

**CITY OF MCKINNEY
BOARD OF ADJUSTMENT APPLICATION**

Type of Request:

Variance

Special Exception

Appeal

FILING FEE \$50.00

RECEIPT DATE _____

Property Location:
1418 N. College St. MCKINNEY TX 75069
Address City State Zip
1 P URBANTON ADDITION
Lot Number Block Subdivision Name

Owner's Information:
MECCA APRIL, INC. 214-695-7312
Owner's Name Phone Number
PO BOX 851025, RICHARDSON, RICHARDSON, TX 75085
Address City State Zip
 Owner is giving DUSTIN DELLINGER authority to represent him/her at the meeting.
Applicant's Name
Scott Belsley for Mecca April, Inc. *S. Belsley*
Owner's Printed Name Owner's Signature

Applicant's Information:
DUSTIN DELLINGER STARLINE CUSTOM HOMES 469-371-9974
Name Company Name Phone Number
7545 CRESTED BUTTE DR. PLANO TX 75025
Address City State Zip

Starlinecustomhomes@gmail.com

Seeking an appeal from Chapter 41, McKinney Zoning Ordinance, Section No. _____

Please list the type of variance(s) requested:

	Ordinance Requirements	Requested Dimensions	Variance From Ordinance
Lot Size	6,000	5,440	560
Lot Width			
Lot Depth			
Side Yard			
Side Yard			
Side @ Corner			
Front Yard	25'	15'	10'
Rear Yard	25'	10'	15'
Driveway			
Other			

In order to make a finding of hardship and to grant a variance, the Board of Adjustment must determine that all of the following conditions are met. State how your request meets these conditions. Please note that the stated hardship shall not be financial or self-created.

1. The request variance is in harmony with the general purposed and intent of the ordinance, as amended, and continues to protect surrounding properties from any negative impacts because:

- (A) REMAINS SINGLE FAMILY HOME SITE.
- (B) HELPS CONFORM TO SURROUNDING HOMES IN NEIGHBORHOOD.
- (C) WILL HELP TRANSFORMATION FROM VACANT LOT (9 years), TO NEW SINGLE FAMILY HOME SITE.

2. The special or unique condition(s) of restricted area, shape, topography or physical features that exist on the subject parcel of land, which are not applicable to other parcels of land in the same zoning district, and which cause unusual and practical difficulty or unnecessary hardship in compliance with the provisions sought here to be varied are:

- (A) SIZE OF LOT (5,440)
- (B) SETBACKS

3. The hardship sought to be avoided is NOT the result of (a) the applicant's own actions (self-imposed or self-created) and (b) economic or financial hardship because:

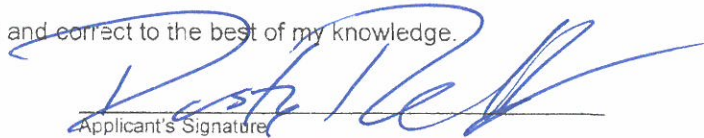
CURRENT SETBACKS MAKE IT VIRTUALLY IMPOSSIBLE TO BUILD HOME AND 2 COVERED PARKING SPACES WITHIN THE BUILD AREA.

4. The provisions of the ordinance, and its amendments, that are sought to be varied deprive the applicant of the following rights to use his property that are commonly enjoyed by other properties in the same zoning district which comply with these ordinance provisions:

LOT IS UNDER SIZED FOR R560 ZONING.

Items Submitted: Completed application and fee Plot/Site Plan or Survey drawn to scale

I hereby certify that the above statements are true and correct to the best of my knowledge.


Applicant's Signature

STATE OF TEXAS

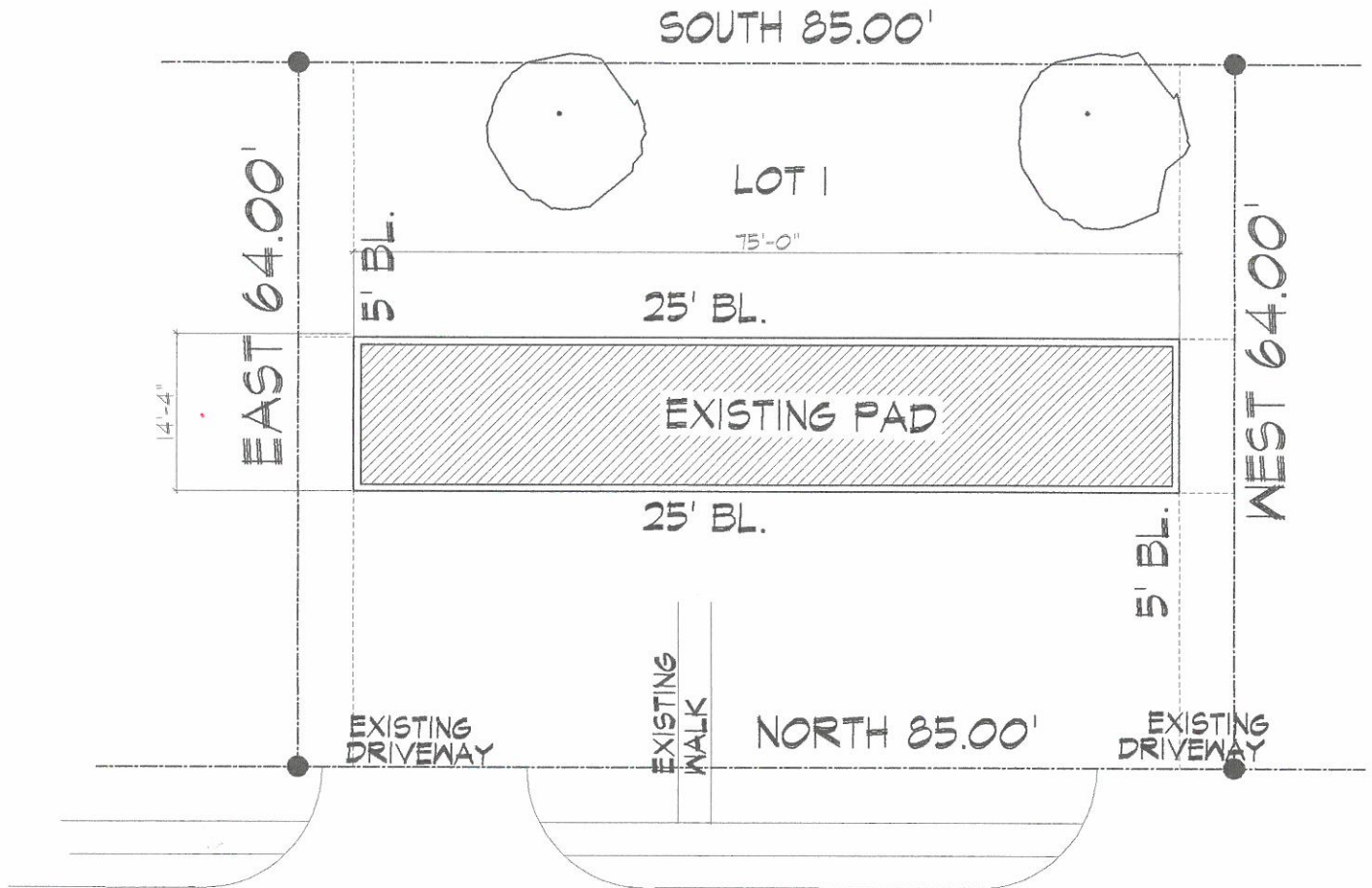
COUNTY OF Grayson

Subscribed and sworn to before me this 2nd day of February, 20 14


Notary Public

(seal)

My Commission expires: 2/29/14



1418 North College Street



~~EXISTING~~

PLAT OF BLK. P, LOT 1
 1418 North College Street
 McKinney, Texas 75069
 STARLINE CUSTOM HOMES
 469-371-9974

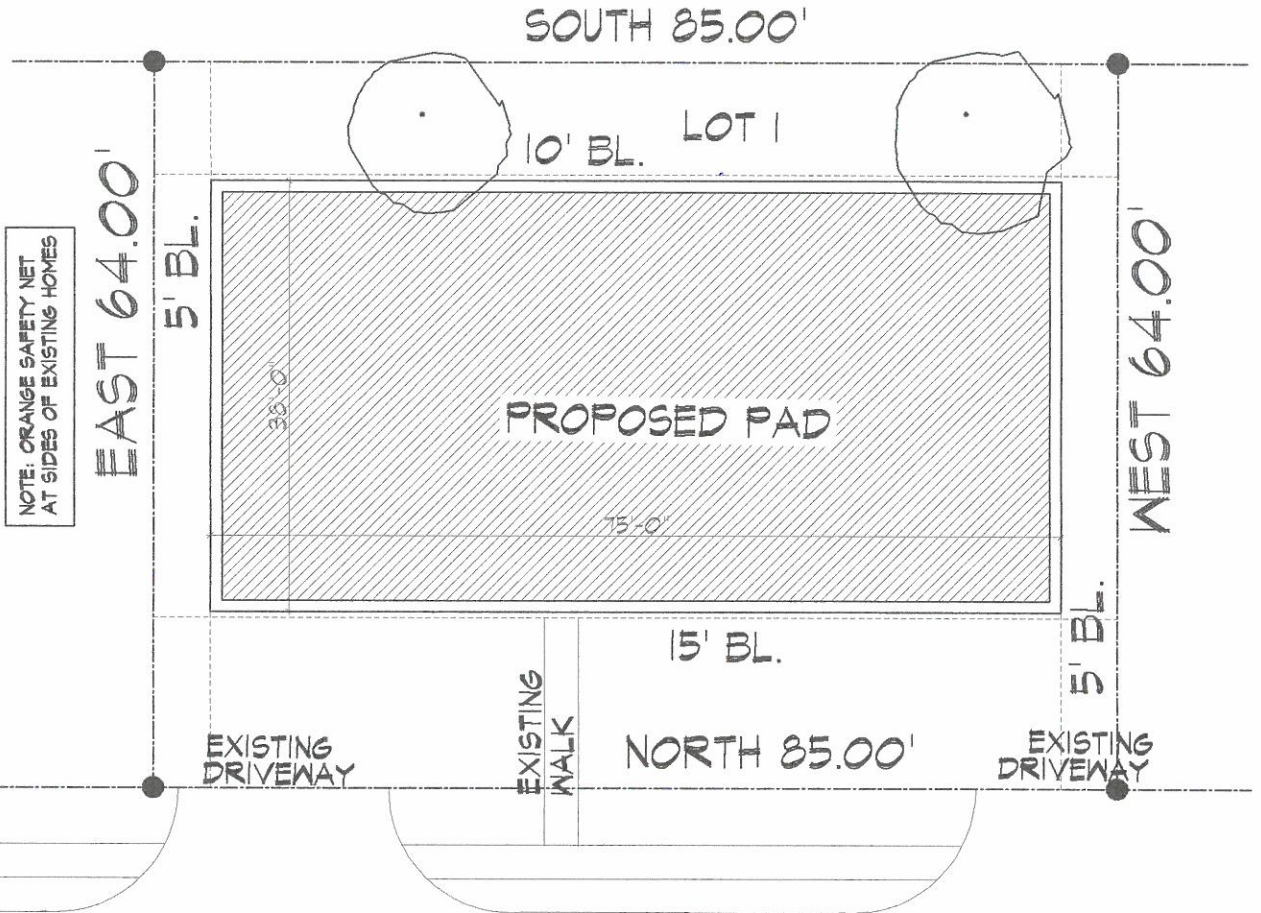
Plot Plan

Scale: 1" = 20' - 0"



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 g9nato@gmail.com
 www.graphics9.net

NOTE: ORANGE SAFETY NET
AT SIDES OF EXISTING HOMES



NOTE: ORANGE SAFETY NET
AT SIDES OF EXISTING HOMES

EAST 64.00'

WEST 64.00'

1418 North College Street

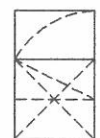


*PROPOSED

PLAT OF BLK. P, LOT 1
1418 North College Street
McKinney, Texas 75069
STARLINE CUSTOM HOMES
469-371-9974

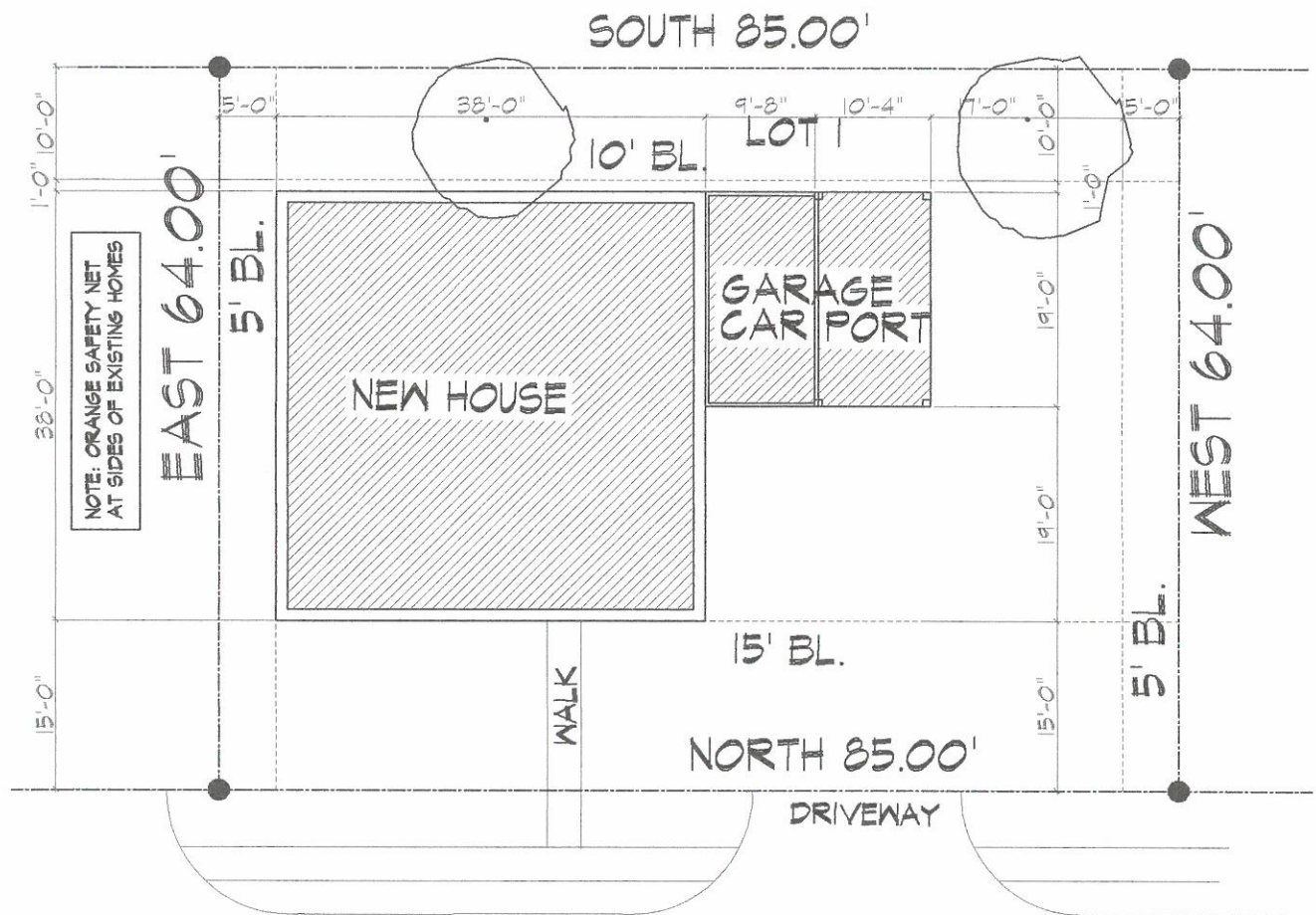
Plot Plan

Scale: 1" = 20' - 0"



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NOTE: ORANGE SAFETY NET
AT SIDES OF EXISTING HOMES



1418 North College Street 



PROPOSED NEW HOUSE
PLAT OF BLK. P, LOT 1
1418 North College Street
McKinney, Texas 75069
STARLINE CUSTOM HOMES
469-371-9974

Plot Plan

Scale: 1" = 20' - 0"

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APPENDIX F. SCHEDULES

Sec. F-1. Schedule of yards and setbacks.

Zoning Districts	Yards and setbacks			
	Minimum front yard or building line	Minimum rear yard setback of primary structure	Minimum side yard of interior lots	Minimum side yard of corner lots
AG	35'	35'	20'	25'
RED-1	35'	35'	20'	35'
RED-2	50'	50'	30'	50'
RS 120	30'	25'	10'	15'
RS 84	25'	25'	10'	15'
RS 72	25'	25'	6'	15'
RS 60	25'	25'	5'	15'
RS 45	20'	20'	(1)	15'
RD 30	25'	25'	7'	15'
RG 27	20'	20'	(1)	15'
RG 25	25'	25'	7'	25'
RG 15 [18]	(1)	(1)	(1)	(1)
MF-1	35'	(1)	(1)	35'
MF-2	35'	(1)	(1)	35'
MF-3	35'	(1)	(1)	35'
MP	(1)	(1)	(1)	(1)
NC	25'	(1)	(1)	25'
BN	25'	20'	(1)	(1)
BG	(1)	10'	(1)	15'
C	25'	(1)	(1)	15'
O-1	25'	(1)	(1)	25'
O	50'	(1)	(1)	(1)
BC	25'	(1)	(1)	25'
ML	25'	0'	0'	20'
MH	20'	0'	0'	10'
AP	25'	(1)	(1)	15'
GC	(2)	(2)	(2)	(2)
PD	(2)	(2)	(2)	(2)
MTC	10'	0'	0'	(1)
CHD (2)	(1)	5'	(1)	(1)

CURRENT →

←

Notes:

(1) See district regulations.

(2) Established by ordinance.

(Ord. No. 1270, app. A, 12-15-1981; Ord. No. 1810, pt. III, § 1, 9-20-1988; Ord. No. 93-11-39, § 1, 11-2-1993; Ord. No. 94-08-26, § 3(D), 8-16-1994; Ord. No. 97-11-61, § 1, 11-18-1997; Ord. No.

The following is a listing of the various zoning districts within the City of McKinney.

AG	Agricultural District (minimum lot size ten acres)
RED-1	Residential Estates District (minimum lot size one acre)
RED-2	Residential Estates District (minimum lot size two acres)
RS 120	Single Family Residence District (minimum lot size 12,000 square feet)
RS 84	Single Family Residence District (minimum lot size 8,400 square feet)
RS 72	Single Family Residence District (minimum lot size 7,200 square feet)
→ RS 60	Single Family Residence District (minimum lot size 6,000 square feet) ←
RS 45	Single Family Residence District – Zero Lot Line Homes (minimum lot size 4,500 square feet)
RD 30	Duplex Residence District (3,000 square feet per unit)
RG 27	General Residence Townhome District (2,700 square feet per unit)
RG 25	General Residence District (2,500 square feet per unit)
RG 18	General Residence District (1,500 square feet per unit)
MF-1	Multiple Family Residential – Low Density District (maximum density 12 units per acre)
MF-2	Multiple Family Residential – Medium Density District (maximum density 16 units per acre)
MF-3	Multiple Family Residential – Medium-High Density District (maximum density 20 units per acre)
MP	Mobile Home Park District
NC	Neighborhood Convenience District
BN	Neighborhood Business District
BG	General Business District
C	Planned Center District
O-1	Neighborhood Office District
O	Office District
BC	Commercial Business District
ML	Light Manufacturing District
MH	Heavy Manufacturing District
AP	Airport District
GC	Governmental Complex District
PD	Planned Development District
FP	Floodplain District (prefix)
H	Historic Preservation overlay District (suffix)
CHD	Commercial Historic District
TMN	Traditional McKinney Neighborhood Overlay District (suffix)
MTC	McKinney Town Center District
REC	Regional Employment Center Overlay District (suffix)

0.303 101

Original Grantee WA DAVIS
Pat. No. 214
School District MCKINNEY - IND

Block No. URBANTON ADDITION

City of MCKINNEY

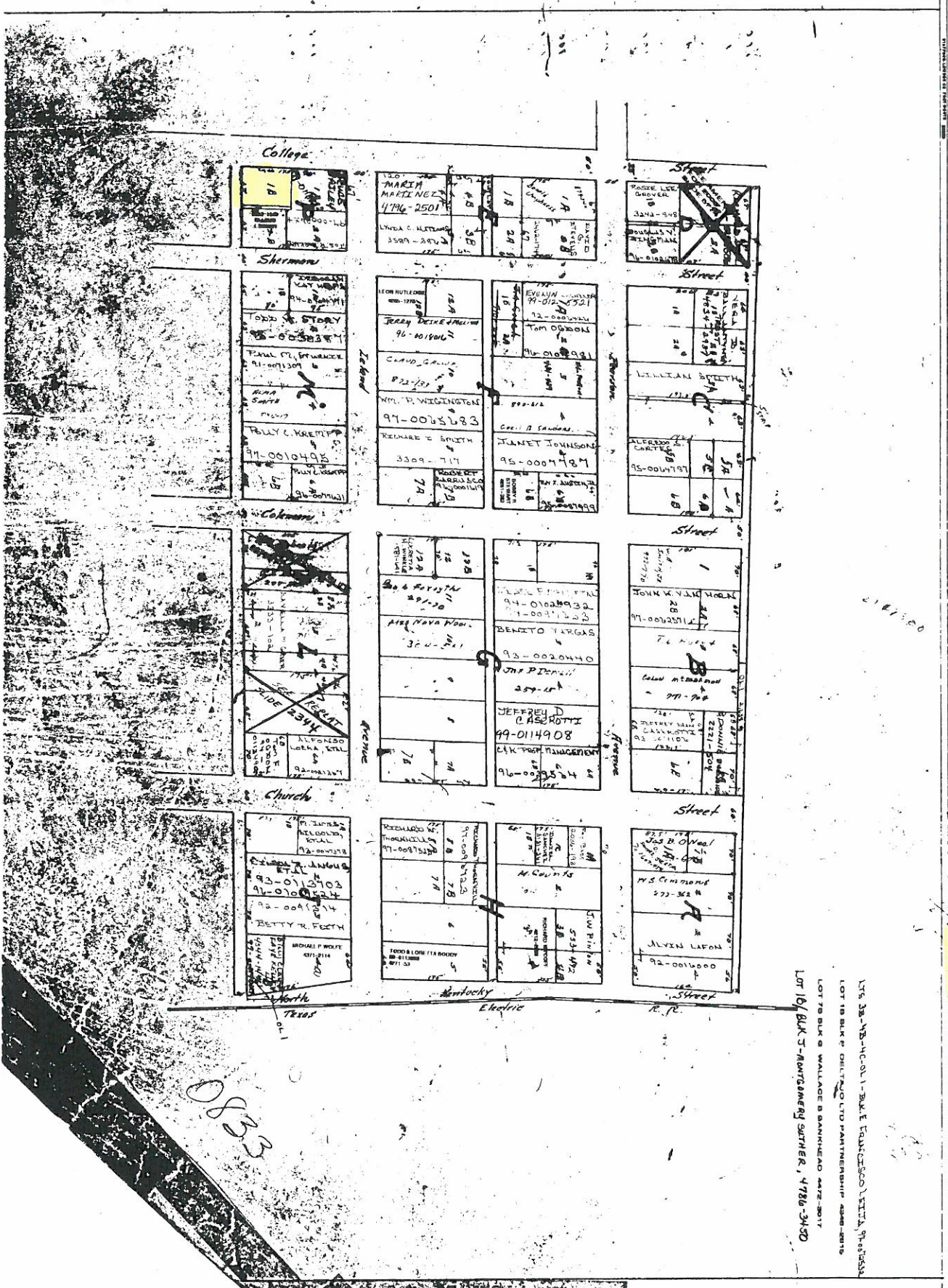
Chicago County

Assignee WA DAVIS
Certificate Road District MCKINNEY
Feet 1 Inch

URBANTON ADDITION

No. 4

LOT 38 WB-VC-01-1-BLK E HANCOCK LITA 97-01353
LOT 18 BLK F DELTA LTO PARTNERSHIP 4280-2875
LOT 78 BLK 8 WALLACE B BANNHEAD 4472-2817
LOT 16/ BLK 5 HANCOCKWAY SUTHER, 4788-3450



A-1
B-2
C-3
D-4
E-5
F-6
G-7
H-8
I-9
J-10
K-11
L-12
M-13
N-14
O-15
P-16

0833



COLLEGE ST

1420

1418

1416

601

1225

1213

SHERMAN ST