

LOT 8, BLOCK 1
S.B.T. ADDITION
KWIK INDUSTRIES
KWIK KAR LUBE & TUNE
CAB. K, PG. 852, M.P.R.C.C.T.

LOT 7, BLOCK 1
S.B.T. ADDITION
KWIK INDUSTRIES
DRY CLEAN SUPER CENTER
CAB. K, PG. 391, M.P.R.C.C.T.

LOT 2, BLOCK 1
S.B.T. ADDITION
DR. KESSINGER
PREMIER CARE INTERNAL MEDICINE
PEDIATRIC HEALTHCARE ASSOC.
CAB. J, PG. 287, M.P.R.C.C.T.

LOT 10-1, BLOCK 1
S.B.T. ADDITION
ALPHA OPTICAL
CAB. K, PG. 582, M.P.R.C.C.T.

LOT 9, BLOCK 1
S.B.T. ADDITION
DAVID YOWELL CONSTRUCTION
CAB. K, PG. 852, M.P.R.C.C.T.

LOT 13, BLOCK 1
S.B.T. ADDITION
1.01 ACRES
CAB. K, PG. 852
ZONED OFFICE

LEGEND	
	EXISTING FIRE LANE
	EXISTING SIDEWALK
	PROPOSED FLATWORK
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING FENCE LINE

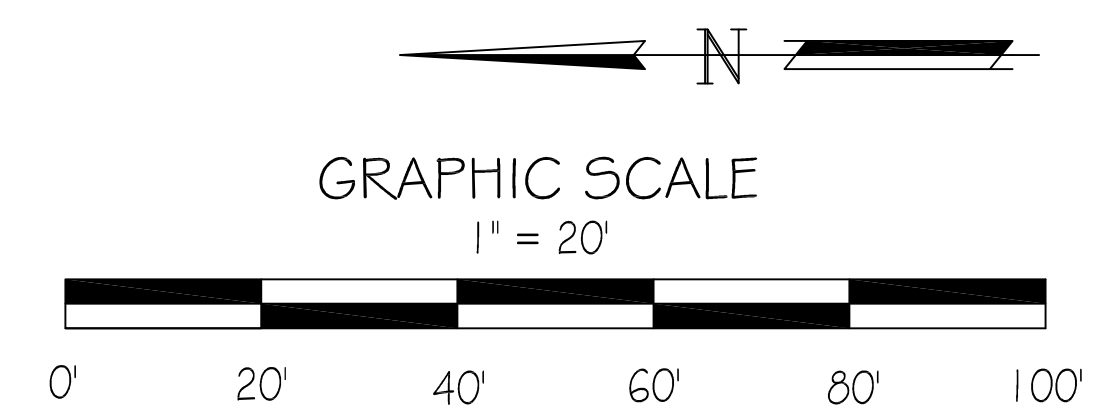
NOTE:
NO DUMPSTER OR DUMPSTER ENCLOSURE ANTICIPATED. OFFICE BUILDING - TENANTS TO USE STANDARD TRASH COLLECTION WITH TOTES, AS NEEDED.

- SITE PLAN NOTES**
- SANITATION CONTAINER SCREENING WALLS WILL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S DESIGN SPECIFICATIONS.
 - MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
 - LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.
 - THERE ARE NO SANITATION CONTAINER SCREENING WALLS. SANITATION SERVICE WILL CONTINUE TO BE PROVIDED BY TRASH TOTES, LOCATED NEAR SOUTHEAST CORNER OF BUILDING.
 - CONTRACTOR TO VERIFY LOCATION, MEASUREMENTS AND DIMENSIONS OF ALL EXISTING STRUCTURES AND EQUIPMENT PRIOR TO CONSTRUCTION
 - EXISTING TOPOGRAPHY AND BOUNDRY PROVIDED BY RINGLEY & ASSOC., INC., DATED 10/31/01, AND PER RECORD PLANS.
 - BENCHMARKS:
(A) "X" CUT IN CONCRETE ON TOP OF CURB AT THE CORNER OF A PARKING LOT, SBC LOT 1, BLOCK 1, ELEVATION 691.60.
(B) GPS MONUMENT #36, DATED APRIL, 2007, LOCATED AT HARDIN & MCKINNEY RANCH ROAD, ON MEDIAN AT THE S.E. END OF CURB, CAP ON CURB, 1.5' W OF END OF CAP.

SITE DATA TABLE			
ADDRESS:	3651 ELDORADO PARKWAY MCKINNEY, TEXAS 75070		
ZONING:	PD 1499		
PROPOSED USE:	EXISTING	OFFICE BUILDING	OFFICE BUILDING
LOT AREA	44,212 SQ. FT. (1.01 ACRES)		
BUILDING AREA:	EXISTING	4,888 SQ. FT.	
	ADDITION	1,799 SQ. FT.	
	TOTAL	6,657 SQ. FT.	
IMPERVIOUS AREA:	27,105 SQ. FT.	61.31%	
PERVIOUS AREA:	17,107 SQ. FT.	38.69%	
TOTALS	44,212 SQ. FT.	100.00%	
LOT COVERAGE:	15.06 %		
ACTUAL ROOF HEIGHT:	35'-1"		
MEDIAN ROOF HEIGHT:	26'		
REQUIRED PARKING:	COMM. OFFICE - 1:400 SQ. FT.	15 SPACES	
PARKING REQUIRED:	(6,657 / 400)	17 SPACES	
PARKING PROVIDED:		22 SPACES	
(INCLUDING 2 HANDICAPPED SPACES, 1 REQ'D.)			

SITE PLAN FOR OFFICE BUILDING EXPANSION

SCALE: PER GRAPHIC SCALE



DATE	REV	ORIGINATOR	REVISION
11-4-16	1	MAVERICK	CHG. FLOOR PLAN
05/22/17	2	MAVERICK	CHANGES PER CITY COMMENTS, MEETING

CUSTOMER:
MAVERICK BUILDERS
JOB ADDRESS:
**3651 ELDORADO PKWY.
MCKINNEY, TX. 75070**

Chapman's CAD Designs
1601 Waddill St., Suite 103-E
McKinney, TX, 75069
(972) 542-1187 OFC
(972) 886-8799 FAX

DATE:	1/30/17	
DRAWN BY:	SCALE:	REV:
SMK	GRAPHIC	
JOB NO.	3651 EL DORADO PARKWAY	
SHEET		

SP1

PRELIMINARY - NOT FOR CONSTRUCTION