

CATALYST

URBAN DEVELOPMENT

September 15, 2014
Resubmitted September 29, 2014

Mr. Michael Quint
Director of Planning
City of McKinney
221 N. Tennessee Street
McKinney, TX 75069

Re: McKinney Urban Village
Request for Meritorious Exception to City of McKinney Minimum Design Standards

Mr. Quint:

With regard to our proposed development located at 2500 South SH 5, being a 9.610 acre tract, Lot 3, Block A of the McKinney Medical Subdivision, City of McKinney, Collin County, Texas, and having PD zoning, we respectfully request a Meritorious Exception to Minimum Design Standards as we believe the standards hamper our ability to achieve the high quality urban buildings our design intends.

As we have discussed, our McKinney Medical District master plan is based on a design approach which places buildings close to the street with urban sidewalks and pedestrian features that promote a walkable environment and urban presence. Our initial phase is a milestone event in the implementation of this mixed-use urban district as it sets the initial character and experience.

The design of the buildings and site amenities is critical to creating an interesting architectural experience that projects a sense of timelessness, quality, and visual interest, while also promoting a sense of public and private experiences through the elevation design and material palette. Our design vernacular is purposely Classical / traditional in its approach, and utilizes a rowhouse / townhouse concept in which a vertical proportion is emphasized through the building elevations and individual stooped entries from the sidewalk. The primary building corners are treated with special architectural moments with contrasting colors and materials to create a sense of formal entry into the development.

As these buildings will be viewed in perspective from the streetscape, this design approach relies on creating visual interest through different materials and compositions that to provide individuality to each "row house" unit, while projecting desired design effects to passing motorists from a longer view perspective. This cannot be achieved through a material palette that does not allow for use of materials and design compositions that accurately reflect the intended style, and provide visual interest through a mixture of historically correct elements and detail.

Furthermore, application of the design standards creates a design in which the elements are focused upon rather than the architectural composition as whole. We feel our elevations and materials meet the intent of the standards, provide an undulating and interesting façade, and use a mix of materials that reinforces our design intent.

It is with this context, that we request the City allow our design to be approved with following specific conditions:

- Fiber cement plank, board, and trim as an exterior element on the non-masonry portion of the building façade. The application is at gables and bay projections and visually appears like similar wood products in the manner that such architectural elements are generally clad.
- Integral color, split-faced concrete masonry units as a masonry element on the masonry portions of the building. Used as a building base and bay-defining material, the appearance is similar to cut and coursed, rough-cut stone.
- We proposed 75% masonry material requirement on exterior walls that face the perimeter streets. This percentage shall apply to the building facade as a whole rather than by individual wall segments as the current Ordinance's application to a single bay rather than façade as a whole disallows use of other materials for greater architectural interest and detail.
- We propose a 35% masonry material requirement on the interior parking court facades, with stucco comprising the majority of the remaining primary cladding material. This allows for focal points around entries and primary façade features, with a stucco field elsewhere to convey a sense of "private" internal block condition vs the more masonry-intense "public" exterior block condition along the sidewalk perimeter. This separation of "public" vs "private" experience will create a more interesting identity for the project as a whole and is consistent with the Classical vernacular we intend.
- Car shade covers designed as wood trellis structures versus masonry and 4:12 sloped roof structures. These are located in the enclosed parking court area and the design would provide a softer garden feel.
- Projecting architectural design features such as bay windows, sun porches, balcony stacks, etc do not have to run the full height of the elevation to create visual interest.
- Stairs to our townhome units do not require a covering / roof structure.

Included on the following pages are images supporting our design intent and material selections for reference.

We request that this matter be heard before the Planning and Zoning Board on the October 14, 2014 Planning & Zoning Commission and, pending approval by P&Z, the earliest City Council meeting date thereafter.

Respectfully,


Paris Rutherford
Partner
(214)446-3915

MATERIAL SUBSTITUTION

Fiber cement panels have been incorporated in the design at feature points as wood elements would have been used in historical context. This panel material will be installed without trim or battens and the edges floated to provide a crisp, painted edge. The use of stucco in this application would be inappropriate.



Classically detailed masonry façade with cement fiber board architectural detail.



Classical brick façade with fiber-cement panel material.
Note the entry gable design similar to the proposed project.

SPLIT-FACE CONCRETE MASONRY AS PART OF THE MASONRY REQUIREMENT

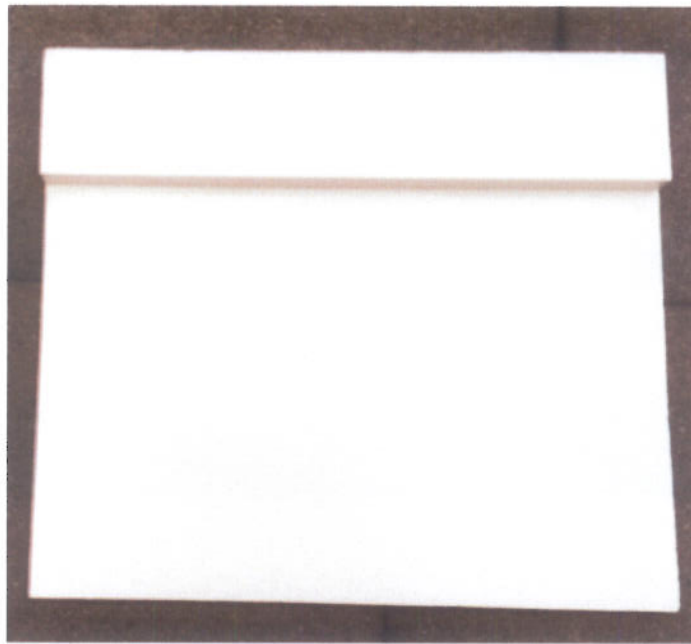
Split-face concrete masonry has been incorporated in the design to provide the appearance of cut and coursed, rough-faced stone.



Brick over split-face concrete masonry application.



Split-face concrete masonry detail



Cement Fiber Board detail

PARKING COVER STRUCTURES

Proposed architectural design concept of car parking cover structures as garden trellis versus required masonry and 4:12 pitched roof design. The structures blend well with the architectural design of the buildings, and provide a softer more garden-like design element in the parking areas.



EXPOSED STAIRS

Examples of historical brownstone/ townhome with exposed stoops and stairs. Note projecting bay window that adds visual interest and breaks the façade without extending full height of the building wall.

