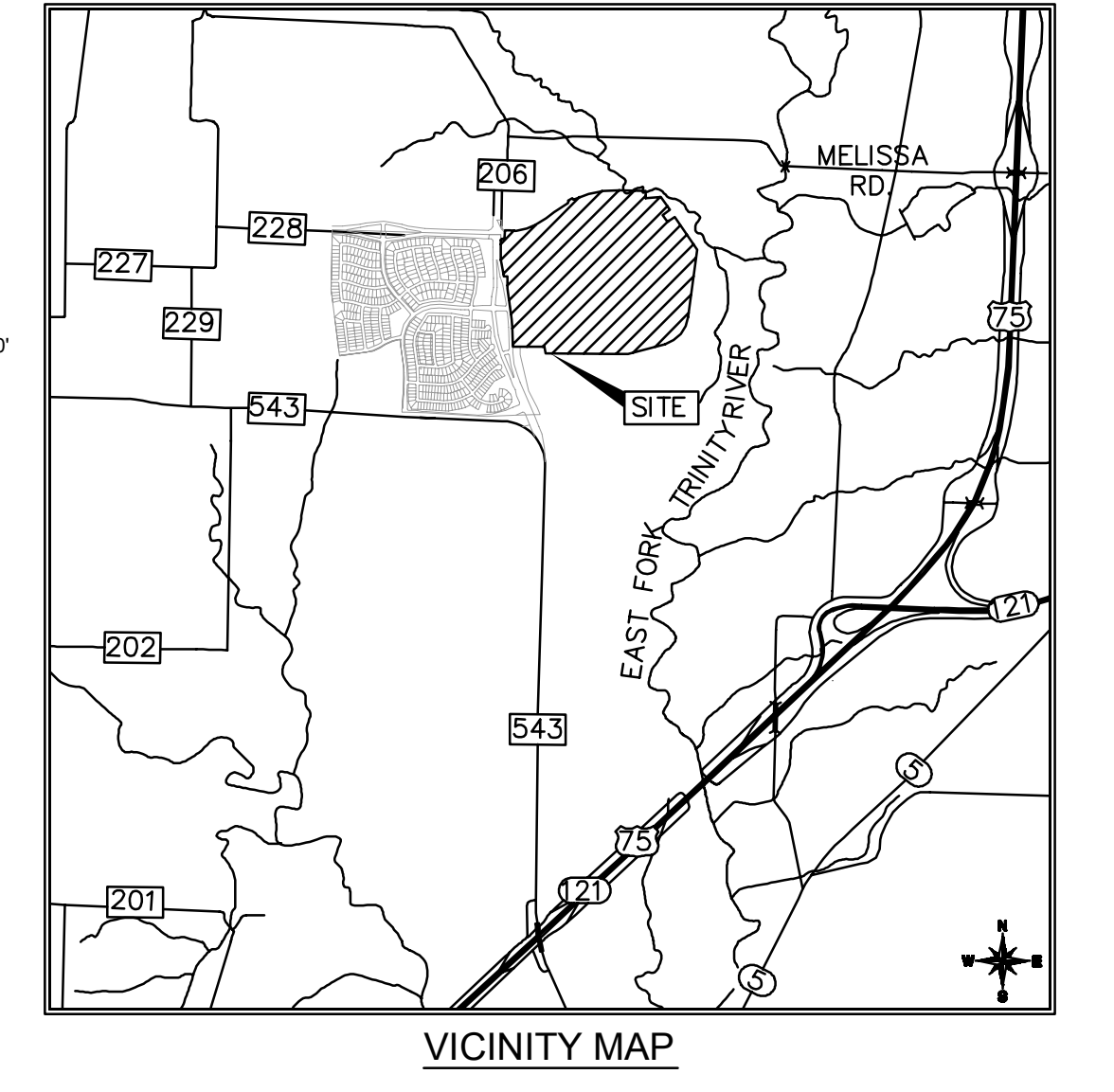
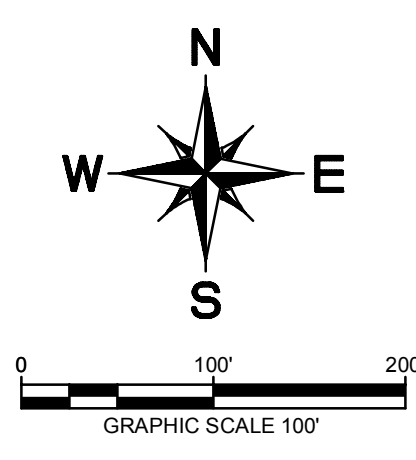
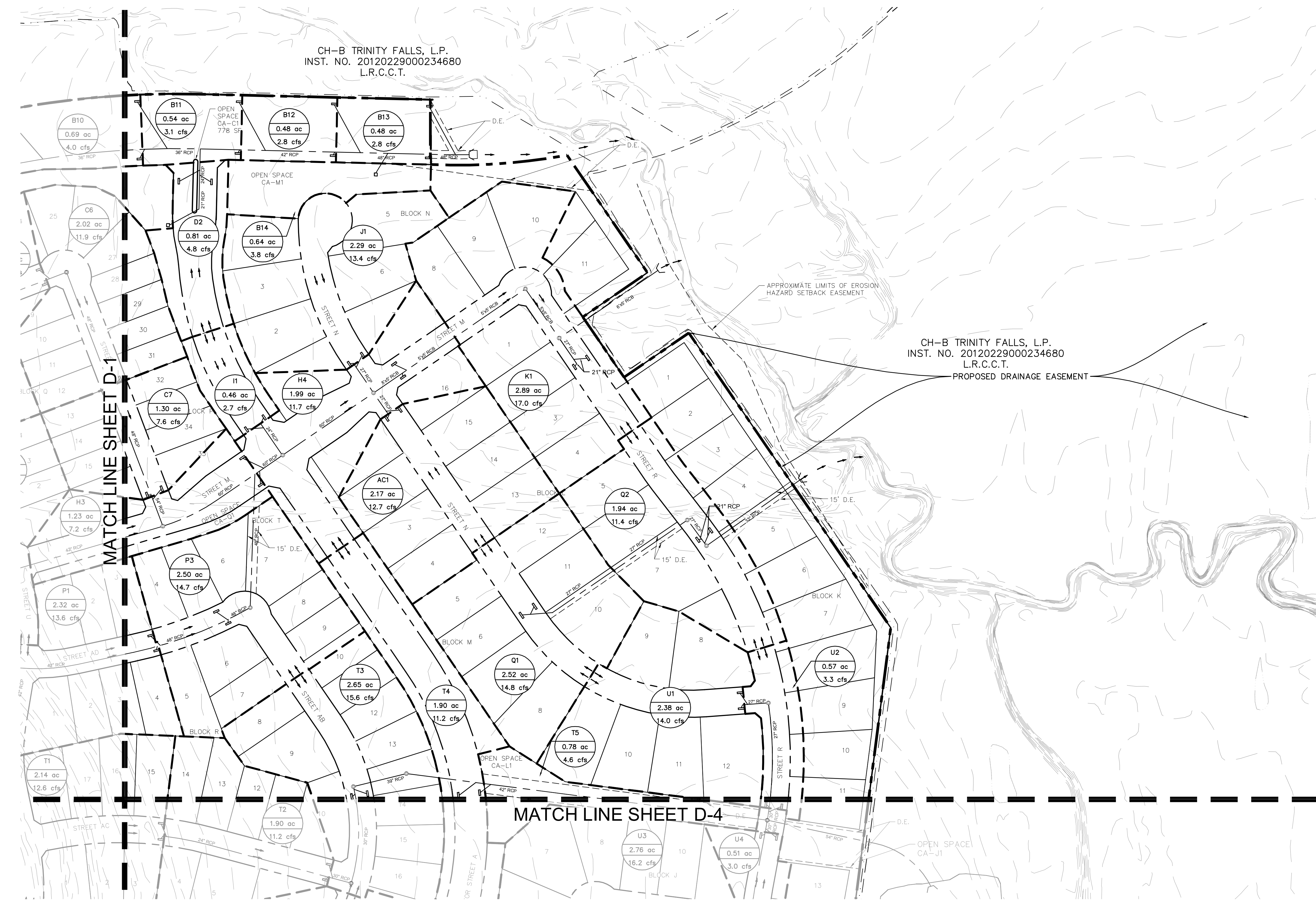
**DRAINAGE AREA MAP FOR**  
**TRINITY FALLS**  
**PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
 BEING 163.91 ACRES  
 OF UNPLATTED PROPERTY OUT OF THE  
 JOHN EMBERSON SURVEY, ABSTRACT NO. 294  
 COLLIN COUNTY, TEXAS

**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates, Inc. 5750 Genesis Ct., Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
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DESIGNED: PDM	DRAWN: JW	CHECKED: RLK	SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018	D-1
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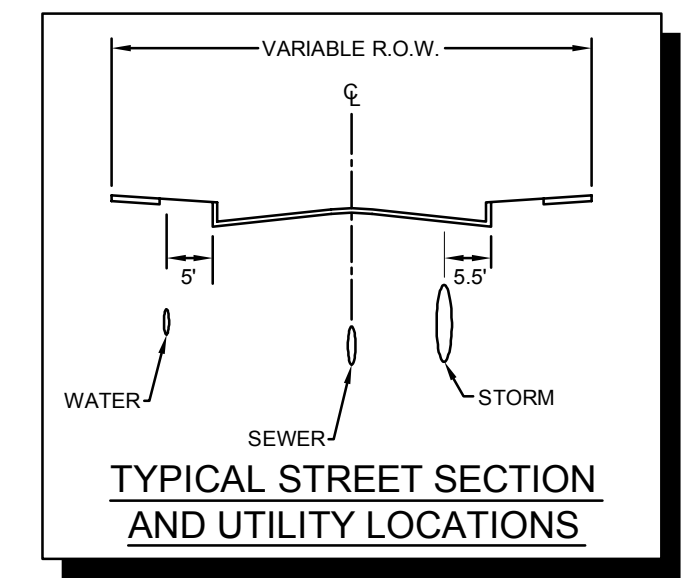
PROJECT NO. 20120229000234680  
 DATE: 04/15/2014  
 DRAWN BY: KJRU  
 CHECKED BY: RJK  
 DESIGNER: RJK  
 PLANNING UNIT #2  
 OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS  
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**LEGEND**

$X-1$	AREA DESIGNATOR
1.00 ac	AREA IN ACRES
9.9 cfs	Q100 FLOW IN CFS
---	PROPERTY LINE
---	PROPOSED STORM DRAIN LINE
---	FUTURE STORM DRAIN LINE
---	PROPOSED DRAINAGE DIVIDE
D.E.	PROPOSED DRAINAGE EASEMENT
□	PROPOSED STORM DRAIN INLET
□	PROPOSED DETENTION POND OUTLET STRUCTURE
—	PROPOSED STORM DRAIN HEADWALL
○	PROPOSED STORM DRAIN MANHOLE
→	PROPOSED FLOW DIRECTION
---	EXISTING CONTOUR

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**DRAINAGE DESIGN CRITERIA**

$Q_{100} = K^*C^*I^A$   
 Q = FLOW IN CUBIC FEET PER SECOND (CFS)  
 K = FREQUENCY FACTOR  
 $K=1.15$   
 C = RUNOFF COEFFICIENT  
 0.65 SINGLE FAMILY  
 0.85 ASPHALT, CONCRETE  
 0.85 COMMERCIAL  
 0.40 OPEN SPACE/PARK  
 0.95 POND  
 I = INTENSITY  
 FOR TIME OF CONCENTRATION OF 15 MINUTES, I = 7.66 IN/HR  
 FOR TIME OF CONCENTRATION OF 10 MINUTES, I = 9.20 IN/HR  
 A = DRAINAGE AREA IN ACRES

**DRAINAGE AREA MAP FOR TRINITY FALLS PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS BEING 163.91 ACRES OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS

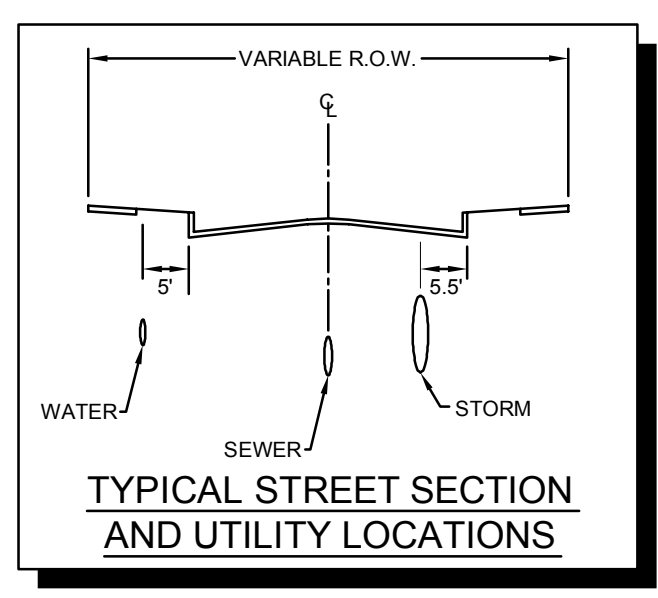
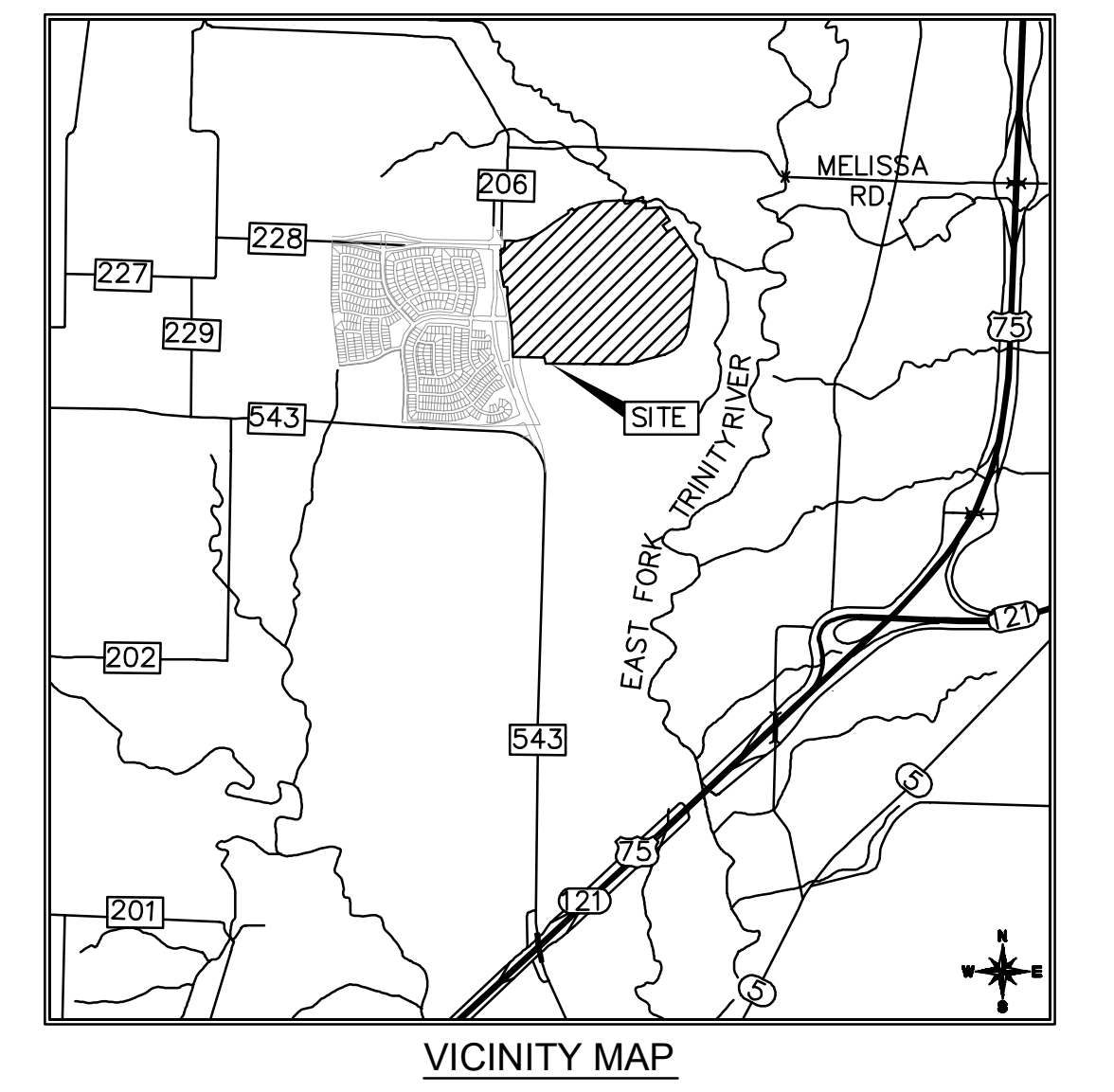
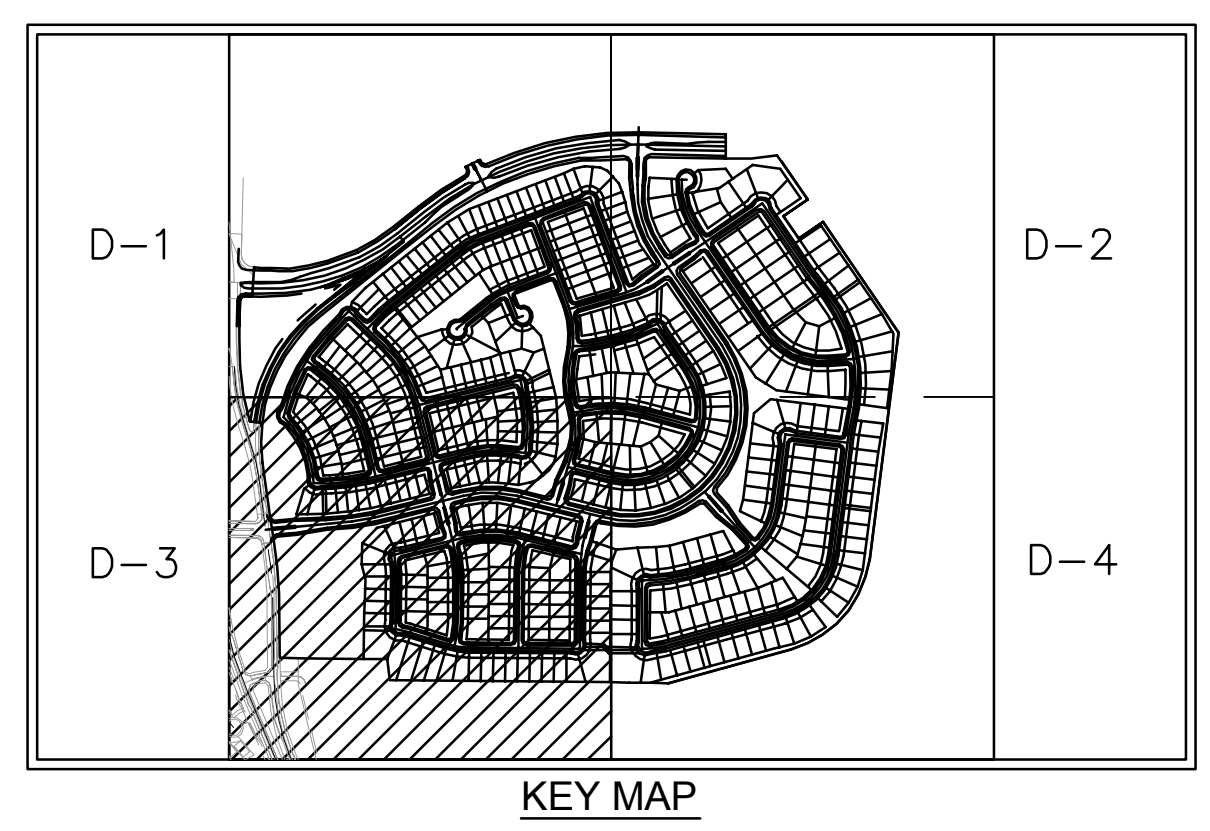
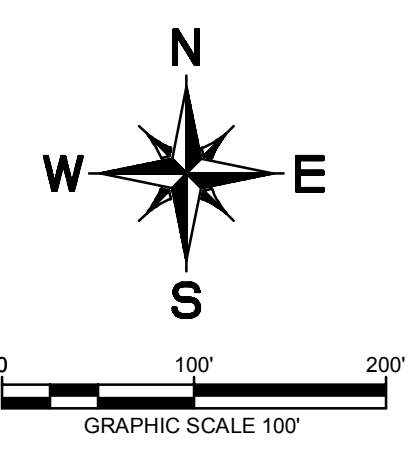
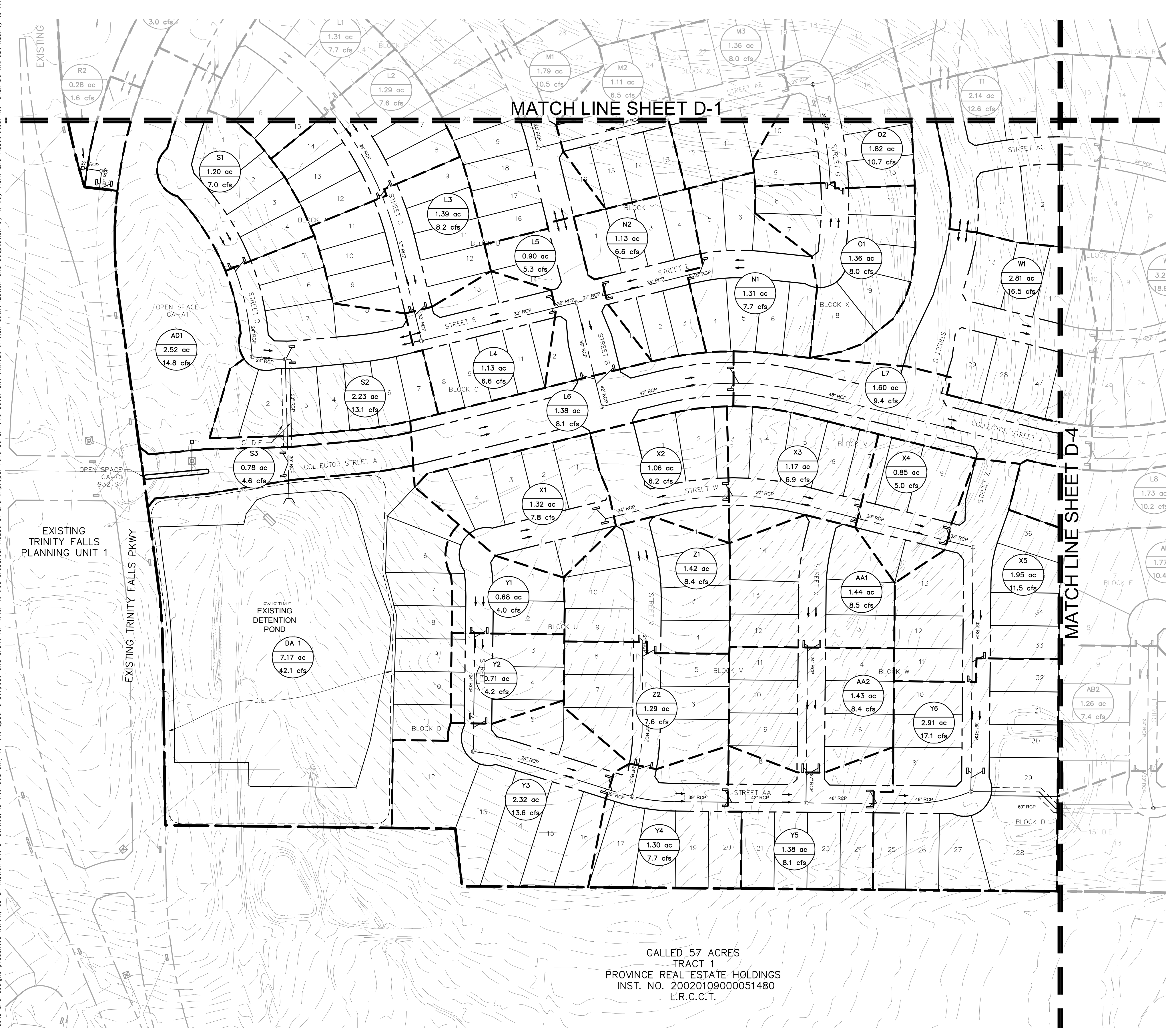
**CITY OF MCKINNEY PROJECT NO. 14-084PF**

<b>OWNER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>DEVELOPER:</b> CH-B Trinity Falls, L.P. Castle Hill Partners 1111 West 11th St. Austin, TX 78703 Contact: Gary Mefford (512) 381-6136	<b>ENGINEER/PLANNER:</b>  Kimley-Horn and Associates, Inc. 5750 Genesis Ct., Suite 200 Frisco, TX 75034 Tel: (972) 335-3580 Contact: Russell L. Kennedy, P.E.
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DESIGNED PDM	DRAWN JW	CHECKED RLK	SCALE AS SHOWN	DATE APRIL 2014	KHA PROJECT NO. 088150018	D-2
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PLANNING UNIT #2  
 DWG NAME: KJRU CIVIL080500 - TRINITY FALLS DRAINAGE AREA MAP DWG [D3 Drainage Area Map]  
 LAST SAVID: 4/16/2014 2:07 PM  
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**LEGEND**

	AREA DESIGNATOR
	AREA IN ACRES
	Q100 FLOW IN CFS
	PROPERTY LINE
	PROPOSED STORM DRAIN LINE
	FUTURE STORM DRAIN LINE
	PROPOSED DRAINAGE DIVIDE
	PROPOSED DRAINAGE EASEMENT
	PROPOSED STORM DRAIN INLET
	PROPOSED DETENTION POND OUTLET STRUCTURE
	PROPOSED STORM DRAIN HEADWALL
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED FLOW DIRECTION
	EXISTING CONTOUR

**DRAINAGE DESIGN CRITERIA**

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 0.40 OPEN SPACE/PARK  
 0.95 POND  
 I = INTENSITY  
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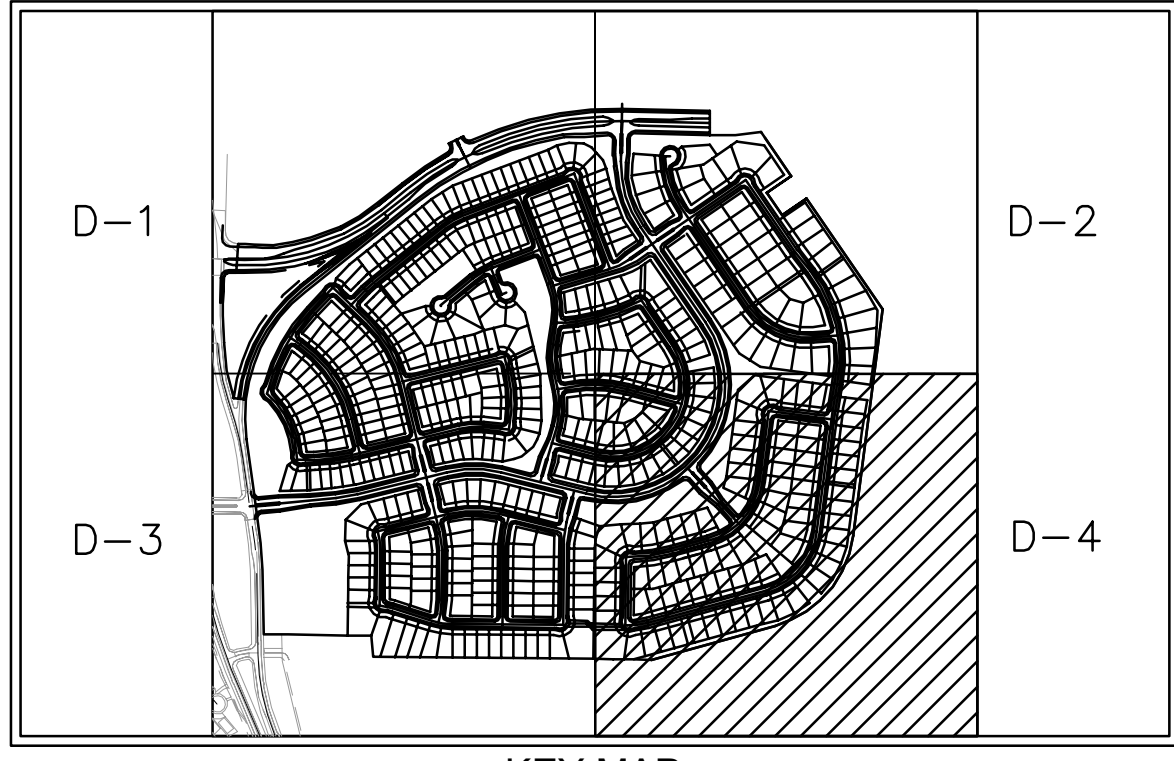
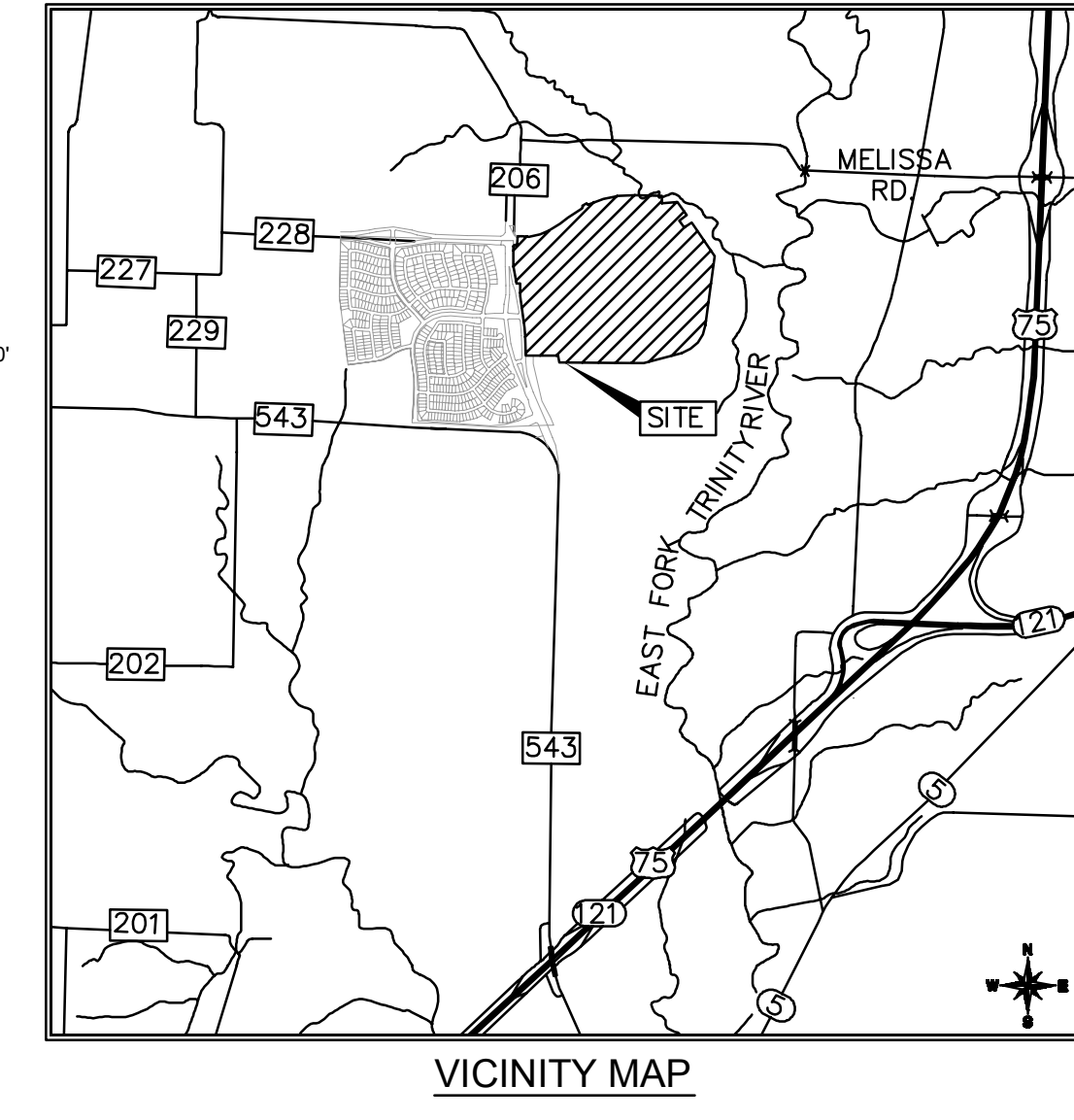
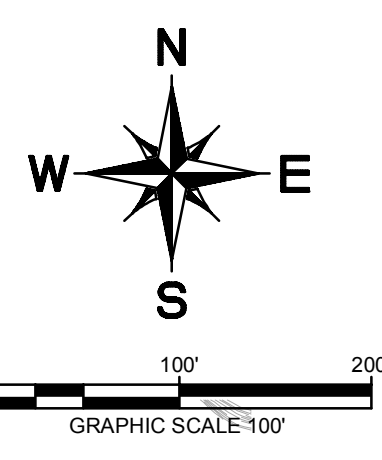
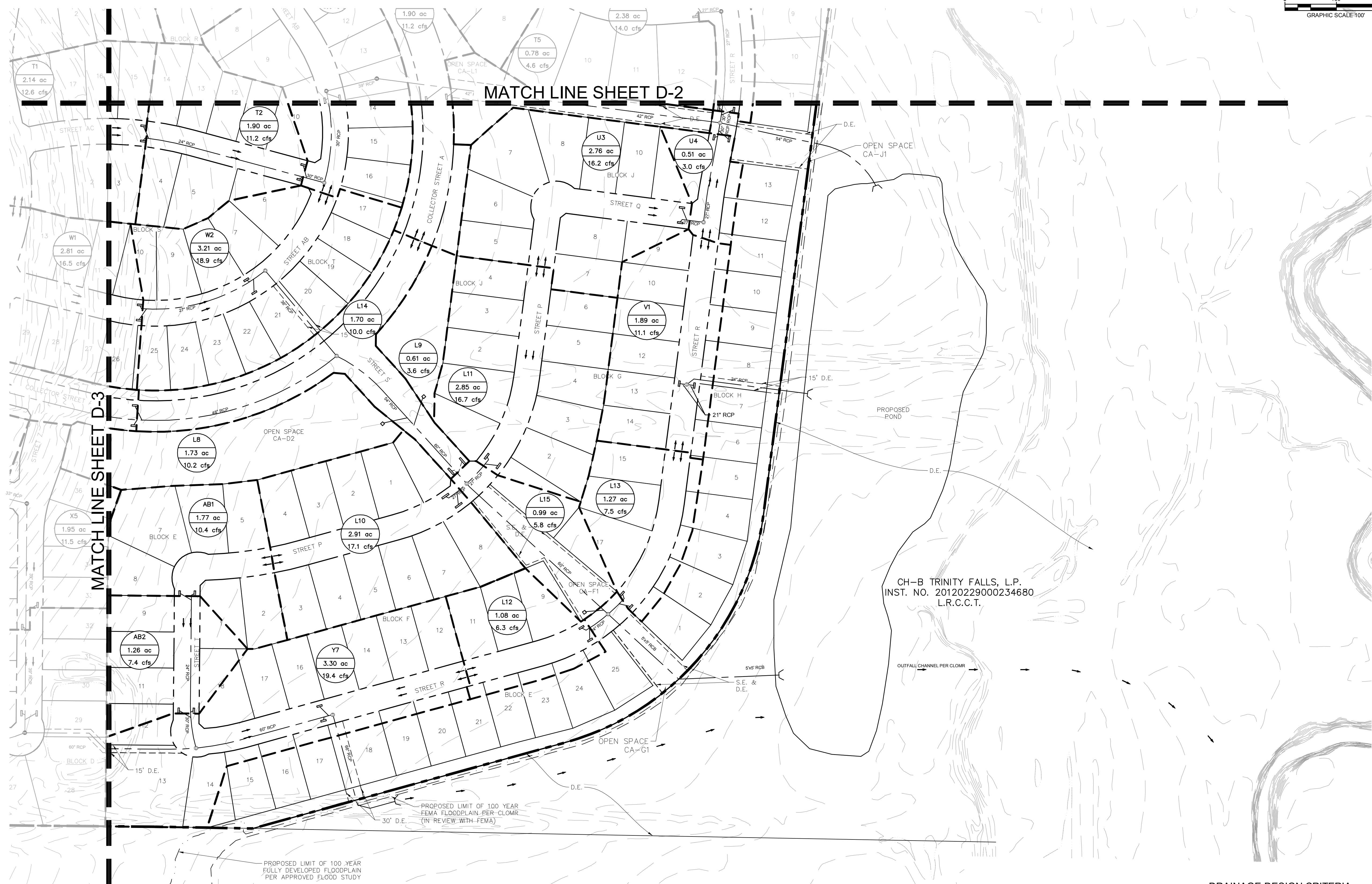
**DRAINAGE AREA MAP FOR**  
**TRINITY FALLS**  
**PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
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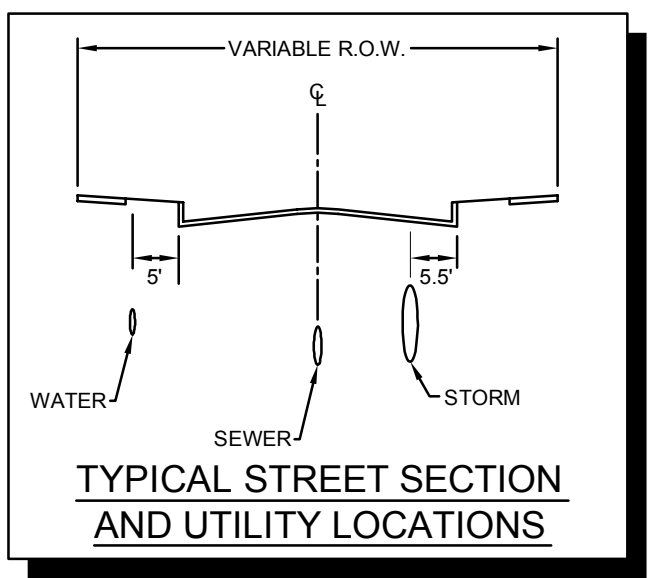
DESIGNED: PDM	DRAWN: JW	CHECKED: RLK	SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018	D-3
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PLOTTED BY: KJURU C:\L\PROJECTS\2014\TRINITY FALLS\AREA MAP\DWG [D4 Drainage Area Map]
   
 DWG NAME: KJURU C:\L\PROJECTS\2014\TRINITY FALLS\AREA MAP\DWG [D4 Drainage Area Map]
   
 LAST SAVID: 4/16/2014 2:07 PM



	AREA DESIGNATOR
	AREA IN ACRES
	Q100 FLOW IN CFS
	PROPERTY LINE
	PROPOSED STORM DRAIN LINE
	FUTURE STORM DRAIN LINE
	PROPOSED DRAINAGE DIVIDE
	PROPOSED DRAINAGE EASEMENT
	PROPOSED STORM DRAIN INLET
	PROPOSED DETENTION POND OUTLET STRUCTURE
	PROPOSED STORM DRAIN HEADWALL
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED FLOW DIRECTION
	EXISTING CONTOUR

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 FOR TIME OF CONCENTRATION OF 15 MINUTES,  $I = 7.86$  IN/H  
 FOR TIME OF CONCENTRATION OF 10 MINUTES,  $I = 9.20$  IN/H  
 $A$  = DRAINAGE AREA IN ACRES

CALLED 57 ACRES  
 TRACT 1  
 PROVINCE REAL ESTATE HOLDINGS  
 INST. NO. 20020109000051480  
 L.R.C.C.T.

**DRAINAGE AREA MAP FOR TRINITY FALLS PLANNING UNIT #2**  
 463 RESIDENTIAL LOTS / 19 COMMON AREAS  
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 OF UNPLATTED PROPERTY OUT OF THE JOHN EMBERSON SURVEY, ABSTRACT NO. 294 COLLIN COUNTY, TEXAS

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DESIGNED: PDM	DRAWN: JW	CHECKED: RLK	SCALE: AS SHOWN	DATE: APRIL 2014	KHA PROJECT NO.: 088150018	D-4
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