

ORDINANCE NO. 2007-12-133

AN ORDINANCE AMENDING ORDINANCE NO. 2002-05-038 AND AS AMENDED, OF THE CITY OF MCKINNEY, TEXAS; SO THAT AN APPROXIMATELY 18.13 ACRE PROPERTY, GENERALLY LOCATED ON THE SOUTHWEST CORNER OF COLLIN MCKINNEY PARKWAY AND LAKE FOREST DRIVE, IS REZONED FROM "PD" – PLANNED DEVELOPMENT DISTRICT AND "REC" – REGIONAL EMPLOYMENT CENTER OVERLAY DISTRICT TO "PD" – PLANNED DEVELOPMENT DISTRICT AND "REC" – REGIONAL EMPLOYMENT CENTER OVERLAY DISTRICT, GENERALLY TO MODIFY THE DEVELOPMENT STANDARDS; PROVIDING REGULATIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INJUNCTIVE RELIEF, PROVIDING FOR NO VESTED INTEREST; PROVIDING FOR THE PUBLICATION OF THE CAPTION OF THIS ORDINANCE; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

WHEREAS, the City of McKinney has considered the rezoning of an approximately 18.13 acre property, generally located on the southwest corner of Collin McKinney Parkway and Lake Forest Drive, from "PD" – Planned Development District and "REC" – Regional Employment Center Overlay District to "PD" – Planned Development District and "REC" – Regional Employment Center Overlay District, generally to modify the development standards, and,

WHEREAS, after due notice of the requested rezoning as required by law, and the required public hearings held before the Planning and Zoning Commission and the City Council of the City of McKinney, Texas, the City Council is of the opinion that the change in zoning district should be made.

NOW THEREFORE BE IT HEREBY ORDAINED BY THE CITY COUNCIL OF THE CITY OF MCKINNEY, TEXAS:

Section 1. Ordinance No. 2002-05-038 is hereby amended so that an approximately 18.13 acre property, generally located on the southwest corner of Collin McKinney Parkway and Lake Forest Drive, which is more fully depicted on Exhibit "A" and Exhibit "B", attached hereto, is hereby rezoned from "PD" – Planned Development District and "REC" – Regional Employment Center Overlay District to "PD" – Planned Development District and "REC" – Regional Employment Center Overlay District, generally to modify the development standards.

Section 2. Use and development of the subject property shall conform to the following regulations:

1. The subject property shall develop in accordance with Ordinance 2002-05-038 and as amended, except as follows:
 - a. The minimum required density shall be 19 dwelling units per acre.
 - b. The requirement for a specific use permit to change the required density as detailed in Ordinance 2006-02-010 shall be rescinded.

2. The height of buildings within 200 feet of the property line shall be limited to three stories.
3. The build-to line along Collin McKinney Parkway shall be 20 feet, as shown on the attached Zoning Exhibit "C".
4. The build-to line along Valliance Drive and Lake Forest Drive shall be variable width as shown on the attached Zoning Exhibit "C".
5. Covered parking shall not be required on the subject property.
6. On-street parking shall count toward the minimum off-street parking requirement.
7. The subject property shall generally conform to the attached building elevations, Exhibit "E".
8. The subject property shall generally conform to the attached Zoning Exhibit "C" and Zoning Exhibit "D".

Section 3.

If any section, subsection, paragraph, sentence, phrase or clause of this Ordinance shall be declared invalid for any reason whatsoever, such decision shall not affect the remaining portions of this Ordinance, which shall remain in full force and effect, and to this end, the provisions of this Ordinance are declared to be severable.

Section 4.

It shall be unlawful for any person, firm or corporation to develop this property, or any portion thereof, in any manner other than is authorized by this Ordinance, and upon conviction therefore, shall be fined any sum not exceeding \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of McKinney to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

Section 5.

That no developer or property owner shall acquire any vested interest in this Ordinance or specific regulations contained herein. The ordinance, and the subsequent site plans (if any) and regulations may be amended or repealed by the City Council of the City of McKinney, Texas, in the manner provided by law.

Section 6.

The caption of this Ordinance shall be published one time in a newspaper having general circulation in the City of McKinney, and shall become effective upon such publication.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF MCKINNEY, TEXAS, ON THIS 18th DAY OF DECEMBER, 2007.


BILL WHITFIELD, Mayor

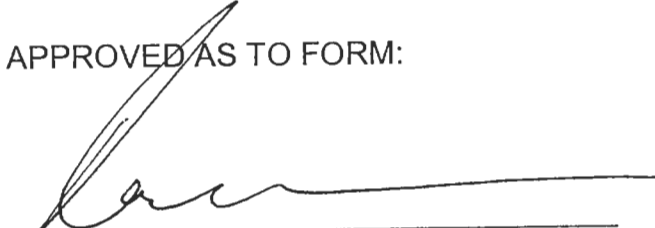
CORRECTLY ENROLLED:



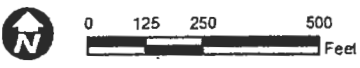
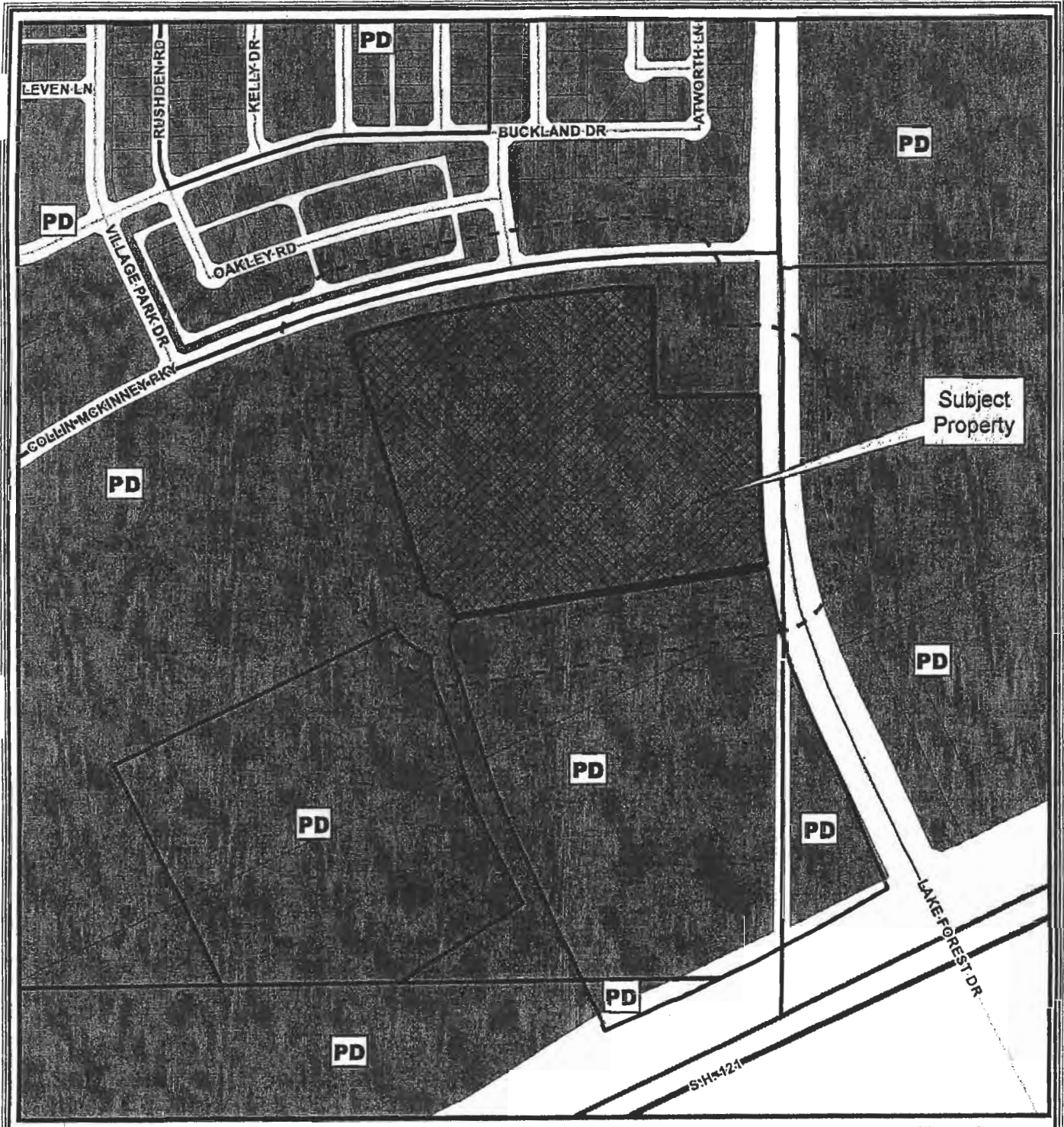
SANDY HART, TRMC, MMC, City Secretary
BEVERLY COMINGTON, TRMC, CMC, Deputy City Secretary

DATE: December 20, 2007

APPROVED AS TO FORM:



MARK S. HOUSER, City Attorney



Notification Case

Notice Case: 07-418Z
R-6392-000-0100-1

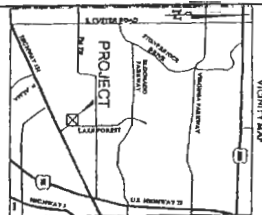
EXHIBIT A

--- 200' Notification Buffer

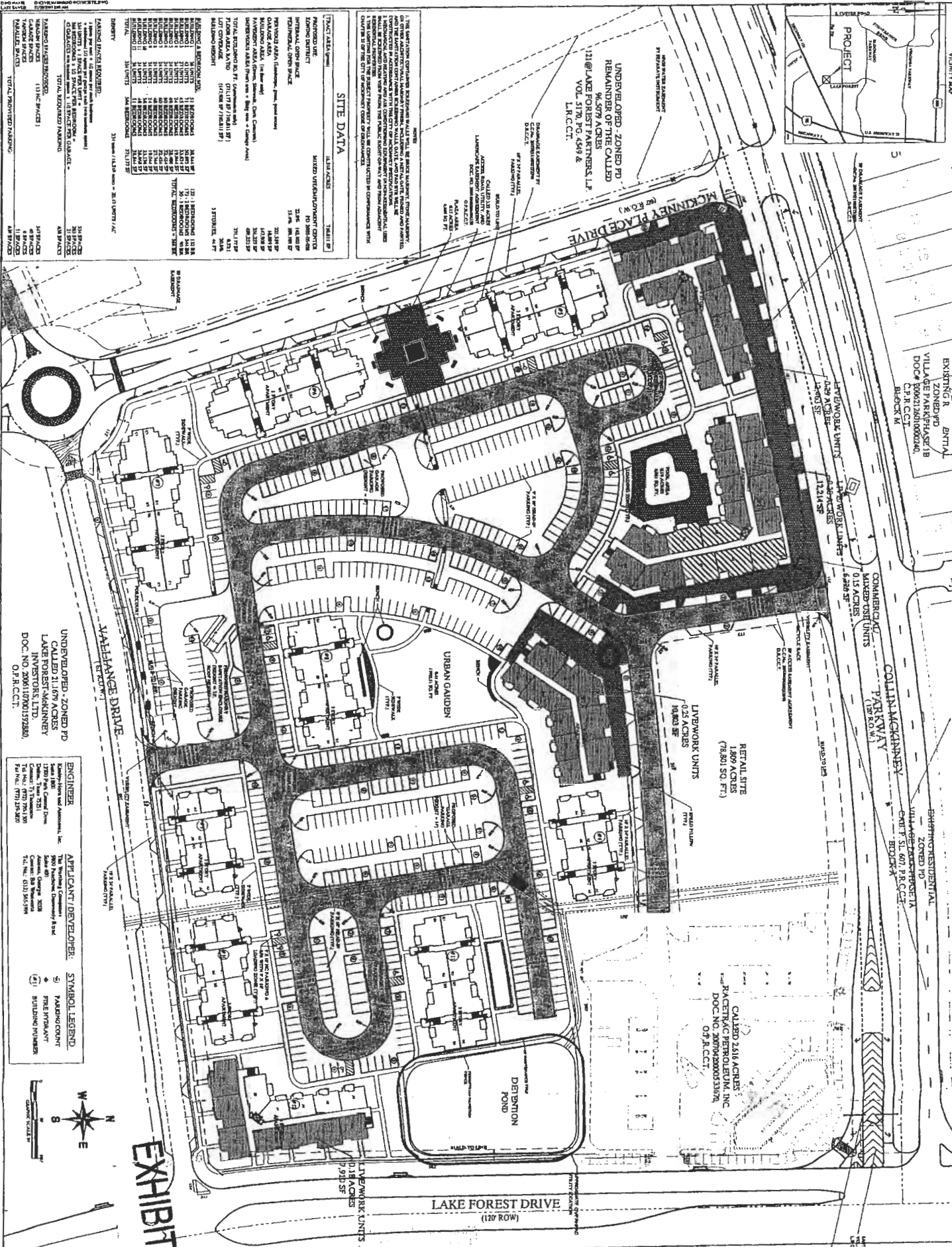


Notification\Projects\2007\07-418Z.mxd

DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, errors, or variances which may exist.



UNDEVELOPED - ZONED PD
REMAINDER OF THE CALLED
LAKE FOREST PARTNERS, L.P.
VOL. 5176, PG. 4589 &
L.R.C.C.T.



SITE DATA

TOTAL AREA (Gross)	1,111.11 ACRES	TOTAL PD	1,111.11 ACRES
PAVING	1,111.11 ACRES	PAVING	1,111.11 ACRES
UNPAVED	0.00 ACRES	UNPAVED	0.00 ACRES
TOTAL OPEN SPACE	0.00 ACRES	TOTAL OPEN SPACE	0.00 ACRES
TOTAL PAVED OPEN SPACE	0.00 ACRES	TOTAL PAVED OPEN SPACE	0.00 ACRES
TOTAL AREA (Net)	1,111.11 ACRES	TOTAL PD (Net)	1,111.11 ACRES
PAVING	1,111.11 ACRES	PAVING	1,111.11 ACRES
UNPAVED	0.00 ACRES	UNPAVED	0.00 ACRES
TOTAL OPEN SPACE	0.00 ACRES	TOTAL OPEN SPACE	0.00 ACRES
TOTAL PAVED OPEN SPACE	0.00 ACRES	TOTAL PAVED OPEN SPACE	0.00 ACRES
TOTAL AREA (Total)	1,111.11 ACRES	TOTAL PD (Total)	1,111.11 ACRES
PAVING	1,111.11 ACRES	PAVING	1,111.11 ACRES
UNPAVED	0.00 ACRES	UNPAVED	0.00 ACRES
TOTAL OPEN SPACE	0.00 ACRES	TOTAL OPEN SPACE	0.00 ACRES
TOTAL PAVED OPEN SPACE	0.00 ACRES	TOTAL PAVED OPEN SPACE	0.00 ACRES

UNDEVELOPED - ZONED PD
CALLED 21.167 ACRES
LAKE FOREST-MCKINNEY
INVESTORS, LTD.
DOC. NO. 2006107001572800
O.P.R.C.C.T.

ENGINEERS
Kimley-Horn and Associates, Inc.
17001 West Central Express
Dallas, Texas 75241
Tel. No. (972) 701-1000
Fax No. (972) 251-5000

APPLICANT/DEVELOPER:
No. 17001 West Central Express
Dallas, Texas 75241
Tel. No. (972) 701-1000
Fax No. (972) 251-5000

SYMBOL LEGEND
① PARKING COORDINATE
② TREE PROXY
③ BUILDING NUMBER



EXHIBIT C

NOV 2 2007

UNDEVELOPED - ZONED PD
CALLED 116.44 ACRES
CONTINENTAL MORTGAGE & EQUITY
CLERKS FILE NO. 96-0087567

CITY OF MCKINNEY,
COLLIN COUNTY, TEXAS

SITE PLAN

Scale	AS SHOWN
Designed by	THV
Drawn by	AP
Checked by	THV, CHM
Date	OCTOBER, 2007
Project No.	10000000

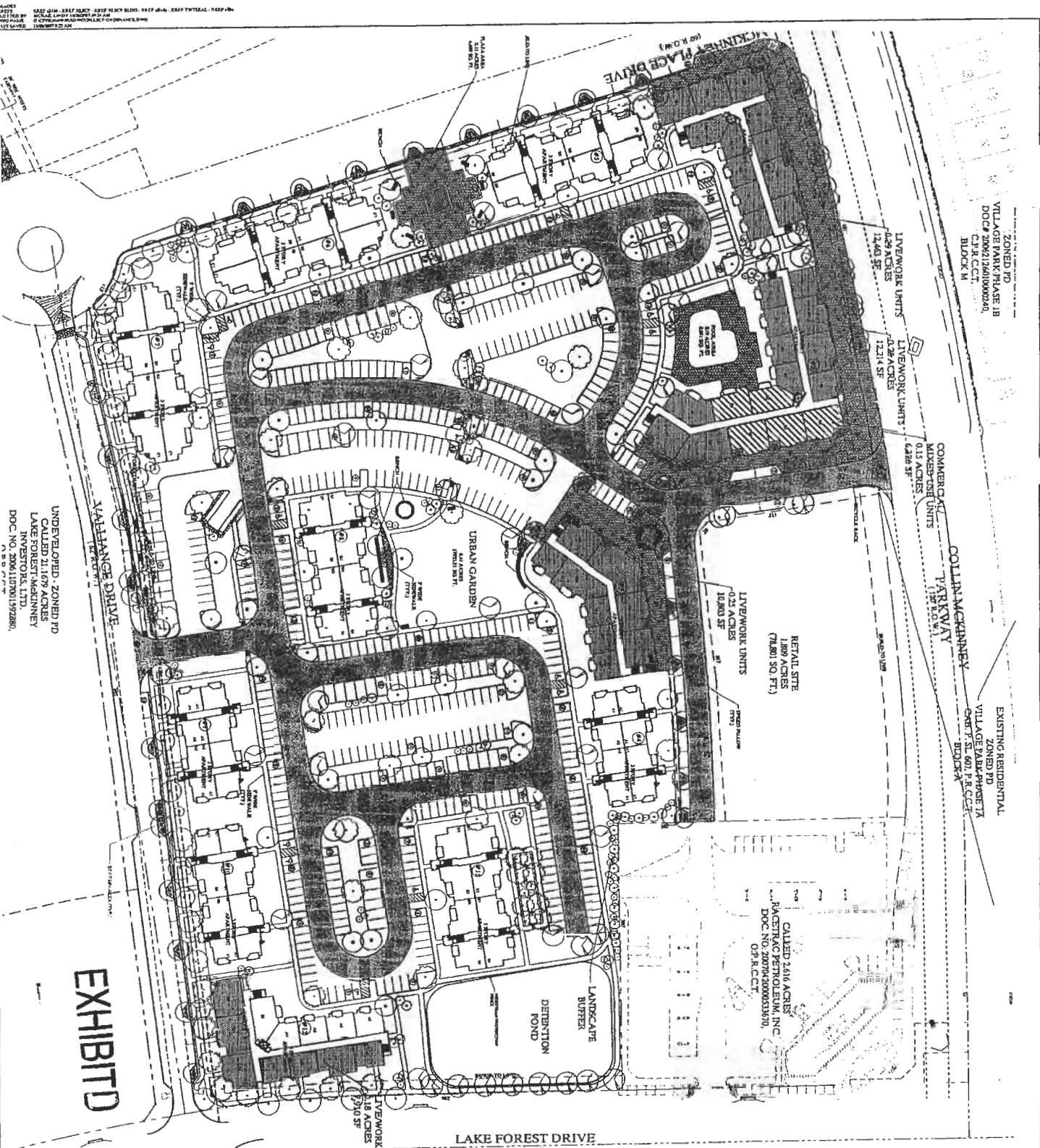
Kimley-Horn and Associates, Inc.
2520 Park Building, Dallas, Texas 75201
Tel. No. (972) 701-1000
Fax No. (972) 251-5000

ZONED PD
 VILLAGE PARK PHASE 1B
 DOC# 2006215610000240
 C.F.R.C.T.
 BLOCK M

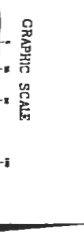
EXISTING RESIDENTIAL
 ZONED PD
 VILLAGE PARK PHASE 1A
 C.F.R.C.T.
 BLOCK M

ZONED PD
 VILLAGE PARK PHASE 1A
 C.F.R.C.T.
 BLOCK M

UNDEVELOPED - ZONED PD
 CALLED 2.1 ACRE
 LANDSCAPE SITE
 DOC. NO. 2006110701192908



UNDEVELOPED - ZONED PD
 CALLED 2.1 ACRE
 LANDSCAPE SITE
 DOC. NO. 2006110701192908



PLANT LEGEND

(Symbol)	SHRUB AND ORNAMENTAL PLANTING	(Symbol)	SOIL LIGHTNING
(Symbol)	PLANTING	(Symbol)	CHANGING PLANTING
(Symbol)	PLANTING	(Symbol)	PLANTING
(Symbol)	PLANTING	(Symbol)	PLANTING
(Symbol)	PLANTING	(Symbol)	PLANTING

LANDSCAPE TABLE

NO.	DESCRIPTION	QUANTITY	PLANTING	PLANTING	PLANTING
1
2
3
4
5
6
7
8
9
10

NOTES:

1. ALL PLANTING SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING TREES AND SHRUBS TO REMAIN.

2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE PLAN AND ALL APPLICABLE CODES AND REGULATIONS.

3. ALL PLANTING SHALL BE PROVIDED WITH NURSERY SPECIFICATIONS AND MAINTENANCE SCHEDULES.

SEATING TABLE

NO.	DESCRIPTION	QUANTITY	PLANTING	PLANTING	PLANTING
1
2
3
4
5

LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC.
 11000 Rockwood Drive
 Dallas, Texas 75244
 Tel: (972) 712-1234
 Fax: (972) 712-5678

APPLICANT/DEVELOPER:
 The Building Company
 1000 Rockwood Drive
 Dallas, Texas 75244
 Tel: (972) 712-1234
 Fax: (972) 712-5678

No	Date	Revised	App

SCALE: 1" = 50'

DESIGNED BY: AOB

DRAWN BY: CMR

REVIEWED BY: AOB

DATE: NOV 28

PROJECT NUMBER: 08

SHEET 1-1

LANDSCAPE PLAN

CITY OF MCKINNEY,
 COLLIN COUNTY, TEXAS

**Kimley-Horn
 and Associates, Inc.**
 11000 Rockwood Drive
 Dallas, Texas 75244
 Tel: (972) 712-1234
 Fax: (972) 712-5678

KEYNOTES

27 2007
PLANNING

THE WORKING COMPANIES
800 Mount Vernon Highway
Alhambra, Georgia
770-522-5375

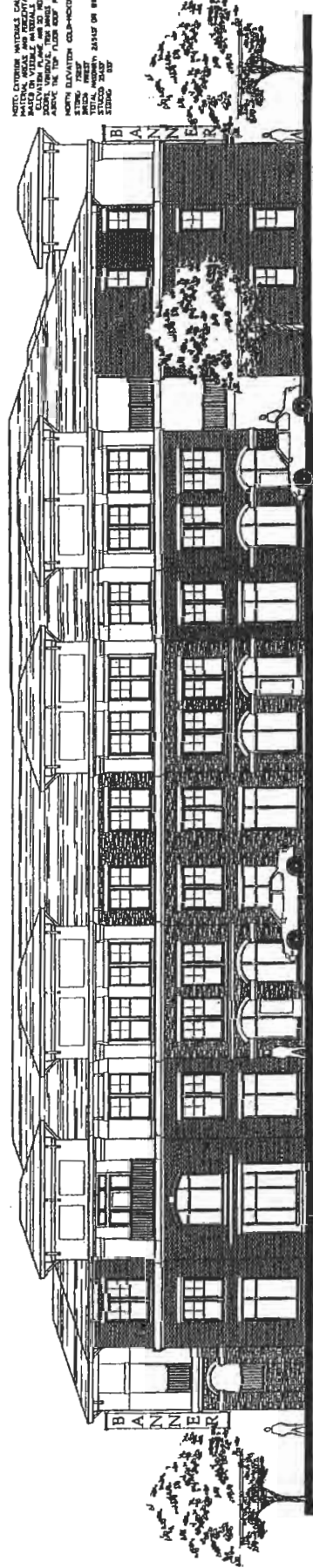


Heights
at
Lake Forest
Mokelumney, Texas

JOB NUMBER:	110113
DATE:	10/25/2007
REV. DATE:	11-16-2007
REV. DESCRIPTION:	REV. LICENSED

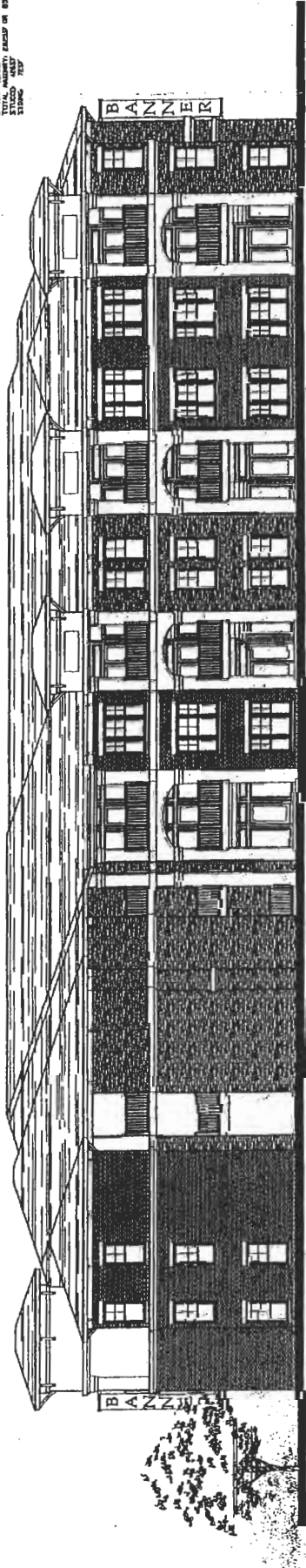
SHEET
NUMBER AE1 OF 13

NOTE: EXTERIOR MATERIALS CALCULATOR
MATERIALS, WEIGHTS AND HEIGHTS ARE
BASED ON WALLS AND WINDOWS AS SHOWN.
ELEVATION PLUMB AND TO SET. INCLUDE
ROOFING AND FLOOR ROOF PLUMBING.
NORTH ELEVATION COL-MOCKNEY
STARTING POINT
TOTAL NUMBER STORIES ON SITE
STANDARD



1 BUILDING ONE NORTH ELEVATION
1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATOR
MATERIALS, WEIGHTS AND HEIGHTS ARE
BASED ON WALLS AND WINDOWS AS SHOWN.
ELEVATION PLUMB AND TO SET. INCLUDE
ROOFING AND FLOOR ROOF PLUMBING.
SOUTH ELEVATION OPTIONAL.
STARTING POINT
TOTAL NUMBER STORIES ON SITE
STANDARD



2 BUILDING ONE SOUTH ELEVATION
1/8"=1'-0"

EXHIBITE

CONTINUED

KEYNOTES

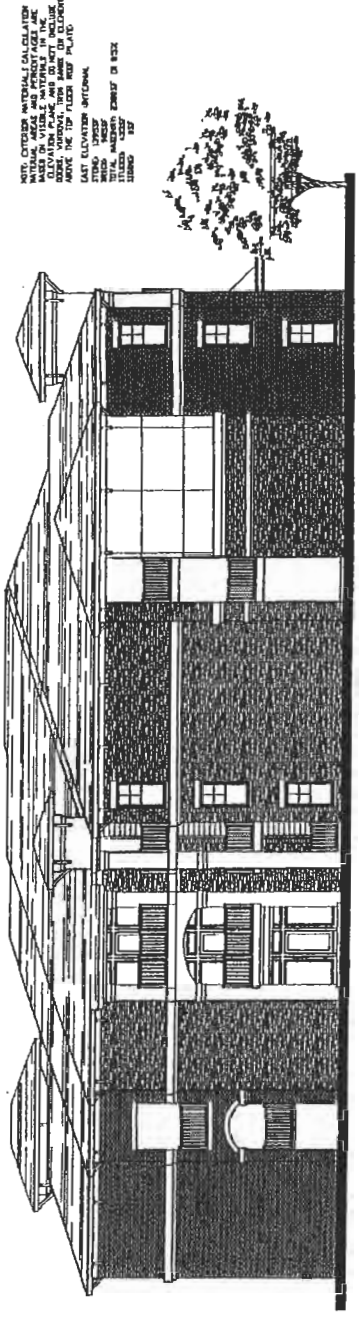
27 2007

THE WORKING COMPANIES
 Suite 350
 800 Marock Vanden Highway
 Midland, Texas
 770-522-5775



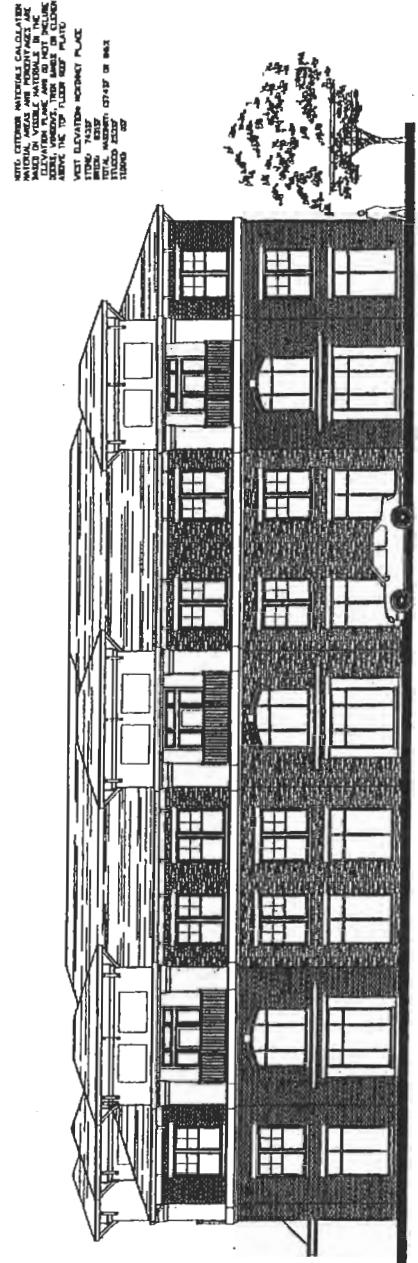
Heights
 at
 Lake Forest
 Midland, Texas

JOB NUMBER:	21074
DRAWN BY:	APL
CHECKED BY:	WJL
DATE:	NOV 11-08-2007
SCALE:	1/8"=1'-0"
SHEET NUMBER:	AE2 of 13



WITH EXTERIOR MATERIALS CALCULATED
 AND A MINIMUM OF 1/8" CLEARANCE
 MAINTAINED BETWEEN ALL MATERIALS
 TO PROVIDE PROPER DRAINAGE AND
 PREVENT WATER INTRUSION. THE
 TOP FLOOR ROOF SHALL BE FLAT.
 ALL MATERIALS TO BE INSTALLED
 IN ACCORDANCE WITH THE
 MANUFACTURER'S RECOMMENDATIONS.
 SEE SHEET 21074-02 FOR
 FURTHER DETAILS.

1 BUILDING ONE EAST ELEVATION
 1/8"=1'-0"



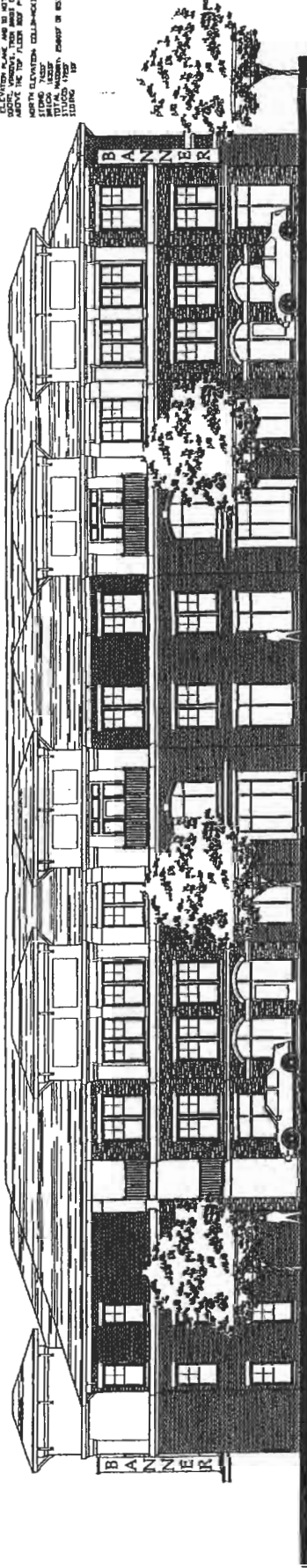
WITH EXTERIOR MATERIALS CALCULATED
 AND A MINIMUM OF 1/8" CLEARANCE
 MAINTAINED BETWEEN ALL MATERIALS
 TO PROVIDE PROPER DRAINAGE AND
 PREVENT WATER INTRUSION. THE
 TOP FLOOR ROOF SHALL BE FLAT.
 ALL MATERIALS TO BE INSTALLED
 IN ACCORDANCE WITH THE
 MANUFACTURER'S RECOMMENDATIONS.
 SEE SHEET 21074-02 FOR
 FURTHER DETAILS.

2 BUILDING ONE WEST ELEVATION
 1/8"=1'-0"

EXHIBITE
 CONTINUED

KEYNOTES

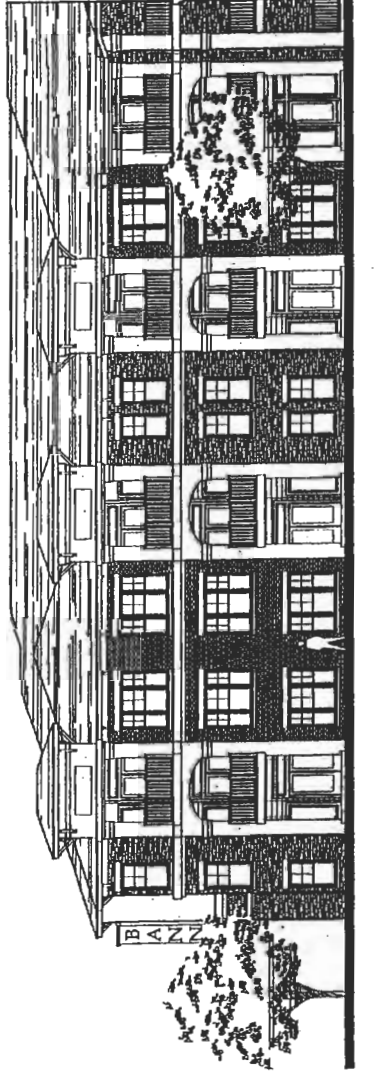
NOTE: EXTERIOR MATERIAL CALCULATION
BASED ON VISIBLE MATERIALS IN THE
ARCHITECTURAL DRAWINGS. THIS DOES NOT INCLUDE
MATERIALS HIDDEN BEHIND CURTAINS,
PARTITIONS, ETC. MATERIALS HIDDEN
BEHIND CURTAINS, PARTITIONS, ETC.
SHOULD BE INDICATED BY THE ARCHITECT.
ELEVATION PLANS AND SECTION PLANS
SHOULD BE USED TO DETERMINE
MATERIALS HIDDEN BEHIND CURTAINS,
PARTITIONS, ETC. MATERIALS HIDDEN
BEHIND CURTAINS, PARTITIONS, ETC.
SHOULD BE INDICATED BY THE ARCHITECT.



1 BUILDING TWO NORTH ELEVATION
1/8"=1'-0"

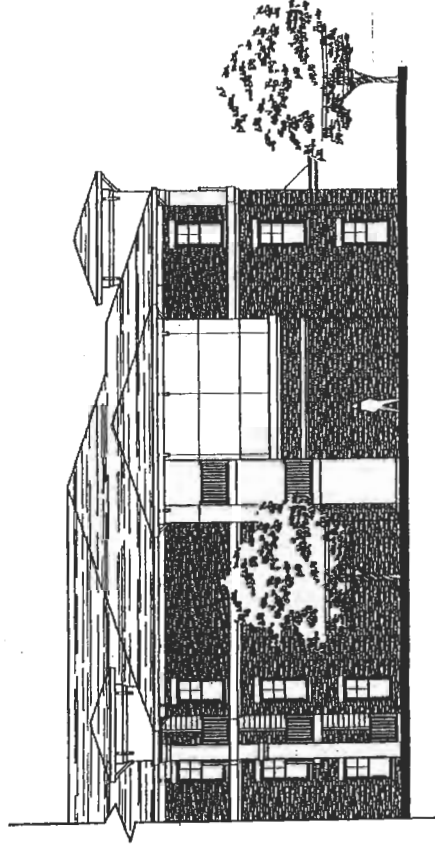
EXHIBITE

CONTINUED



2 BUILDING TWO SOUTH ELEVATION
1/8"=1'-0"

NOTE: EXTERIOR MATERIAL CALCULATION
BASED ON VISIBLE MATERIALS IN THE
ARCHITECTURAL DRAWINGS. THIS DOES NOT INCLUDE
MATERIALS HIDDEN BEHIND CURTAINS,
PARTITIONS, ETC. MATERIALS HIDDEN
BEHIND CURTAINS, PARTITIONS, ETC.
SHOULD BE INDICATED BY THE ARCHITECT.
ELEVATION PLANS AND SECTION PLANS
SHOULD BE USED TO DETERMINE
MATERIALS HIDDEN BEHIND CURTAINS,
PARTITIONS, ETC. MATERIALS HIDDEN
BEHIND CURTAINS, PARTITIONS, ETC.
SHOULD BE INDICATED BY THE ARCHITECT.



3 BUILDING TWO SOUTH END ELEVATION
1/8"=1'-0"

27-2007

THE WORKING COMPANIES
Suite 200
800 Nevada Western Highway
Aurora, MO 64003
770-522-5775



Heights
at
Lake Forest
McKinney, Texas

JOB NUMBER: 27-2007
DATE: 11-1-2007
JOB TITLE: ARCHITECT
JOB NUMBER: 27-2007
DATE: 11-1-2007
JOB TITLE: ARCHITECT

SHEET
NUMBER
AE3 of 13

KEYNOTES

NOTE: EXTERIOR MATERIAL CALCULATION
INTERNAL WEARS AND FLOORINGS ARE
INDICATED BY SHADING AND FINISHES ARE
ELEVATION PLANE AND DO NOT INCLUDE
WORK ABOVE THE TOP FLOOR ROOF PLATE.
WEST ELEVATION INTERNAL
STAIRS, SHAFTS
TOTAL HEIGHTS SHOWN ON SITE
DRAWING ARE NOT
LIMITED

EXHIBITE

CONTINUED

THE WORTHING COMPANIES
800 Memorial Highway
Atlanta, Georgia
770-525-9773

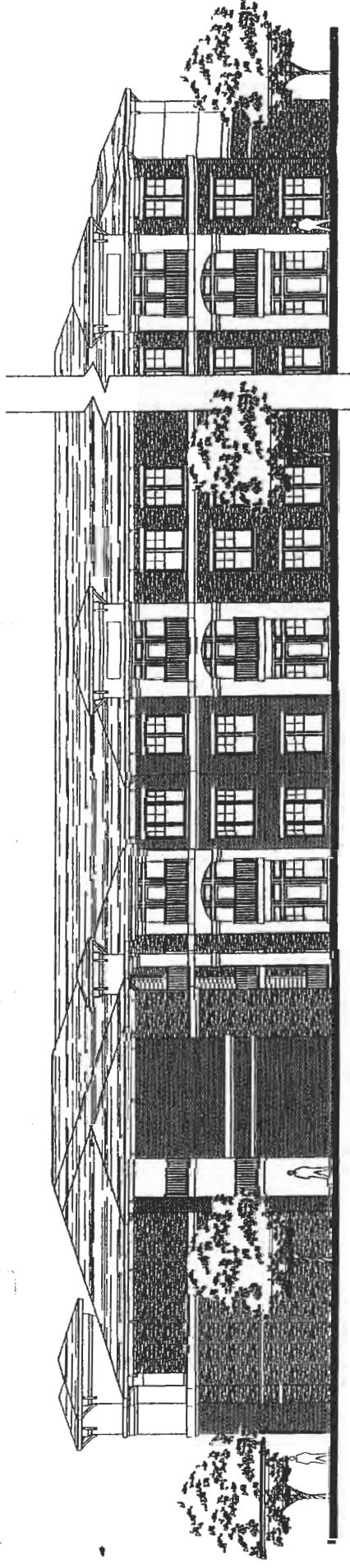


Heights
at
Lake Forest
McKinney, Texas

JOB NUMBER: 21013
OWNER: WPC/SL/AM/CH
DATE: 11/25/2007
REV: 11/25/2007
REV: 11/25/2007

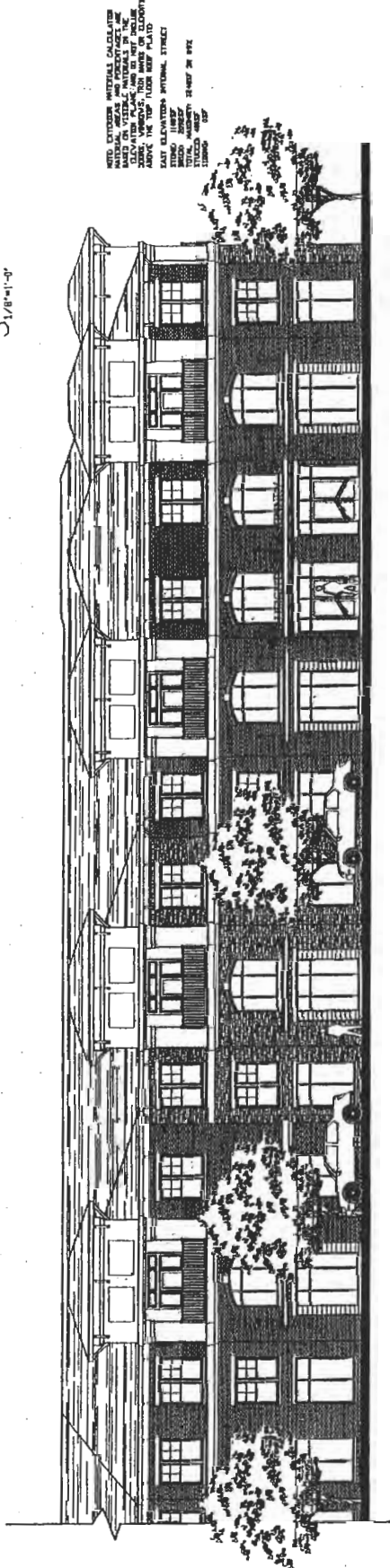
SHEET
NUMBER: AE 4 of 13

PLANNING
27 2007

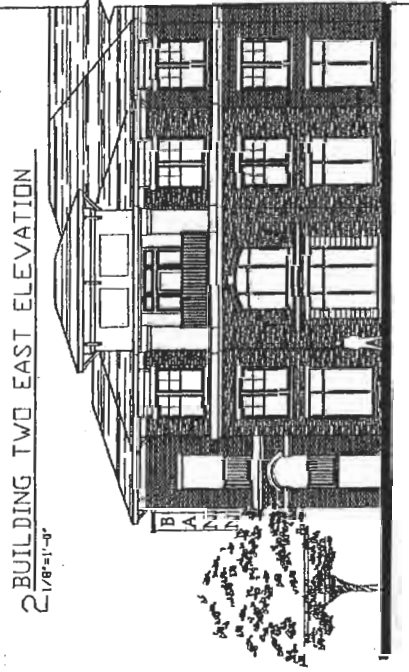


1 BUILDING TWO WEST ELEVATION
1/8"=1'-0"

3 BUILDING PARTIAL WEST ELEV
1/8"=1'-0"

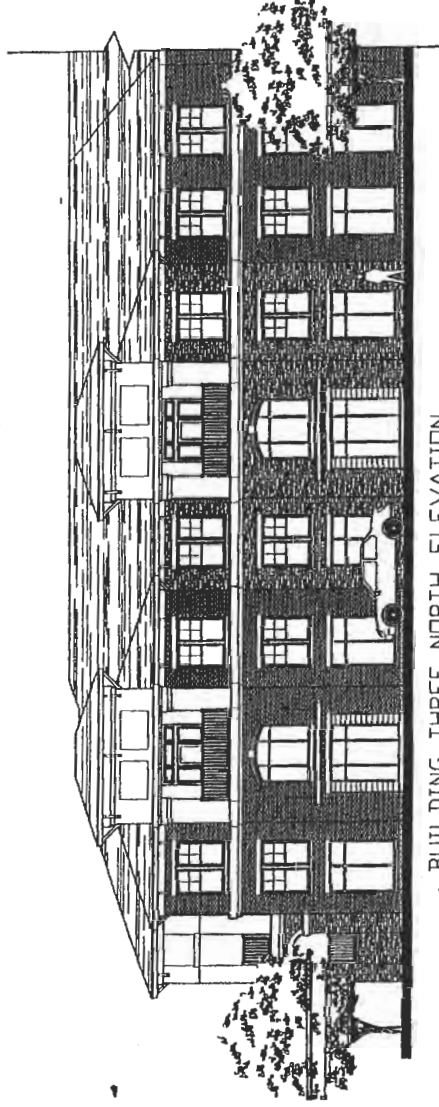


NOTE: EXTERIOR MATERIAL CALCULATION
INTERNAL WEARS AND FLOORINGS ARE
INDICATED BY SHADING AND FINISHES ARE
ELEVATION PLANE AND DO NOT INCLUDE
WORK ABOVE THE TOP FLOOR ROOF PLATE.
WEST ELEVATION INTERNAL
STAIRS, SHAFTS
TOTAL HEIGHTS SHOWN ON SITE
DRAWING ARE NOT
LIMITED

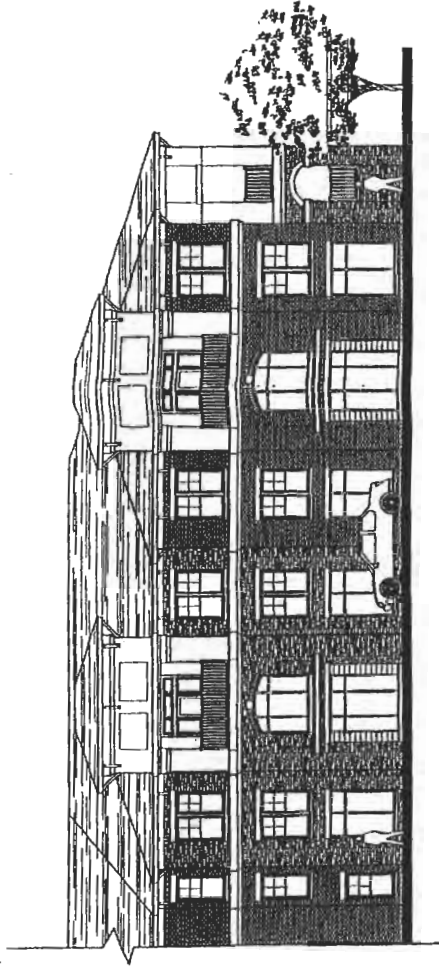


2 BUILDING TWO EAST ELEVATION
1/8"=1'-0"

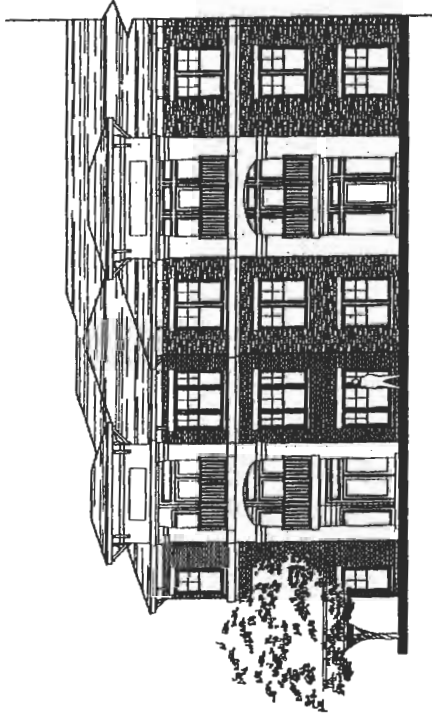
4 BUILDING TWO PARTIAL EAST ELEVATION
1/8"=1'-0"



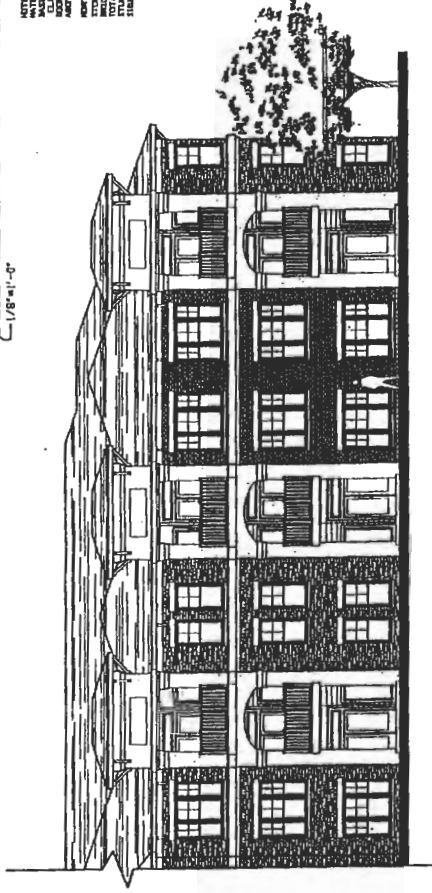
1 BUILDING THREE NORTH ELEVATION
1/8"=1'-0"



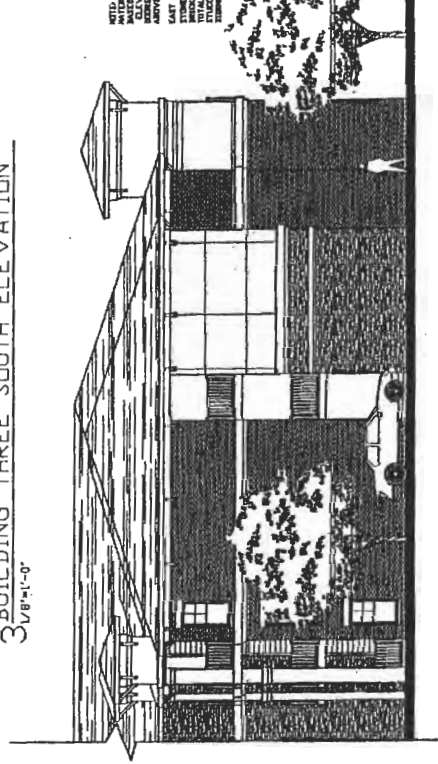
2 BUILDING THREE NORTH ELEV
1/8"=1'-0"



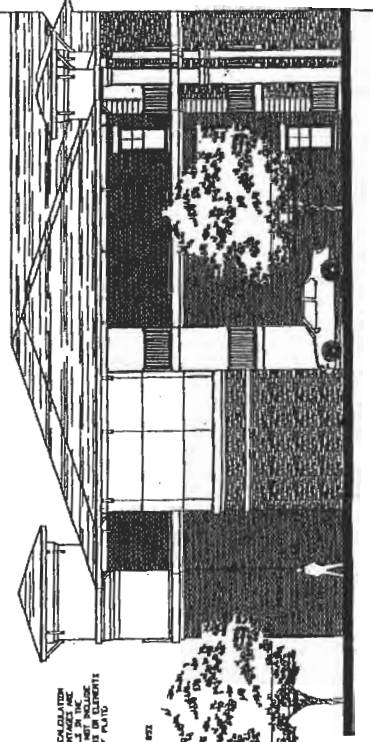
3 BUILDING THREE SOUTH ELEVATION
1/8"=1'-0"



4 BUILDING THREE SOUTH ELEVATION
1/8"=1'-0"



5 BUILDING THREE EAST ELEVATION
1/8"=1'-0"



6 BUILDING THREE WEST ELEVATION
1/8"=1'-0"

KEYNOTES

EXHIBITE

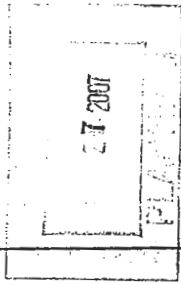
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NOTE: EXTERIOR MATERIAL CALCULATION BASED ON VISIBLE MATERIALS IN THE ARCHITECTURAL DRAWINGS. MATERIALS NOT SHOWN ARE TO BE DETERMINED BY THE ARCHITECT. VERIFY MATERIALS AND QUANTITIES ABOVE THE TOP FLOOR ROOF PLATE.
NORTH ELEVATION: INTERIOR STREET
SOUTH ELEVATION: INTERIOR STREET
EAST ELEVATION: INTERIOR STREET
WEST ELEVATION: INTERIOR STREET
STANDARD 2000

NOTE: EXTERIOR MATERIAL CALCULATION BASED ON VISIBLE MATERIALS IN THE ARCHITECTURAL DRAWINGS. MATERIALS NOT SHOWN ARE TO BE DETERMINED BY THE ARCHITECT. VERIFY MATERIALS AND QUANTITIES ABOVE THE TOP FLOOR ROOF PLATE.
NORTH ELEVATION: INTERIOR
SOUTH ELEVATION: INTERIOR
EAST ELEVATION: INTERIOR
WEST ELEVATION: INTERIOR
STANDARD 2000

NOTE: EXTERIOR MATERIAL CALCULATION BASED ON VISIBLE MATERIALS IN THE ARCHITECTURAL DRAWINGS. MATERIALS NOT SHOWN ARE TO BE DETERMINED BY THE ARCHITECT. VERIFY MATERIALS AND QUANTITIES ABOVE THE TOP FLOOR ROOF PLATE.
NORTH ELEVATION: INTERIOR
SOUTH ELEVATION: INTERIOR
EAST ELEVATION: INTERIOR
WEST ELEVATION: INTERIOR
STANDARD 2000

NOTE: EXTERIOR MATERIAL CALCULATION BASED ON VISIBLE MATERIALS IN THE ARCHITECTURAL DRAWINGS. MATERIALS NOT SHOWN ARE TO BE DETERMINED BY THE ARCHITECT. VERIFY MATERIALS AND QUANTITIES ABOVE THE TOP FLOOR ROOF PLATE.
NORTH ELEVATION: INTERIOR
SOUTH ELEVATION: INTERIOR
EAST ELEVATION: INTERIOR
WEST ELEVATION: INTERIOR
STANDARD 2000



THE WORTHING COMPANIES
300 Mountain View Road
Suite 100
Atlanta, Georgia 30328
770.532.5775

Heights at Lake Forest
McKinney, Texas

APR NUMBER:	21013
DATE:	05/28/07
REV:	11/14/07
REV:	11/29/07

PROJECT NUMBER: AES of 13

KEYNOTES

EXHIBITE

CONTINUED

27 2007

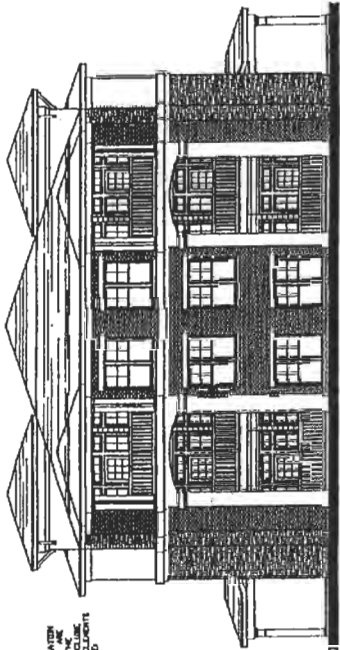
THE WORTHING COMPANIES
 800 Missouri Western Highway
 Alliance, Georgia
 770.522.3775



Heights
 at
 Lake Forest
 McKinney, Texas

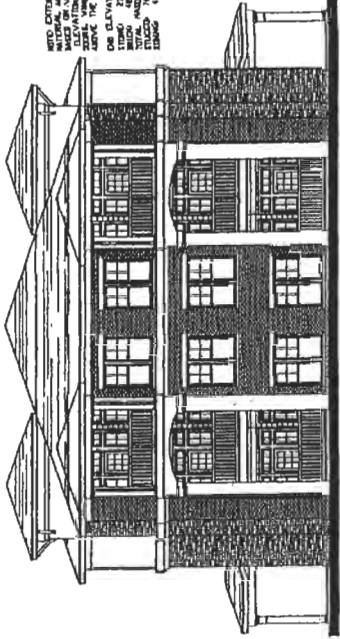
DATE: 11/14/07
 DATE: 12/17/07
 DATE: 11/14/07
 DATE: 11/14/07

SHEET
 NUMBER AE 6 OF 13



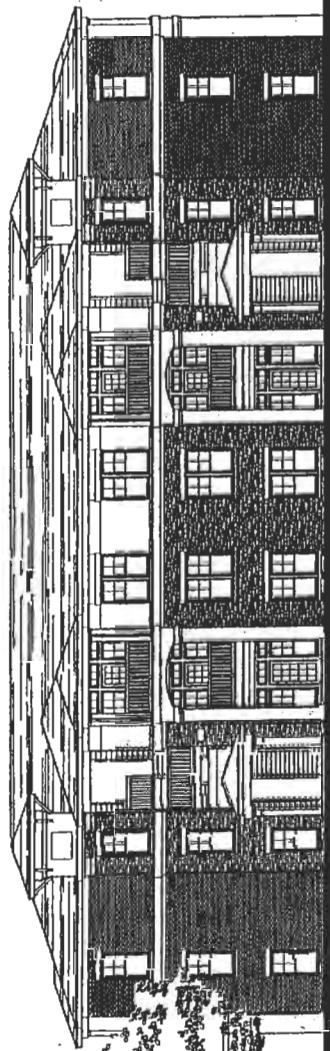
NETO EXTERIOR MATERIALS CALCULATION
 MATERIALS VISIBLE IN THE
 ELEVATION SHALL BE INCLUDED IN THE
 CALCULATION. MATERIALS NOT VISIBLE
 ABOVE THE TOP FLOOR ROOF PLATE
 SHALL NOT BE INCLUDED.
 THIS ELEVATION IS INTERNAL.
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD
 DATE: 11/14/07

3 BUILDINGS 9 END ELEVS
 1/8"=1'-0"



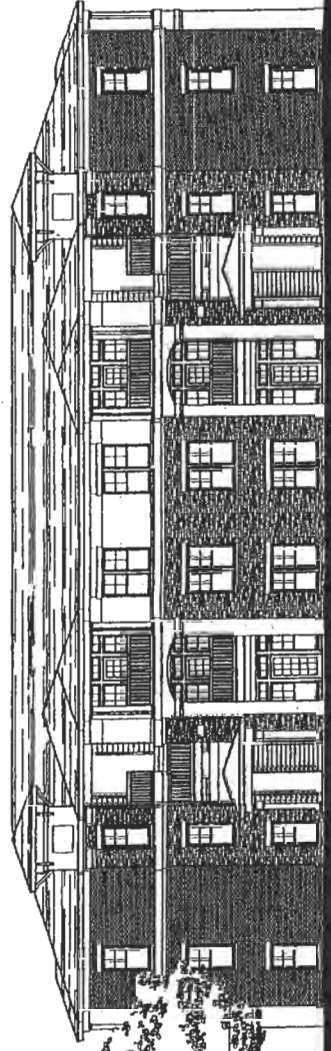
NETO EXTERIOR MATERIALS CALCULATION
 MATERIALS VISIBLE IN THE
 ELEVATION SHALL BE INCLUDED IN THE
 CALCULATION. MATERIALS NOT VISIBLE
 ABOVE THE TOP FLOOR ROOF PLATE
 SHALL NOT BE INCLUDED.
 THIS ELEVATION IS INTERNAL.
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD
 DATE: 11/14/07

4 BUILDINGS 4 END ELEVS
 1/8"=1'-0"



NETO EXTERIOR MATERIALS CALCULATION
 MATERIALS VISIBLE IN THE
 ELEVATION SHALL BE INCLUDED IN THE
 CALCULATION. MATERIALS NOT VISIBLE
 ABOVE THE TOP FLOOR ROOF PLATE
 SHALL NOT BE INCLUDED.
 THIS ELEVATION IS INTERNAL.
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD
 DATE: 11/14/07

2 BUILDINGS 4&9 FRONT/BUILDING 4 REAR ELEVS
 1/8"=1'-0"



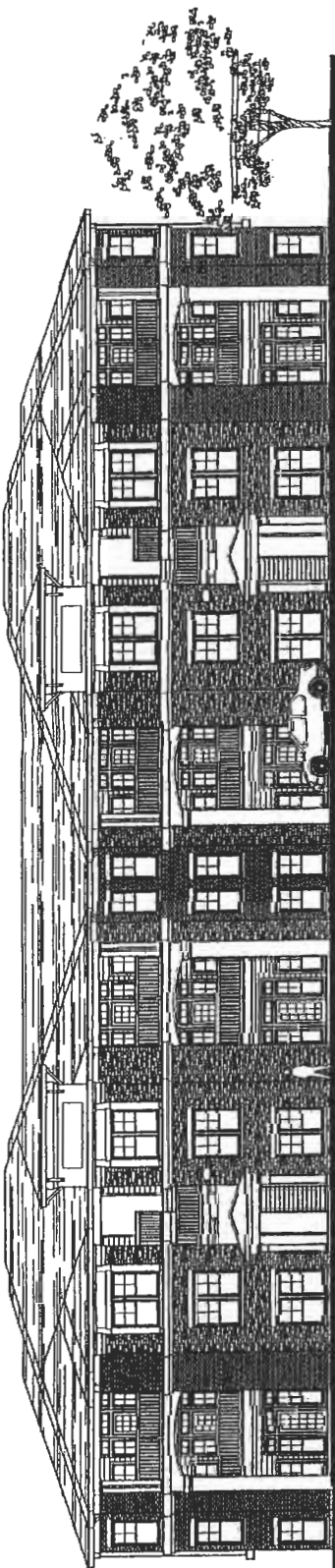
NETO EXTERIOR MATERIALS CALCULATION
 MATERIALS VISIBLE IN THE
 ELEVATION SHALL BE INCLUDED IN THE
 CALCULATION. MATERIALS NOT VISIBLE
 ABOVE THE TOP FLOOR ROOF PLATE
 SHALL NOT BE INCLUDED.
 THIS ELEVATION IS STREET SIDE.
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD
 DATE: 11/14/07

1 BUILDING 9 REAR (STREET SIDE) ELEV
 1/8"=1'-0"

KEYNOTES

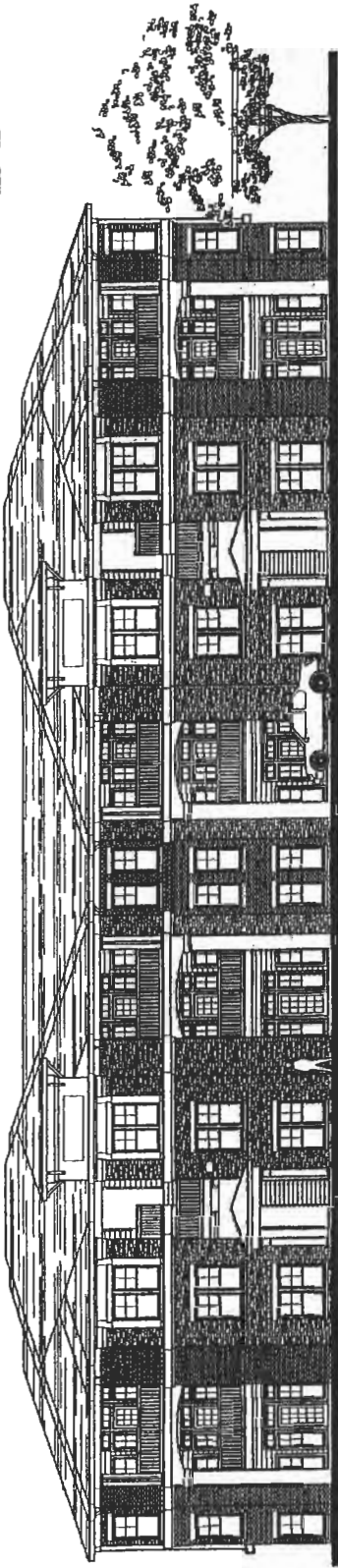
EXHIBITE

CONTINUED



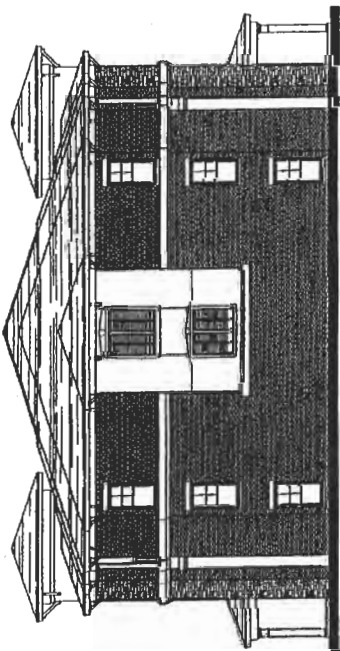
1 BUILDING FIVE - REAR (STREET SIDE) ELEV
1/8"=1'-0"

NOTE: EXTERIOR MATERIAL CALCULATION
BASED ON VISIBLE MATERIAL IN ELEVATION.
ELEVATION PLANE AND DO NOT INCLUDE
MATERIALS TO BE INSTALLED ABOVE
THE TOP FLOOR ROOF FLOOR.
FRONT ELEVATION STREET
SIDE
TOTAL HEIGHT 14.287'
TOTAL MATERIAL 14.287'
TOTAL HEIGHT 14.287'



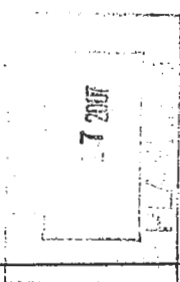
2 BUILDING FIVE - FRONT ELEVATION
1/8"=1'-0"

NOTE: EXTERIOR MATERIAL CALCULATION
BASED ON VISIBLE MATERIAL IN ELEVATION.
ELEVATION PLANE AND DO NOT INCLUDE
MATERIALS TO BE INSTALLED ABOVE
THE TOP FLOOR ROOF FLOOR.
FRONT ELEVATION STREET
SIDE
TOTAL HEIGHT 14.287'
TOTAL MATERIAL 14.287'
TOTAL HEIGHT 14.287'



3 BUILDING FIVE END ELEVATIONS
1/8"=1'-0"

NOTE: EXTERIOR MATERIAL CALCULATION
BASED ON VISIBLE MATERIAL IN ELEVATION.
ELEVATION PLANE AND DO NOT INCLUDE
MATERIALS TO BE INSTALLED ABOVE
THE TOP FLOOR ROOF FLOOR.
END ELEVATIONS STREET
SIDE
TOTAL HEIGHT 14.287'
TOTAL MATERIAL 14.287'
TOTAL HEIGHT 14.287'



THE WORTHING COMPANIES
600 South 23rd Highway
Midland, Texas 79701
770-332-5775



Heights
at
Lake Forest
Midland, Texas

JOB NUMBER:	21973
DRAWN BY:	J.P. SALAS/BJH
CHECKED BY:	J.P. SALAS/BJH
DATE:	NOV. 14, 2007
REV. 1:	NOV. 14, 2007
REV. 2:	NOV. 14, 2007
REV. 3:	NOV. 14, 2007
REV. 4:	NOV. 14, 2007
REV. 5:	NOV. 14, 2007
REV. 6:	NOV. 14, 2007
REV. 7:	NOV. 14, 2007
REV. 8:	NOV. 14, 2007
REV. 9:	NOV. 14, 2007
REV. 10:	NOV. 14, 2007
REV. 11:	NOV. 14, 2007
REV. 12:	NOV. 14, 2007
REV. 13:	NOV. 14, 2007
REV. 14:	NOV. 14, 2007
REV. 15:	NOV. 14, 2007
REV. 16:	NOV. 14, 2007
REV. 17:	NOV. 14, 2007
REV. 18:	NOV. 14, 2007
REV. 19:	NOV. 14, 2007
REV. 20:	NOV. 14, 2007
REV. 21:	NOV. 14, 2007
REV. 22:	NOV. 14, 2007
REV. 23:	NOV. 14, 2007
REV. 24:	NOV. 14, 2007
REV. 25:	NOV. 14, 2007
REV. 26:	NOV. 14, 2007
REV. 27:	NOV. 14, 2007
REV. 28:	NOV. 14, 2007
REV. 29:	NOV. 14, 2007
REV. 30:	NOV. 14, 2007
REV. 31:	NOV. 14, 2007
REV. 32:	NOV. 14, 2007
REV. 33:	NOV. 14, 2007
REV. 34:	NOV. 14, 2007
REV. 35:	NOV. 14, 2007
REV. 36:	NOV. 14, 2007
REV. 37:	NOV. 14, 2007
REV. 38:	NOV. 14, 2007
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REV. 50:	NOV. 14, 2007
REV. 51:	NOV. 14, 2007
REV. 52:	NOV. 14, 2007
REV. 53:	NOV. 14, 2007
REV. 54:	NOV. 14, 2007
REV. 55:	NOV. 14, 2007
REV. 56:	NOV. 14, 2007
REV. 57:	NOV. 14, 2007
REV. 58:	NOV. 14, 2007
REV. 59:	NOV. 14, 2007
REV. 60:	NOV. 14, 2007
REV. 61:	NOV. 14, 2007
REV. 62:	NOV. 14, 2007
REV. 63:	NOV. 14, 2007
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REV. 91:	NOV. 14, 2007
REV. 92:	NOV. 14, 2007
REV. 93:	NOV. 14, 2007
REV. 94:	NOV. 14, 2007
REV. 95:	NOV. 14, 2007
REV. 96:	NOV. 14, 2007
REV. 97:	NOV. 14, 2007
REV. 98:	NOV. 14, 2007
REV. 99:	NOV. 14, 2007
REV. 100:	NOV. 14, 2007

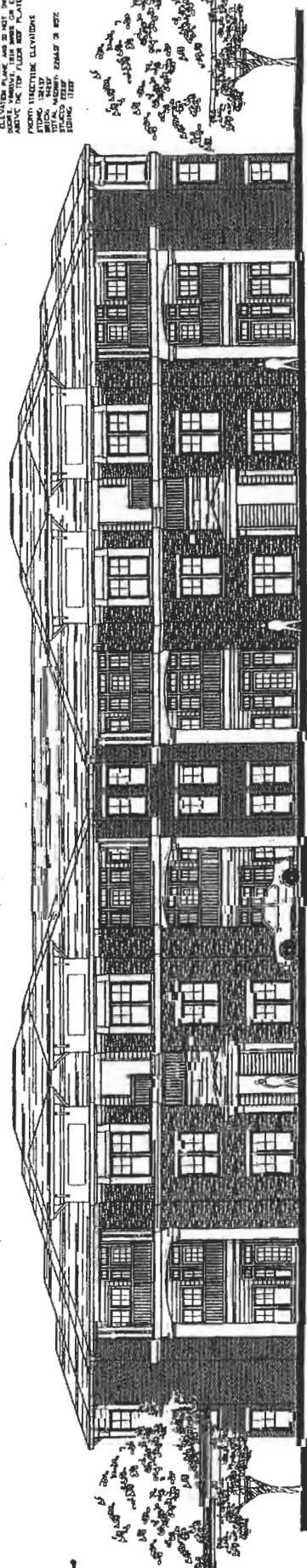
SHEET AE7 OF 13

KEYNOTES

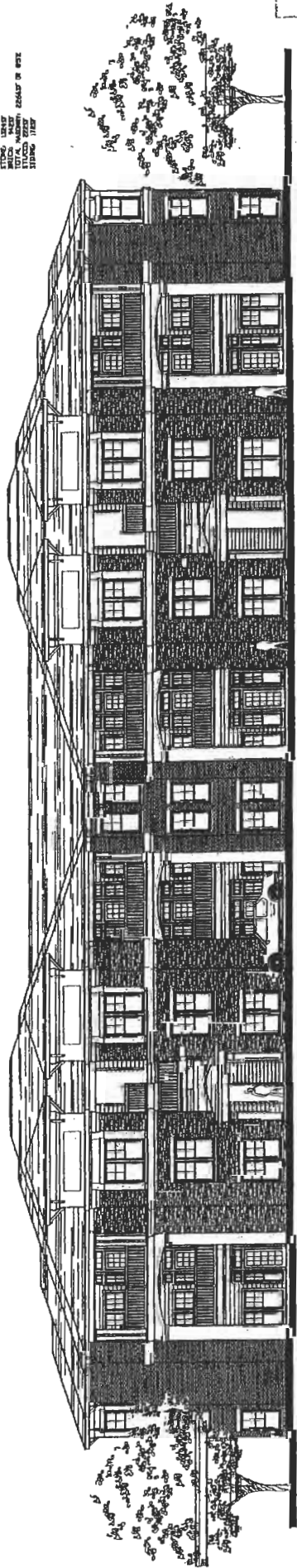
NOTE: EXTERIOR MATERIALS OF ALL MATERIALS, WALLS AND ROOFING ARE TO BE INDICATED BY THE ELEVATION. MATERIALS TO BE USED ABOVE FINISH FLOOR OR ELEVATION ABOVE FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION.

NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VERTICAL MATERIALS IN THE ELEVATION. MATERIALS TO BE USED ABOVE FINISH FLOOR OR ELEVATION ABOVE FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION.

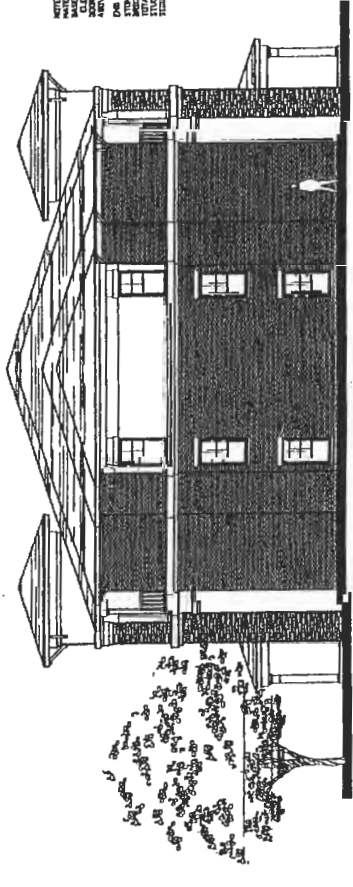
NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VERTICAL MATERIALS IN THE ELEVATION. MATERIALS TO BE USED ABOVE FINISH FLOOR OR ELEVATION ABOVE FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION. FINISH FLOOR TO BE INDICATED BY THE ELEVATION.



1 BUILDINGS 6&7 STREET ELEVATION
1/8"=1'-0"



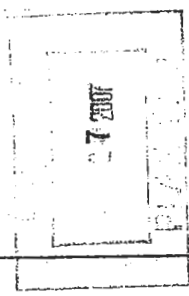
2 BUILDINGS 6&7 PARKING ELEVATION
1/8"=1'-0"



3 BUILDINGS 6&7 END ELEVATIONS
1/8"=1'-0"

EXHIBITE

CONTINUED



THE WORKING COMPANIES
300 Mountain View Road
Atlanta, Georgia 30328
770.522.5773

Heights at Lake Forest
McDonough, Texas

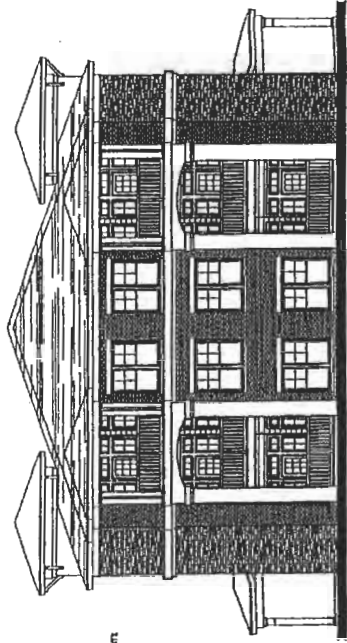
DATE: 02/28/2007
DRAWN BY: [Name]
CHECKED BY: [Name]
REVISED BY: [Name]

PROJECT: [Name]
SHEET: AEB of 13

KEYNOTES

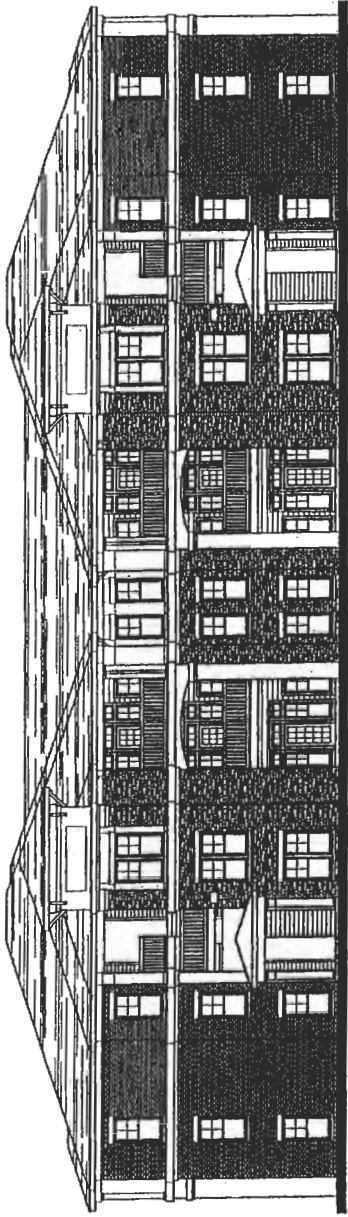
EXHIBITE

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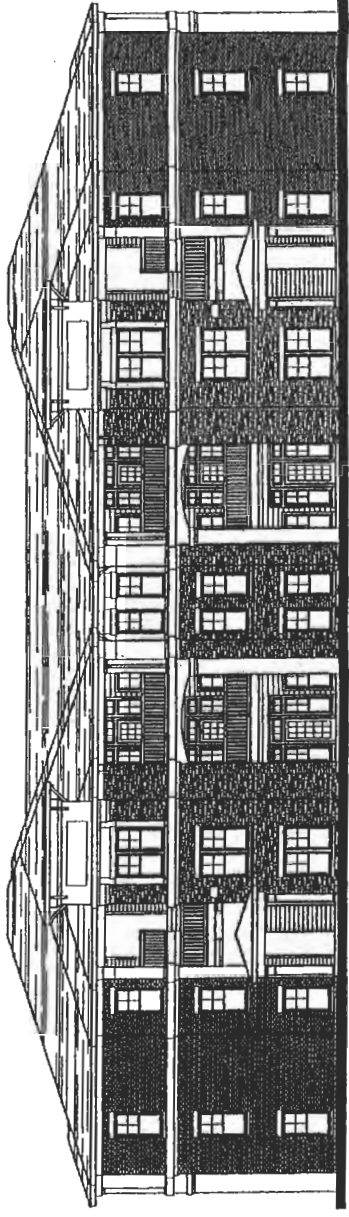
1 BUILDING 10 END ELEVATIONS
1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATOR
INDICATES AREA AND PERCENTAGE AND
LISTED OF VISIBLE MATERIALS IN THE
ASSEMBLY. HOWEVER, THIS AREA OR ELEMENTS
ABOVE THE TOP FLOOR REEF PLATE
OR ELEMENTS INTERNAL.
STUDIO MARY
TOTAL AREA 71457
TOTAL PERCENTAGE 5127



2 BUILDING 10 FRONT ELEVATION
1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATOR
INDICATES AREA AND PERCENTAGE AND
LISTED OF VISIBLE MATERIALS IN THE
ASSEMBLY. HOWEVER, THIS AREA OR ELEMENTS
ABOVE THE TOP FLOOR REEF PLATE
OR ELEMENTS INTERNAL.
STUDIO MARY
TOTAL AREA 71457
TOTAL PERCENTAGE 5127



3 BUILDING 10 REAR (STREET SIDE) ELEV
1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATOR
INDICATES AREA AND PERCENTAGE AND
LISTED OF VISIBLE MATERIALS IN THE
ASSEMBLY. HOWEVER, THIS AREA OR ELEMENTS
ABOVE THE TOP FLOOR REEF PLATE
OR ELEMENTS INTERNAL.
STUDIO MARY
TOTAL AREA 71457
TOTAL PERCENTAGE 5127

THE WORKING COMPANIES
601 Macaulay Highway
McKinney, TX 75069



THE WORKING COMPANIES
601 Macaulay Highway
McKinney, TX 75069
754-333-3773

Heights
at
Lake Forest
McKinney, Texas

JOB NUMBER: 21013

OWNER: JSP DEVELOPMENT

DATE: 11-19-2010

REV (11-19-2010)

REV (11-19-2010)

PROJECT NAME: AE9 of 13

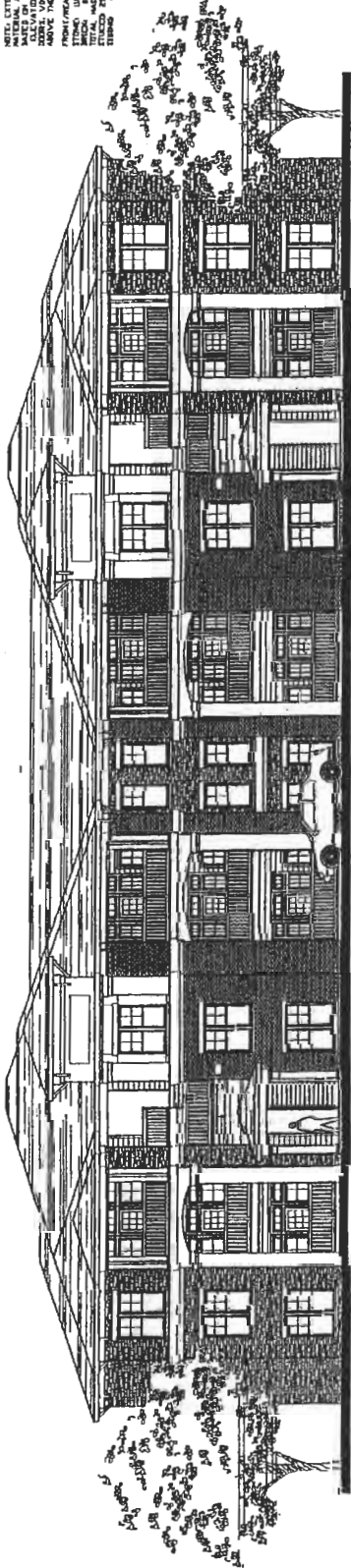
KEYNOTES

NETO EXTERIOR MATERIAL CALCULATION MADE ON VISIBLE MATERIALS IN THE ABOVE ELEVATION. THIS DOES NOT INCLUDE MATERIALS TO BE USED ABOVE THE TOP FLOOR ROOF PLATE. FINISHES: EXTERIOR - BRICK AND STERLING. INTERIOR - BRICK AND STERLING. TOTAL MATERIALS TONNAGE ON SITE: 14,400 TONS.

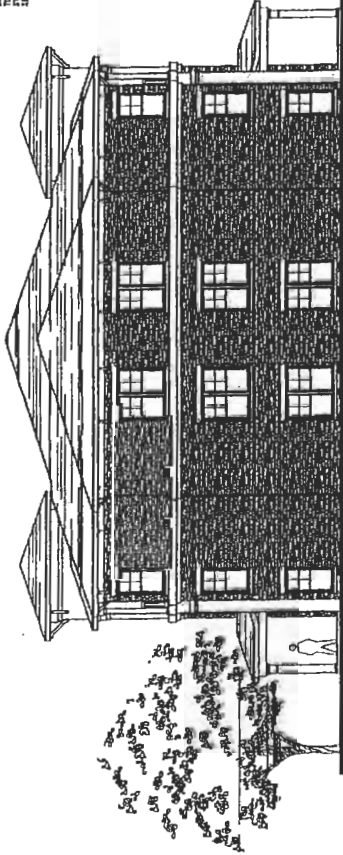
NETO EXTERIOR MATERIAL CALCULATION MADE ON VISIBLE MATERIALS IN THE ABOVE ELEVATION. THIS DOES NOT INCLUDE MATERIALS TO BE USED ABOVE THE TOP FLOOR ROOF PLATE. FINISHES: EXTERIOR - BRICK AND STERLING. INTERIOR - BRICK AND STERLING. TOTAL MATERIALS TONNAGE ON SITE: 14,400 TONS.

NETO EXTERIOR MATERIAL CALCULATION MADE ON VISIBLE MATERIALS IN THE ABOVE ELEVATION. THIS DOES NOT INCLUDE MATERIALS TO BE USED ABOVE THE TOP FLOOR ROOF PLATE. FINISHES: EXTERIOR - BRICK AND STERLING. INTERIOR - BRICK AND STERLING. TOTAL MATERIALS TONNAGE ON SITE: 14,400 TONS.

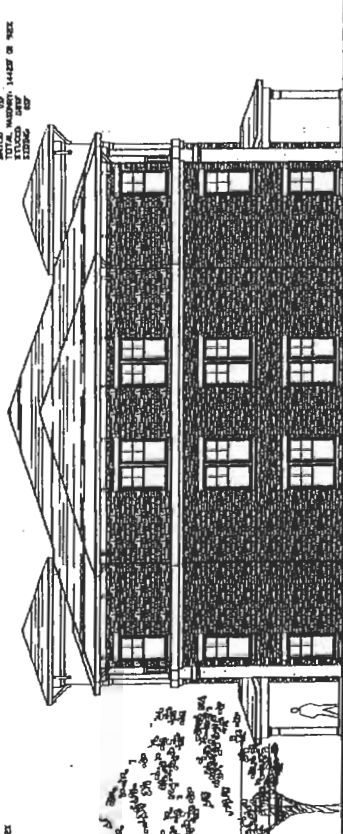
NETO EXTERIOR MATERIAL CALCULATION MADE ON VISIBLE MATERIALS IN THE ABOVE ELEVATION. THIS DOES NOT INCLUDE MATERIALS TO BE USED ABOVE THE TOP FLOOR ROOF PLATE. FINISHES: EXTERIOR - BRICK AND STERLING. INTERIOR - BRICK AND STERLING. TOTAL MATERIALS TONNAGE ON SITE: 14,400 TONS.



1 BUILDING 8 FRONT/REAR ELEV
1/8"=1'-0"



2 BUILDING 8 END ELEVATIONS
1/8"=1'-0"



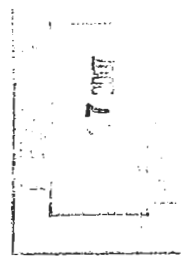
4 BUILDING 11 END ELEVATION
1/8"=1'-0"



3 BUILDING 11 FRONT/REAR ELEVATIONS
1/8"=1'-0"

EXHIBITE

CONTINUED



THE WORTHING COMPANIES
800 MICHIGAN AVENUE Highway
ALBUQUERQUE, NEW MEXICO
770-522-3775

Heights at Lake Forest
McAllen, Texas

DATE: 11-14-2017
BY: JY JENSEN
CHECKED BY: JY JENSEN

SCALE: AE10 @ 1/3

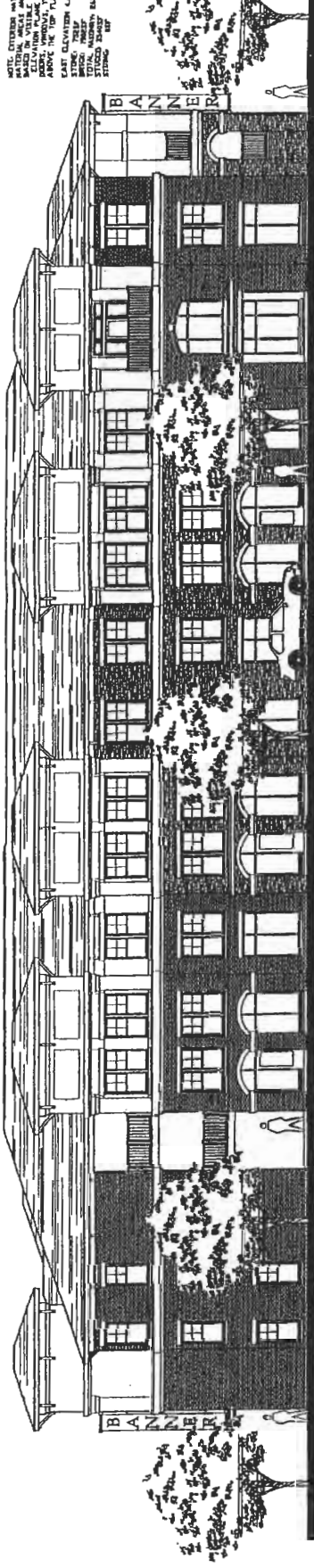
KEYNOTES

EXHIBITE

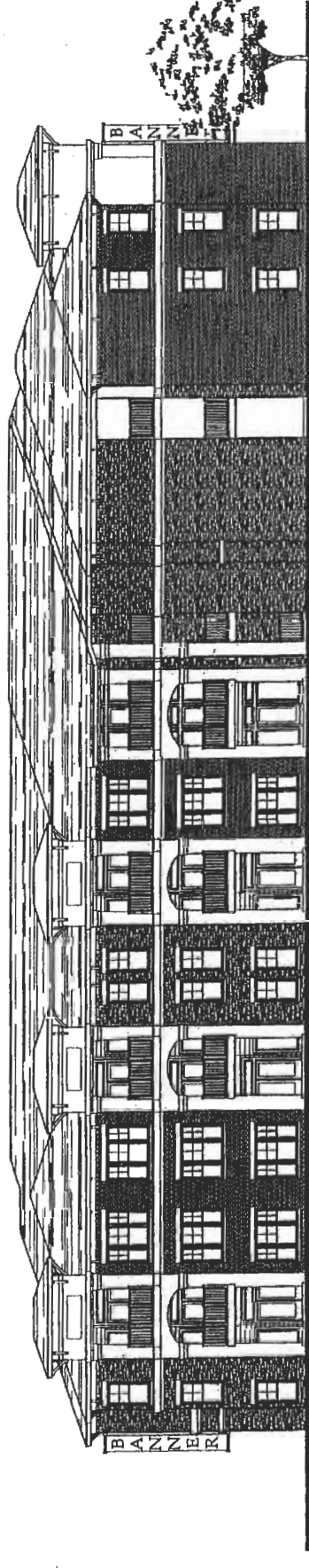
CONTINUED

NOTE: EXTERIOR MATERIAL CALCULATION
 MATERIAL WEIGHT AND IDENTIFICATION ARE
 BASED ON VERTICAL ELEVATION. IN THE
 CALCULATION MAKE UP OF FOOTING, EXTERIOR
 ABOVE THE TOP FLOOR AND PLATE.
 EAST ELEVATION LAKE FOREST DRIVE
 BANNER
 BANNER
 TOTAL MATERIALS LISTED IN BEE
 SHEET, ADDRESS, EAST OF IN BEE
 SHEET, ADDRESS, EAST OF IN BEE
 SHEET, ADDRESS, EAST OF IN BEE

NOTE: EXTERIOR MATERIAL CALCULATION
 MATERIAL WEIGHT AND IDENTIFICATION ARE
 BASED ON VERTICAL ELEVATION. IN THE
 CALCULATION MAKE UP OF FOOTING, EXTERIOR
 ABOVE THE TOP FLOOR AND PLATE.
 WEST ELEVATION LAKE FOREST DRIVE
 BANNER
 BANNER
 TOTAL MATERIALS LISTED IN BEE
 SHEET, ADDRESS, EAST OF IN BEE
 SHEET, ADDRESS, EAST OF IN BEE
 SHEET, ADDRESS, EAST OF IN BEE



1 BUILDING 12 EAST ELEVATION
 1/8"=1'-0"



2 BUILDING 12 WEST ELEVATION
 1/8"=1'-0"

THE WORKING COMPANIES
 800 Mount Vernon Highway
 Atlanta, Georgia
 770-522-5775



Heights
 at
 Lake Forest
 McKinney, Texas

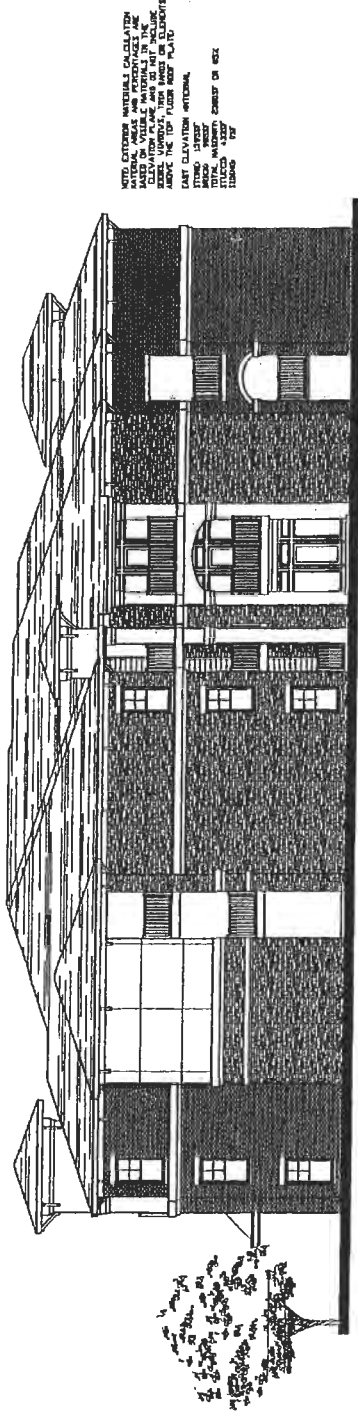
DATE	11/23/2007
BY	J.P. LEBLANC
PROJECT	LAKE FOREST
SCALE	AS SHOWN
DATE	11/23/2007
BY	J.P. LEBLANC
PROJECT	LAKE FOREST
SCALE	AS SHOWN

SET
 NAME
 AE11 of 13

KEYNOTES

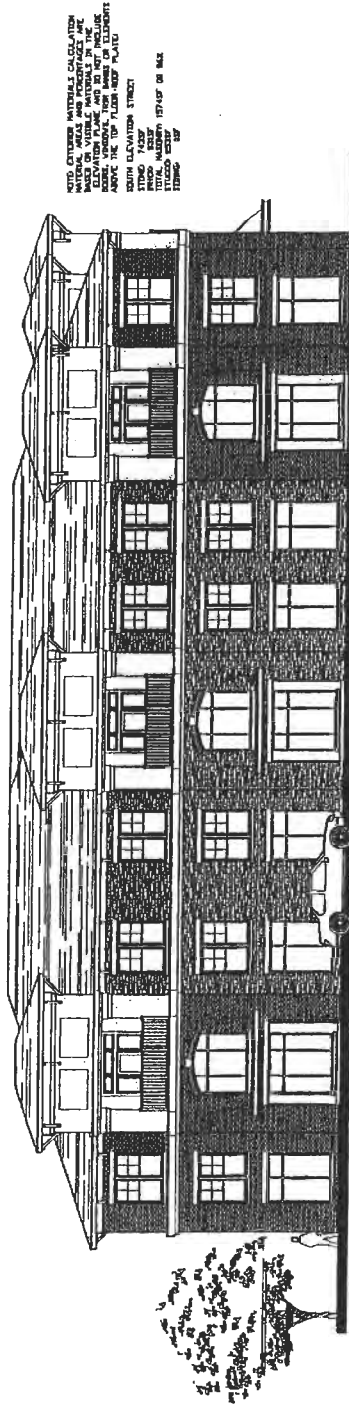
EXHIBITE

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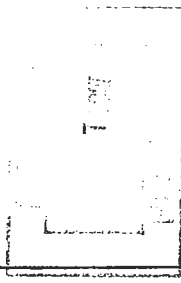
1 BUILDING 12 NORTH ELEVATION
1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATION
 MATERIAL, AREA AND PERCENTAGE ARE
 ELEVATION PLANE AND DO NOT INCLUDE
 ABOVE THE TOP FLOOR ROOF PLANE.
 EAST ELEVATION - INTERNAL.
 FINISH: 1/8"=1'-0"
 TOTAL MATERIALS: 1574 SF
 FINISH: 1574 SF



2 BUILDING 12 SOUTH ELEVATION
1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATION
 MATERIAL, AREA AND PERCENTAGE ARE
 ELEVATION PLANE AND DO NOT INCLUDE
 ABOVE THE TOP FLOOR ROOF PLANE.
 SOUTH ELEVATION - STREET
 FINISH: 1/8"=1'-0"
 TOTAL MATERIALS: 1574 SF
 FINISH: 1574 SF



THE WORTHING COMPANIES
 800 Main Street
 Albany, Georgia
 770-522-5775

Heights
 at
 Lake Forest
 McKinney, Texas

The Planning Association of Texas
 1000 West 10th Street
 Fort Worth, Texas 76102
 817-741-2444

PROJECT NUMBER	422-24-0001
DATE	NOV 11-2-2007
REV	11-2-2007
REV	11-2-2007

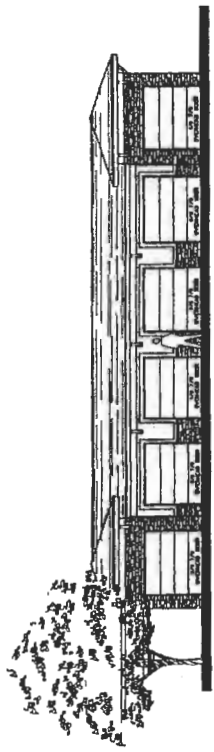
SHEET
 NUMBER AE12 OF 13

KEYNOTES

NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VISIBLE MATERIALS IN THE DRAWING. UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED.

INTERNAL ELEVATION
 STONE 2437
 TOTAL MATERIALS 2437 OR 432
 FINISH 2437

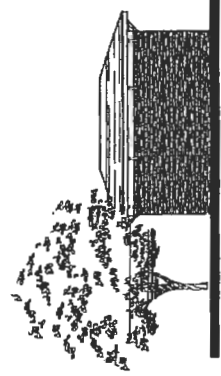
1 TYPICAL GARAGE FRONT
 1/8"=1'-0"



NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VISIBLE MATERIALS IN THE DRAWING. UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED.

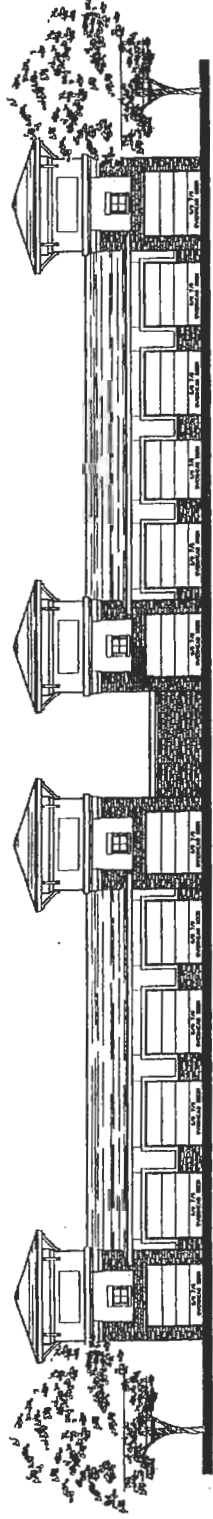
INTERNAL ELEVATION
 STONE 2437
 TOTAL MATERIALS 2437 OR 432
 FINISH 2437

2 TYPICAL GARAGE END
 1/8"=1'-0"



NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VISIBLE MATERIALS IN THE DRAWING. UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED.

INTERNAL ELEVATION
 STONE 2437
 TOTAL MATERIALS 2437 OR 432
 FINISH 2437



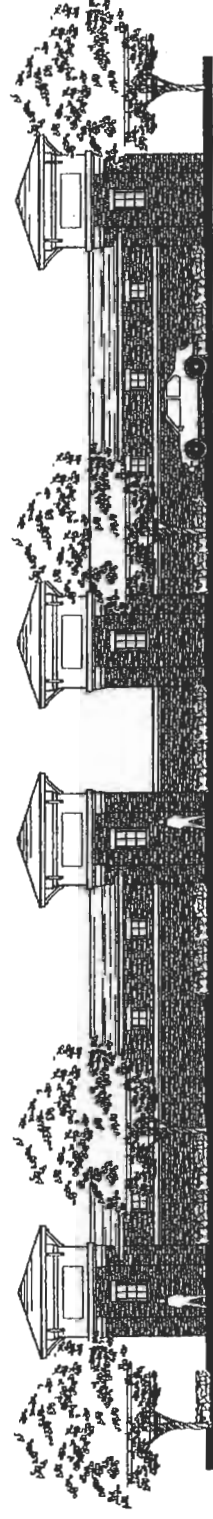
4 PERIMETER GARAGE INTERNAL ELEV.
 1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VISIBLE MATERIALS IN THE DRAWING. UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED.

INTERNAL ELEVATION
 STONE 2437
 TOTAL MATERIALS 2437 OR 432
 FINISH 2437

NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VISIBLE MATERIALS IN THE DRAWING. UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED.

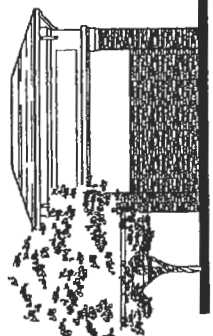
INTERNAL ELEVATION
 STONE 2437
 TOTAL MATERIALS 2437 OR 432
 FINISH 2437



5 PERIMETER GARAGE STREET ELEV.
 1/8"=1'-0"

NOTE: EXTERIOR MATERIALS CALCULATION BASED ON VISIBLE MATERIALS IN THE DRAWING. UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED, UNPAINTED, UNFINISHED.

INTERNAL ELEVATION
 STONE 2437
 TOTAL MATERIALS 2437 OR 432
 FINISH 2437



6 PERIMETER GARAGE END ELEV.
 1/8"=1'-0"

EXHIBITE

THE WORTHINGTON COMPANIES
 808 Mount Vernon Highway
 Dallas, Texas
 770-522-5775

Heights at Lake Forest
 McKinney, Texas

DATE: 07/15/2007
 PROJECT: 11-4-2007

PROJECT NUMBER: AE13 of 13