



# Planning & Zoning Commission

## Agenda

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Tuesday, March 12, 2019

6:00 PM

Council Chambers  
222 N. Tennessee Street  
McKinney, TX 75069

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**PURSUANT TO TEXAS GOVERNMENT CODE SECTION 551.002, A QUORUM OF THE CITY COUNCIL MAY BE PRESENT. NO CITY COUNCIL ACTION WILL BE TAKEN.**

### **CALL TO ORDER**

### **CONSENT ITEMS**

*This portion of the agenda consists of non-controversial or "housekeeping" items required by law. Items may be considered individually by any Commission member making such request prior to a motion and vote on the Consent items.*

**19-0211**      [Minutes of the Planning and Zoning Commission Regular Meeting of February 26, 2019](#)

**Attachments:**    [Minutes](#)

### **END OF CONSENT AGENDA**

### **REGULAR AGENDA ITEMS AND PUBLIC HEARINGS**

**18-0122Z**      [Conduct a Public Hearing to Consider/Discuss/Act on a Request to Rezone the Subject Property from "PD" - Planned Development District and "REC" - Regional Employment Center Overlay District to "C2" - Local Commercial District, Located on the Northeast Corner of Custer Road and Silverado Trail \(REQUEST TO BE TABLED\)](#)

**Attachments:**    [Location Map and Aerial Exhibit](#)

**17-0271SP**      [Conduct a Public Hearing to Consider/Discuss/Act on a Variance to a Site Plan for a Multi-Family Residential Development \(Cliffs of McKinney\), Located Approximately 255 Feet South of U.S. Highway 380 \(University Drive\) and](#)

on the East Side of Ridge Road

**Attachments:** [Standard Conditions Checklist](#)  
[Location Map and Aerial Exhibit](#)  
[Letter of Intent](#)  
[Proposed Site Plan](#)  
[Proposed Landscape Plan](#)  
[Grading Exhibit](#)  
[Presentation](#)

**18-0158FR2** [Conduct a Public Hearing to Consider/Discuss/Act on a Façade Plan for Springstone McKinney Hospital, Located Approximately 1,000 Feet East of Lake Forest Drive and Approximately 300 Feet North of U.S. Highway 380 \(University Drive\)](#)

**Attachments:** [Location Map and Aerial Exhibit](#)  
[Letter of Intent](#)  
[Existing Site Plan](#)  
[Proposed Facade Plan](#)  
[Presentation](#)

**COMMISSION AND STAFF COMMENTS**

Comments relating to items of public interest such as staff recognition, development trends, the status of special Planning Department projects, and other relevant information.

**ADJOURN**

Posted in accordance with the Texas Government Code, Chapter 551, on the 8th day of March, 2019 at or before 5:00 p.m.

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Empress Drane  
City Secretary

In accordance with the Americans with Disabilities Act, it is the policy of the City of McKinney to offer its public programs, services, and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact the ADA Coordinator at least 48 hours in advance of the event. Phone 972-547-2694 or email [contact-adacompliance@mckinneytexas.org](mailto:contact-adacompliance@mckinneytexas.org). Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility. ADA grievances may also be directed to the ADA Coordinator or filed online at <http://www.mckinneytexas.org/ada>.



**19-0211**

**Code Sections:**

**Title:** Minutes of the Planning and Zoning Commission Regular Meeting of February 26, 2019

**Text of Legislative File 19-0211**

Minutes of the Planning and Zoning Commission Regular Meeting of February 26, 2019

**SUPPORTING MATERIALS:**

Minutes

## PLANNING AND ZONING COMMISSION

FEBRUARY 26, 2019

The Planning and Zoning Commission of the City of McKinney, Texas met in regular session in the Council Chambers, 222 N. Tennessee Street, McKinney, Texas, on Tuesday, February 26, 2019 at 6:00 p.m.

Commission Members Present: Chairman Bill Cox, Vice-Chairman Brian Mantzey, Christopher Haeckler, Hamilton Doak, Deanna Kuykendall, and Bry Taylor - Alternate

Commission Member Absent: Cam McCall

Staff Present: Director of Planning Jennifer Arnold; Planning Manager Samantha Pickett; Planners David Soto, Derrick Rhys Wilson, and Joe Moss; and Administrative Assistant Terri Ramey

There were six guests present.

Chairman Cox called the meeting to order at 6:00 p.m. after determining a quorum was present.

The Commission unanimously approved the motion by Commission Member Doak, seconded by Commission Member Haeckler, to approve the following three Consent items, with a vote of 6-0-0.

**19-0163** Minutes of the Planning and Zoning Commission Regular Meeting of February 12, 2019.

**18-0125CVP** Consider/Discuss/Act on a Conveyance Plat for Lots 1-13, Block A, of 380 Town Centre Addition, Located on the Southeast Corner of U.S. Highway 380 (East University Drive) and Hardin Boulevard.

**18-0115SP** Consider/Discuss/Act on a Site Plan for an Office/ Warehouse Building (Expert Services), Located Approximately 510 Feet South of Power House Street and on the East Side of Mercury Circle.

END OF CONSENT

Chairman Cox continued the meeting with the Regular Agenda Items and Public Hearings on the agenda.

**18-0114Z** Conduct a Public Hearing to Consider/Discuss/Act on a Request to Rezone the Subject Property from "RED-1" - Residential Estates District

and "CC" - Corridor Commercial Overlay District to "C3" - Regional Commercial District and "CC" Corridor Commercial Overlay District, Located at the Northwest Corner of Rockhill Road and U.S. Highway 75 (Central Expressway) (REQUEST TO BE TABLED). Mr. Derrick Rhys Wilson, Planner I for the City of McKinney, stated that Staff recommends that the public hearing be closed and the item tabled to the March 26, 2019 Planning and Zoning Commission meeting due to the applicant's request. He stated that Staff will re-notice the item prior to the upcoming hearing and offered to answer questions. There were none. Chairman Cox opened the public hearing and called for comments. There being none, on a motion by Vice-Chairman Mantzey, seconded by Commission Member Kuykendall, the Commission voted to close the public hearing and table the item to the March 26, 2019 Planning and Zoning Commission meeting as recommended by Staff, with a vote of 5-0-1. Chairman Cox abstained.

**18-0015SUP** Conduct a Public Hearing to Consider/Discuss/Act on a Specific Use Permit to Allow for Automobile Sales, Repair, and Storage Uses (McKinney Dodge), Located at the Northwest Corner of Rockhill Road and U.S. Highway 75 (Central Expressway) (REQUEST TO BE TABLED). Mr. Derrick Rhys Wilson, Planner I for the City of McKinney, stated that Staff recommends that the public hearing be closed and the item tabled to the March 26, 2019 Planning and Zoning Commission meeting due to the applicant's request. He stated that Staff will re-notice the item prior to the upcoming hearing and offered to answer questions. There were none. Chairman Cox opened the public hearing and called for comments. There being none, on a motion by Commission Member Kuykendall, seconded by Commission Member Doak, the Commission voted to close the public hearing and table the item to the March 26, 2019 Planning and Zoning Commission meeting as recommended by Staff, with a vote of 5-0-1. Chairman Cox abstained.

**18-0158FR** Conduct a Public Hearing to Consider/Discuss/Act on a Facade Plan for Springstone McKinney Hospital, Located Approximately 1,000 Feet East of Lake Forest Drive and Approximately 300 Feet North of U.S. Highway 380 (University Drive). (REQUEST TO BE TABLED). Mr. Derrick Rhys Wilson, Planner I for the City of McKinney, stated that Staff recommends that the public hearing be continue and the item tabled to the March 12, 2019 Planning and Zoning Commission meeting due to notification signs not being posted on the subject property on the timeframe required by the Zoning Ordinance. He offered to answer questions. There were none. Chairman Cox opened the public hearing and called for comments. There being none, on a motion by Vice-Chairman Mantzey, seconded by Commission Member Haeckler, the Commission unanimously voted to continue the public hearing and table the item to the March 12, 2019 Planning and Zoning Commission meeting as recommended by Staff, with a vote of 6-0-0.

**19-004Z** Conduct a Public Hearing to Consider/Discuss/Act on a Request to Rezone the Subject Property from "AG" - Agricultural District to "LI" - Light Industrial District, Located Approximately 280 Feet West of State Highway 5 (McDonald Street) and on the North Side of Wilmeth Road. Mr. David Soto, Planner I for the City of McKinney, explained the proposed rezoning request. He stated that the applicant is requesting to rezone approximately 24.20 acres of land from "AG" – Agricultural District to "LI" – Light Industrial District. Mr. Soto stated that the applicant has indicated their intent to develop the subject property for warehouse flex space with the potential for office and distribution uses. He stated that within the past several years there has been desire to maintain and grow the City's industrial base within this sector. Mr. Soto stated that the proposed project, along with the surrounding area having some sort of industrial uses, should help establish this area as a strong employment center. He stated that the proposed rezoning request is generally in

conformance with the Comprehensive Plan. Mr. Soto stated that Staff recommends approval of the proposed rezoning request and offered to answer questions. There were none. Mr. Tim Geisler, ML Realty Partners, One Pierce Place, Itasca, IL, briefly explained the proposed rezoning request. He stated that their company is a long-term holder of industrial real estate. Mr. Geisler stated that they have approximately 14,000,000 total square feet between the Chicago and Dallas markets. He stated that they inquire existing industrial buildings and develop industrial buildings. Mr. Geisler stated that they have recently done similar developments in Lewisville and Coppell. He stated that they were planning to have three industrial buildings on the subject property. Mr. Geisler stated that two would be rear load buildings with a shared truck court right off of Wilmeth Road and a cross dock on the north side of the site. He stated that the proposed development would be very similar to what Hunt Southwest recently developed to the west of the subject property. Mr. Geisler stated that they are working on the site plan; however, it is not finalized yet. Vice-Chairman Mantzey asked if there was a construction timeframe. Mr. Geisler stated that they would like to start on it right away. Chairman Cox opened the public hearing and called for comments. There being none, on a motion by Vice-Chairman Mantzey, seconded by Commission Member Kuykendall, the Commission unanimously voted to close the public hearing and recommend approval of the proposed rezoning request as recommended by Staff, with a vote of 6-0-0. Chairman Cox stated that the recommendation of the Planning and Zoning Commission will be forwarded to the City Council meeting on March 19, 2019.

END OF THE REGULAR AGENDA ITEMS AND PUBLIC HEARINGS

Chairman Cox announced that Mr. Richard Franklin had resigned from the Planning and Zoning Commission to run for a City Council position. He wished Mr. Franklin well in the election.



Chairman Cox also welcomed Mr. Bry Taylor as the new Alternate Planning and Zoning Commission Member.

There being no further business, on a motion by Commission Member Doak, seconded by Commission Member Kuykendall, the Commission unanimously voted to adjourn the meeting. Chairman Cox declared the meeting adjourned at 6:15 p.m.

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BILL COX  
Chairman



**Code Sections:**

**Title:** Conduct a Public Hearing to Consider/Discuss/Act on a Request to Rezone the Subject Property from “PD” - Planned Development District and “REC” - Regional Employment Center Overlay District to “C2” - Local Commercial District, Located on the Northeast Corner of Custer Road and Silverado Trail (REQUEST TO BE TABLED)

**Text of Legislative File 18-0122Z**

Conduct a Public Hearing to Consider/Discuss/Act on a Request to Rezone the Subject Property from “PD” - Planned Development District and “REC” - Regional Employment Center Overlay District to “C2” - Local Commercial District, Located on the Northeast Corner of Custer Road and Silverado Trail (REQUEST TO BE TABLED)

**COUNCIL GOAL:** Direction for Strategic and Economic Growth  
(1C: Provide a strong city economy by facilitating a balance between industrial, commercial, residential, and open space)

**MEETING DATE:** March 12, 2019

**DEPARTMENT:** Planning

**CONTACT:** David Soto, Planner I  
Samantha Pickett, AICP, Planning Manager  
Jennifer Arnold, AICP, Director of Planning

**APPLICATION SUBMITTAL DATE:** December 19, 2018 (Original Application)  
February 19, 2019 (Revised Submittal)

**STAFF RECOMMENDATION:** Staff recommends that the public hearing be continued and the item tabled to the March 26, 2019 Planning and Zoning Commission meeting due to notifications signs not being posted on the subject property on the timeframe required by the Zoning Ordinance.

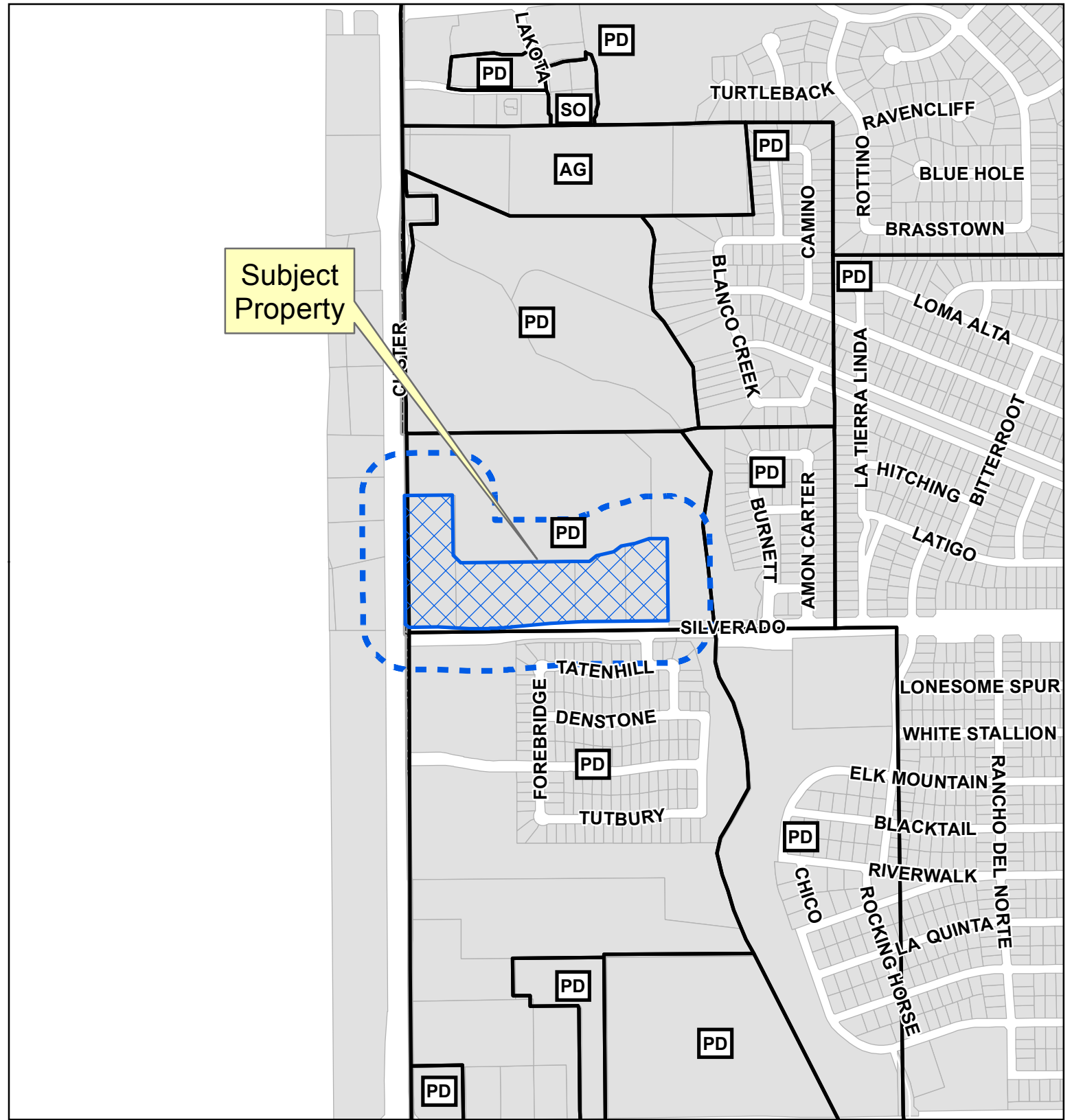
**ITEM SUMMARY:** The applicant is requesting to rezone approximately 13.60 acres of land from “PD” - Planned Development District and “REC” - Regional Employment Center Overlay District to “C2” - Local Commercial District, generally for commercial uses.

**SUPPORTING MATERIALS:**

Location Map and Aerial Exhibit



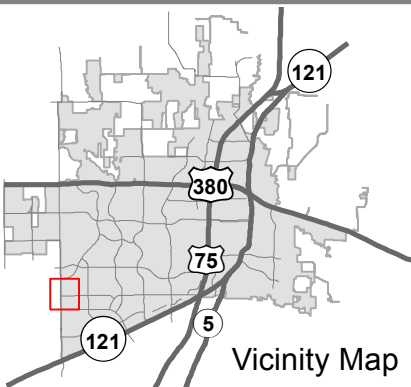
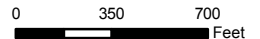
**18-0122Z**



Subject Property

# Property Owner Notification Map

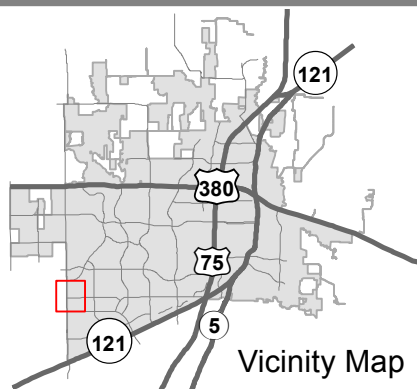
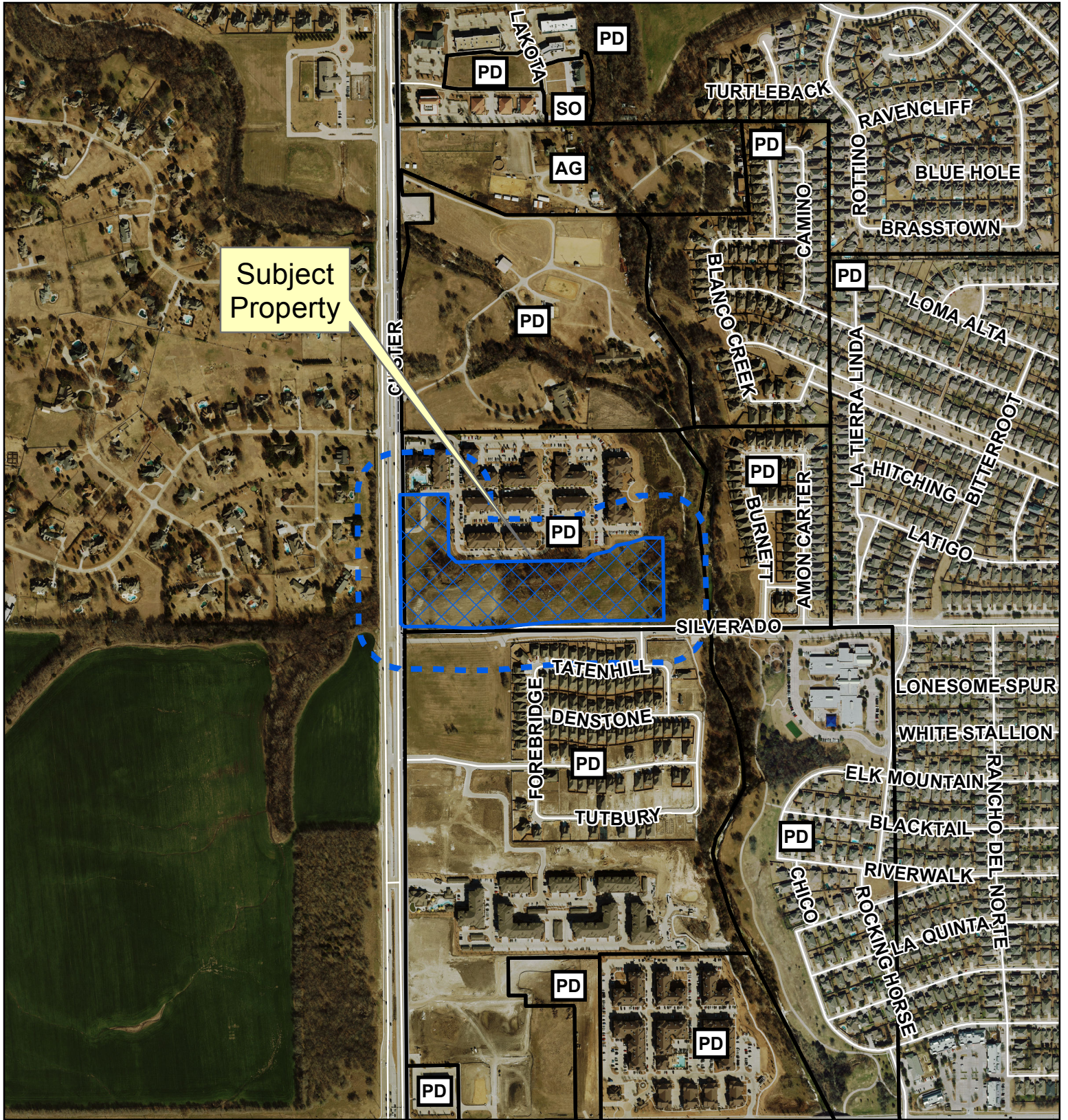
ZONE2018-0122



Vicinity Map

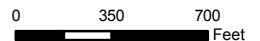
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# Property Owner Notification Map

ZONE2018-0122



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Code Sections:

**Title:** Conduct a Public Hearing to Consider/Discuss/Act on a Variance to a Site Plan for a Multi-Family Residential Development (Cliffs of McKinney), Located Approximately 255 Feet South of U.S. Highway 380 (University Drive) and on the East Side of Ridge Road

**Text of Legislative File 17-0271SP**

Conduct a Public Hearing to Consider/Discuss/Act on a Variance to a Site Plan for a Multi-Family Residential Development (Cliffs of McKinney), Located Approximately 255 Feet South of U.S. Highway 380 (University Drive) and on the East Side of Ridge Road

**COUNCIL GOAL:** Direction for Strategic and Economic Growth  
(1C: Provide a strong city economy by facilitating a balance between industrial, commercial, residential and open space)

**MEETING DATE:** March 12, 2019

**DEPARTMENT:** Planning

**CONTACT:** Derrick Rhys Wilson, Planner I  
Samantha Pickett, AICP, Planning Manager  
Jennifer Arnold, AICP, Director of Planning

**APPROVAL PROCESS:** The action of the Planning and Zoning Commission for the proposed site plan may be appealed to the City Council.

**STAFF RECOMMENDATION:** Staff recommends approval of the proposed site plan with the following conditions:

1. The applicant receive approval to utilize an alternate screening device along the eastern property line.

Prior to issuance of a building permit:

2. The applicant satisfy the conditions as shown on the Standard Conditions for Site Plan Approval Checklist, attached.

**APPLICATION SUBMITTAL DATE:** September 9, 2017 (Original Application)  
November 15, 2017 (Revised Submittal)  
February 28, 2018 (Revised Submittal)

April 6, 2018 (Revised Submittal)  
 May 10, 2018 (Revised Submittal)  
 May 24, 2018 (Revised Submittal)  
 June 5, 2018 (Approval)  
 December 10, 2018 (Post Submittal)  
 December 26, 2018 (Post Submittal)  
 January 10, 2019 (Post Submittal)  
 January 25, 2019 (Post Submittal)  
 February 25, 2019 (Post Submittal)

**ITEM SUMMARY:** The applicant is proposing to construct a multi-family residential development (Cliffs of McKinney) on the subject property. The site plan was originally approved on June 5, 2018; however, the applicant is now requesting approval of an alternate screening device. The variance request is detailed further below.

**PLATTING STATUS:** The subject property is currently platted as Lot 2R, Block A, of the CVS Ridge Addition.

**ZONING:**

Location	Zoning District (Permitted Land Uses)	Existing Land Use
Subject Property	“BG” - General Business District (Commercial Uses) and “CC” - Corridor Commercial Overlay District	Undeveloped Land
North	“BG” - General Business District (Commercial Uses), “PD” - Planned Development District Ordinance No. 2004-06-068 (Commercial Uses), and “CC” - Corridor Commercial Overlay District	CVS and Undeveloped Land
South	“AG” - Agricultural District (Agricultural Uses)	Undeveloped Land
East	“AG” - Agricultural District (Agricultural Uses) and “CC” - Corridor Commercial Overlay District	Future City Park
West	“C” - Planned Center District (Commercial Uses), “O” - Office District (Office Uses), and “CC” - Corridor Commercial Overlay District	McClure Elementary School and Undeveloped Land

**ACCESS/CIRCULATION:**

Adjacent Streets: U.S. Highway 380 (University Drive), Variable Width Right-of-Way, Major Regional Highway Ridge Road, 120’ Right-of-Way Width, Greenway Arterial

**PARKING:** The applicant has satisfied the minimum parking requirements as specified within Section 146-130 (Vehicle Parking) of the Zoning Ordinance.

**LOADING SPACES:** The applicant has satisfied the minimum loading space requirements as specified within Section 146-131 (Off-Street Loading) of the Zoning Ordinance.

**SOLID WASTE CONTAINERS:** The sanitation container screening walls will be brick, stone masonry or other architectural masonry finish, including a metal gate, primed and painted, and the sanitation container screening walls, gate, and pad site will be constructed in accordance with the City of McKinney Design Specifications. The applicant has provided the required notation on the proposed site plan.

**LANDSCAPING REQUIREMENTS:** The applicant has satisfied all landscaping requirements as specified in Section 146-135 (Landscape Requirements) of the Zoning Ordinance.

**SCREENING REQUIREMENTS:** Per the Zoning Ordinance, a variance to the requirements of certain sections can be granted during site plan approval if the Planning and Zoning Commission finds that:

- Unique circumstances exist on the property that make application of specific items in this section (Sec. 146-132) unduly burdensome on the applicant;
- The variance will have no adverse impact on current or future development;
- The variance is in keeping with the spirit of the zoning regulations, and will have a minimal impact, if any, on the surrounding land uses; and
- The variance will have no adverse impact on public health, safety, and general welfare.

Multi-family residential developments are required to provide and maintain a six-foot tall masonry screening wall along all side and rear property lines. The applicant is proposing a 6' tall wrought-iron fence with masonry columns spaced every 20' with screening shrubs (Dwarf Buford Holly), as well canopy trees (Live Oaks and Lacebark Elms spaced every 30') all along the eastern property line. The subject property is unique in that it features a high level of grade change across the site. Most notably, the site slopes down from Ridge Road on the western side to the future park on the eastern side where at this low point, the screening wall loses some of its intended effect as it is below the grade of the majority of the site. Additionally, as the site to the east is a future City park, the proposed alternate screening can provide a benefit to the residents beyond that of a solid wall by creating a view corridor into the park. It is Staff's professional opinion that the proposed wrought-iron fence with additional landscaping features will provide adequate screening while also softening the separation between the development and the adjacent park property. As such, Staff recommends approval of the proposed variance request.

**LIGHTING AND GLARE REGULATIONS:** The applicant will be responsible for complying with Chapter 58 (Lighting and Glare Regulations) of the City of McKinney Code of Ordinances. The applicant has provided the required notation stating that the lighting will be in conformance to the requirements of the City of McKinney Code of Ordinances on the site plan.

**ARCHITECTURAL STANDARDS:** The applicant will be responsible for meeting the requirements of Section 146-139 (Architectural and Site Standards) of the City of McKinney Zoning Ordinance. Architectural building elevations are subject to review and approval by the Chief Building Official, prior to issuance of a building permit.

**TREE PRESERVATION ORDINANCE:** The applicant will be responsible for complying with the Tree Preservation Ordinance. The applicant has stated on a signed affidavit that there are no protected trees on the subject property.



**PUBLIC IMPROVEMENTS:**

Sidewalks: Not Required  
Hike and Bike Trails: Required along Ridge Road  
Road Improvements: All road improvements necessary for this development, and as determined by the City Engineer  
Utilities: All utilities necessary for this development, and as determined by the City Engineer

Discussion: Under the requirements of the Subdivision Ordinance, the applicant will be required to construct all necessary public improvements prior to filing the accompanying plat, unless otherwise specified in an approved facilities agreement.

**DRAINAGE:** The applicant will be responsible for all drainage associated with the subject property, and for compliance with the Storm Water Ordinance, which may require on-site detention. Grading and drainage plans are subject to review and approval by the City Engineer, prior to issuance of a building permit.

**FEES:**

Roadway Impact Fees: Applicable (Ordinance No. 2013-11-108)  
Utility Impact Fees: Applicable (Ordinance No. 2017-02-021)  
Median Landscape Fees: Not Applicable  
Park Land Dedication Fees: Applicable  
Pro-Rata: As determined by the City Engineer

**OPPOSITION TO OR SUPPORT OF REQUEST:** Staff has received no comments in support of or in opposition to this request.

**SUPPORTING MATERIALS:**

- Standard Conditions Checklist
- Location Map and Aerial Exhibit
- Letter of Intent
- Proposed Site Plan
- Proposed Landscape Plan
- Grading Exhibit
- Presentation

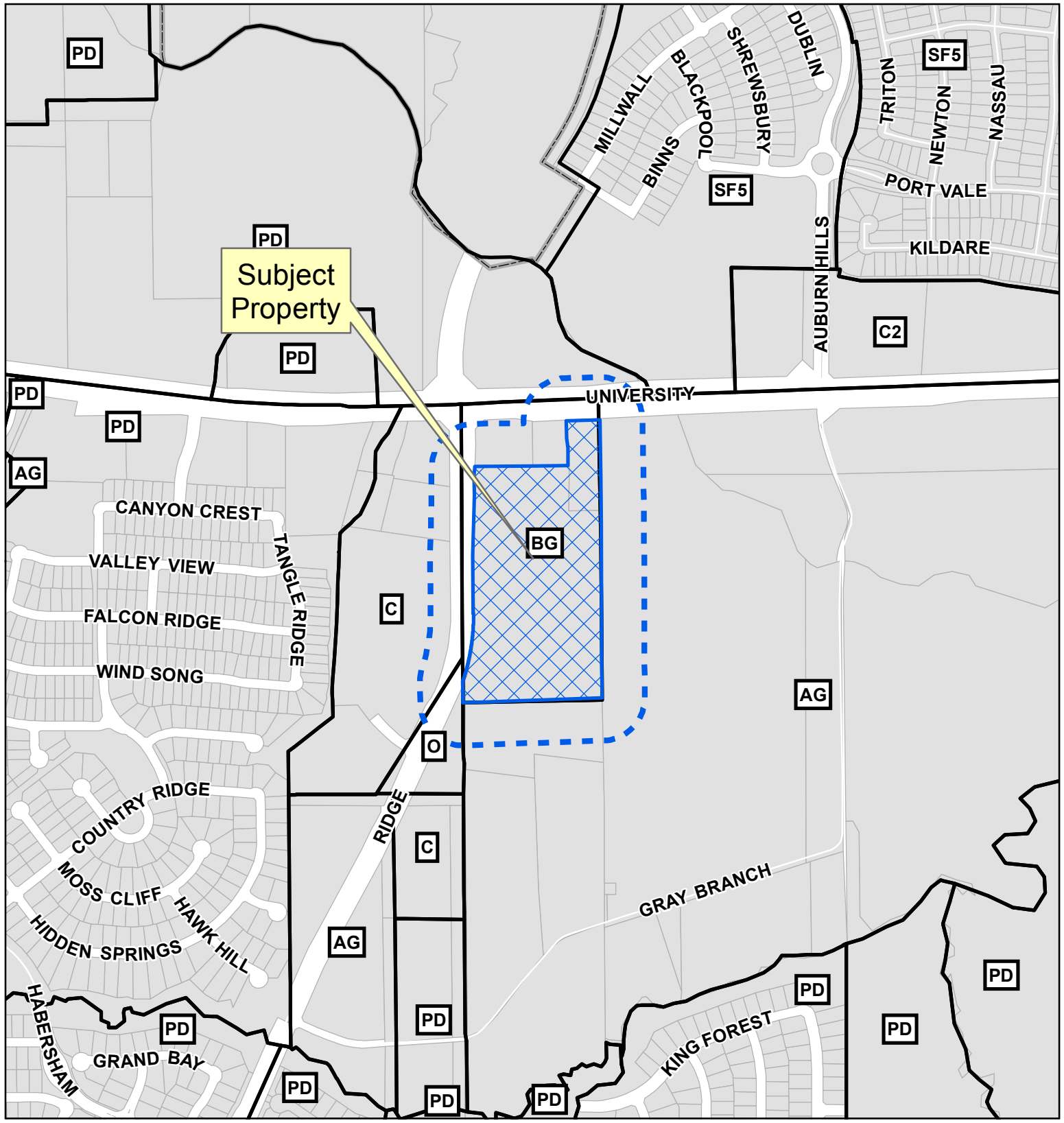
## Standard Conditions for Site Plan Approval Checklist

***The conditions listed below marked with a “☒” need to be satisfied by the applicant, prior to issuance of a building permit.***

- Approval of building permit plans by the Chief Building Official.
- Approval of architectural building elevations, in accordance with Section 146-139 of the Zoning Ordinance.
- Approval of grading and drainage plans by the City Engineer.
- Approval of public improvement construction plans by the City Engineer.
- Approval of utility construction plans by the City Engineer.
- Approval of an associated record plat or minor plat if the property is currently unplatted.
- Final location of fire hydrants be subject to review and approval by the Fire Marshal.
- The applicant comply with the requirements of the Tree Preservation Ordinance and obtain any necessary tree permits within the time frames specified within the Ordinance, subject to review and approval by the City Arborist.
- Payment of impact fees in accordance with Ordinances 2017-02-021 (utilities) and 2013-11-108 (roadway), or as specified within an approved facilities agreement or development agreement.
- The applicant satisfy park land dedication obligations, in accordance with Article VI of the Subdivision Ordinance, subject to review and approval by the Director of Parks and Recreation.
- All signage is to comply with the current Sign Ordinance of the City of McKinney, and as amended. Final location of all signage, as well as the dimension and construction specifications, be subject to review and approval by the Chief Building Official, under separate permit.

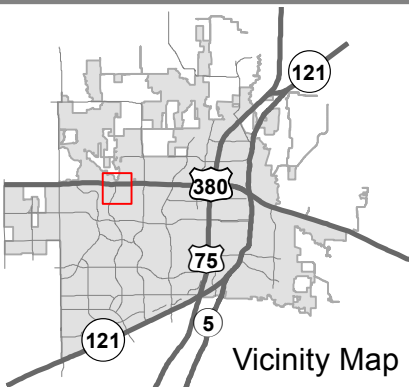
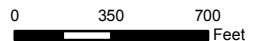
***Prior to the issuance of a Certificate of Occupancy (C.O.):***

- The applicant provide any additional easements as determined necessary by the City Engineer.
- The associated plat for the subject property be filed for record with the County Clerk.



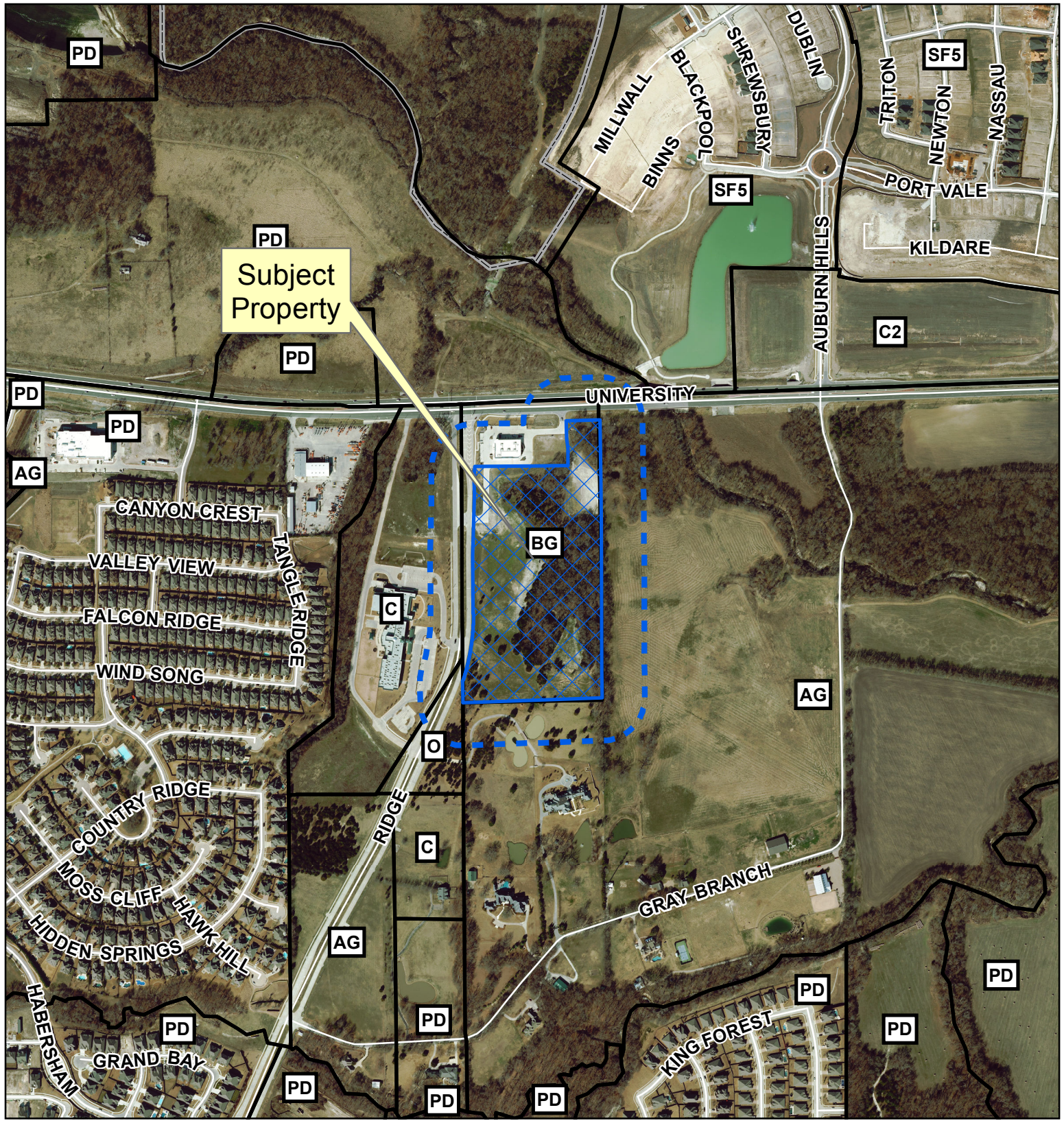
# Property Owner Notification Map

17-271SP



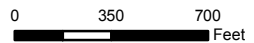
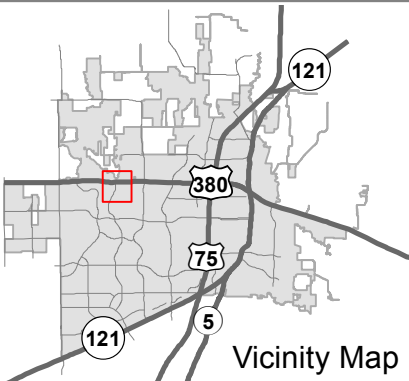
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# Property Owner Notification Map

17-271SP



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**Letter of Intent - Fence Variance**

**February 18, 2019**

**The Cliffs**

1760 N. Ridge Road  
Mckinney, Tx 75071  
LOT 2R1 - BLOCK A

To whom it may concern,

We would like to request a variance for the fence located on the East side of the property of The Cliffs multifamily development LOT 2R1 - BLOCK A.

**Per Ordinance...Sec. 146-132. (3.) (b.)- Fences, walls, and screening requirements**

*"Multiple family residential developments outside of the MTC McKinney town center zoning district shall provide and maintain a six-foot tall masonry screening wall along all side and rear property lines. Multiple family residential developments that are subject to the requirements of the REC regional employment center overlay district, shall be exempt from this requirement."*

In an effort to gain city staff support, we propose a wrought Iron Fence and would like to compromise with a total of 47 Masonry Columns spaced 20'-0" apart and additional landscaping. As opposed to the, city required, 6'-0" Masonry Wall.

Due to the significant slope of the site from west to east, the fence does very little in providing any type of visual screen from the opposing site. The top of the 6'-0" fence is nearly 18' below the finished floor of the closest building.

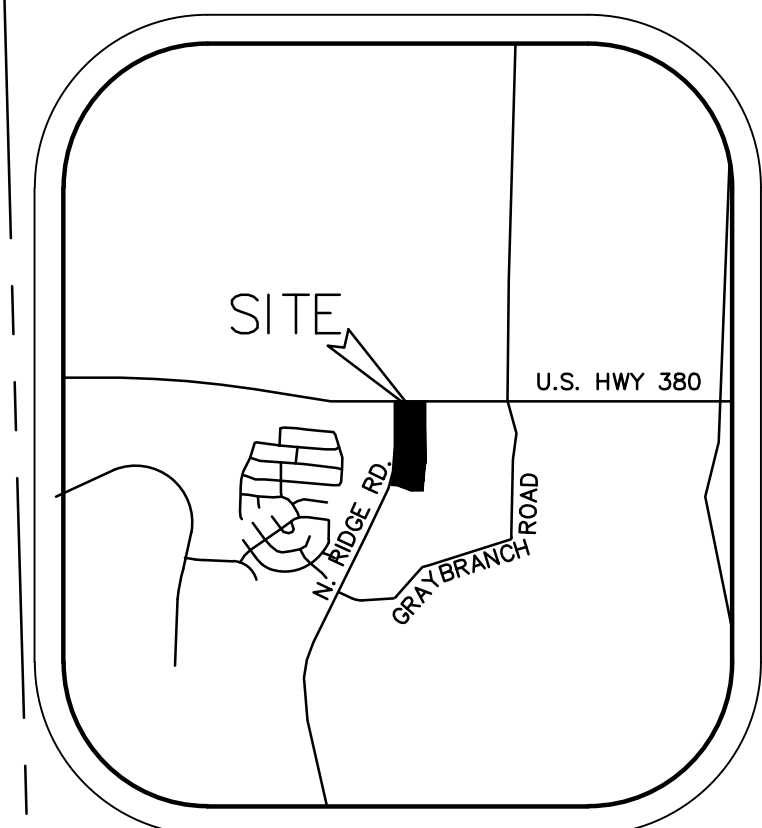
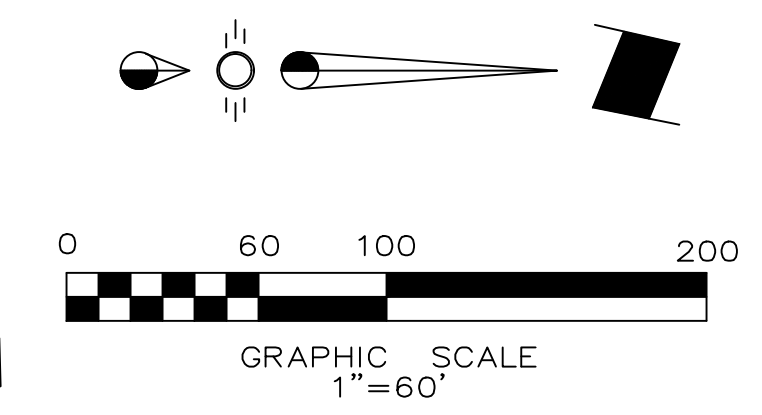
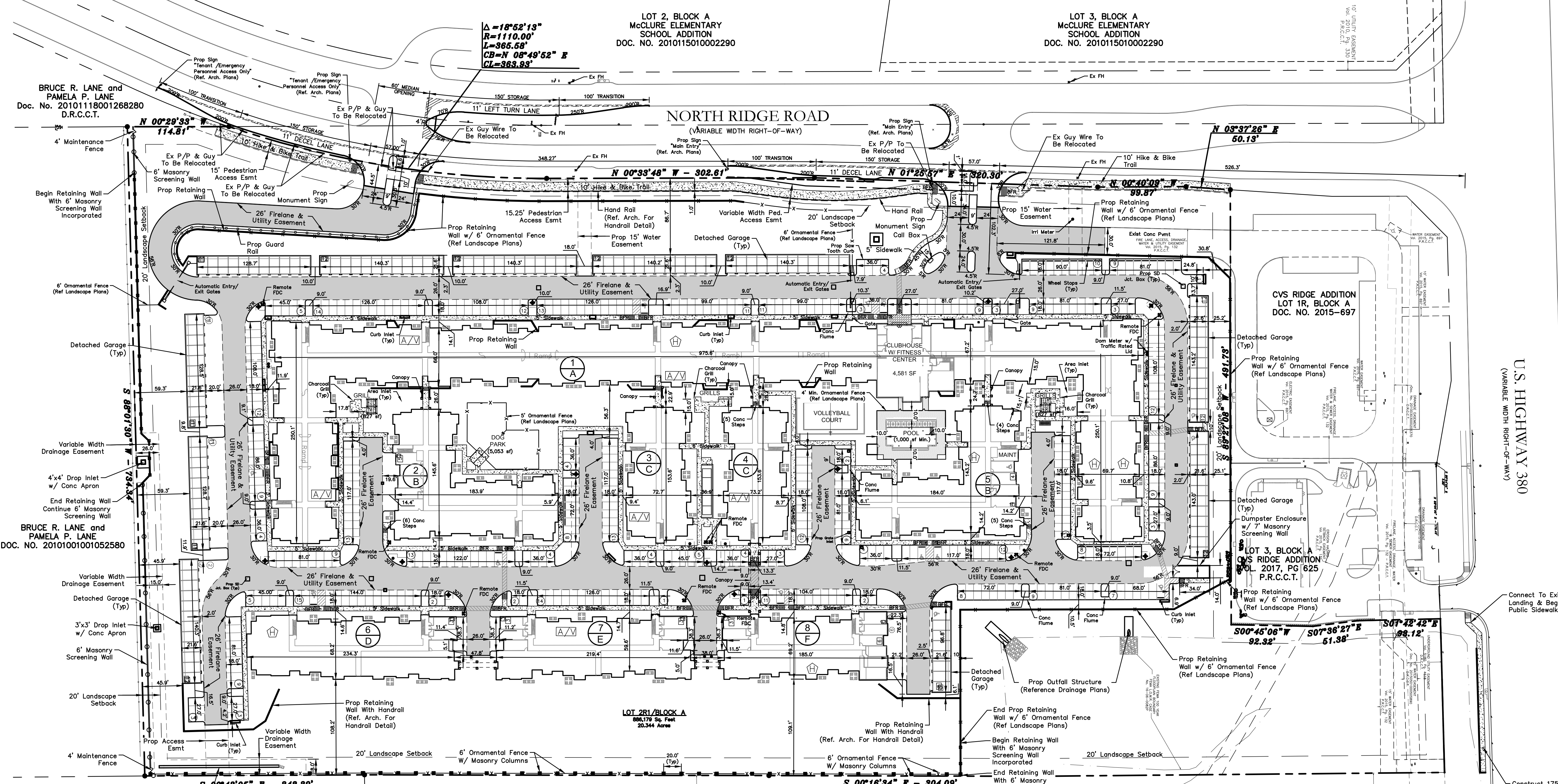
Our solution would provide aesthetic benefits. It would open up views and allow breathability to the future park area which is to be built adjacent to the property. It will also be a much less distracting structure that will blend nicely with the environment.

If you have any questions please feel free to call me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Adam Everett", with a long horizontal flourish extending to the right.

Adam Everett,  
Cross Architects, PLLC



VICINITY MAP  
NTS

- NOTE:**
- All Retaining Walls Shall Be Design-Build By the Contractor.
  - Contractor Shall Provide All Details and Specifications as Required by The City of McKinney
  - All Portions of Proposed Retaining Walls including Foundations, Footings, etc., Shall Not Extend Into the Right-of-Way. Refer to TxDOT Details For Retaining Wall Details and Specifications.
  - The Maintenance of Retaining Walls Shall Be the Responsibility of the Property Owner on Which the Retaining Wall is Located.
  - Retaining Walls Greater Than 15" in Height Require a Separate Building Permit. Retaining Walls Greater Than 24" in Height Require Plans Signed and Sealed by Licensed State of Texas Structural or Geotechnical Engineer.
  - All Retaining Walls Shall Be Design-Build By the Contractor. Contractor Shall Provide All Details and Specifications as Required by The City of McKinney
  - Contractor Shall Provide Engineered Shop Drawings Signed and Sealed by a Structural Engineer.
  - Contractor Retaining Wall Design and Locations Must be Approved in Writing by the Civil Engineer and Architect Prior to Construction.
  - Retaining Wall Design and Construction Must be Approved by The City of McKinney.

BRUCE R. LANE and PAMELA P. LANE  
Doc. No. 20101118001268280  
D.R.C.C.T.

BRUCE R. LANE and PAMELA P. LANE  
Doc. No. 20101001001052580

LOT 2, BLOCK A  
McCLURE ELEMENTARY SCHOOL ADDITION  
DOC. NO. 2010115010002290

LOT 3, BLOCK A  
McCLURE ELEMENTARY SCHOOL ADDITION  
DOC. NO. 2010115010002290

CVS RIDGE ADDITION  
LOT 1R, BLOCK A  
DOC. NO. 2015-697

LOT 3, BLOCK A  
CVS RIDGE ADDITION  
VOL. 2017, PG 625  
P.R.C.C.T.

LOT 2R1/BLOCK A  
584,179 Sq. Feet  
20,344 Acres

ROGER PELTON  
DOC. NO. 1995121800943920

**SITE DATA TABLE**

Zoning: 790 General Business and "CC" - Corridor  
Commercial Overlay District

Proposed Use: Multi-Family Apartments

Gross Lot Area: 20,344 Acres

Total Units: 300

Density: 14.75 Units/Acre

**Building Information:**

Type	Building #	Count	Gross Area (SF) per Building	Total Gross Area (SF) per Type	Units per Building	Total Units per Bldg Type	Height (ft)	Stories
Type A	1	1	84,338	84,338	148	148	34'-0"	7
Type B	2, 5	2	16,398	32,796	26	52	34'-0"	7
Type C	3, 4	2	9,969	19,938	16	32	34'-0"	7
Type D	6	1	14,962	14,962	25	25	34'-0"	7
Type E	7	1	13,719	13,719	24	24	34'-0"	7
Type F	8	1	12,138	12,138	19	19	34'-0"	7
Clubhouse		1	4,750	4,750				
<b>Total:</b>		<b>9</b>		<b>181,441</b>		<b>300</b>		

Lot Coverage: 20.47% (Total Building Footprint 181,441 SF)

Floor to Area Ratio (FAR): 0.20 : 1

Landscape Area Required: 88,618 S.F. (10% of Total Site Area)

Landscape Area Provided: 177,500 S.F.

Total Impervious Area: 322,421 S.F. (36% of Total Site Area)

**Parking Requirement:**

1 Space per Unit plus 0.5 Space per bedroom:

1 Bedroom (11.5"198) = 297

2 Bedroom (2794) = 188

3 Bedroom (2.5"18) = 20

Garages Required: (300/2) = 150

Garages w/Out Driveway = 120 (0.5"120 = 60 Additional Spaces Required)

Total Parking Required: (297+188+20+60) = 565

**Parking Provided:**

Uncovered Surface: 398 Spaces

Tandem: 30 Spaces

Attached Garage: 27 Spaces

Detached Garage: 125 Spaces

Total Parking: 580 Spaces (including 11 ADA Spaces) (4 ADA Garages)

- AMENITIES:**
- Centralized Swimming Pool (Min. 1,000 sf surface area) w/ Cooling Deck (Min. 10 ft wide in all areas)
  - Fitness Center and/ or Weight Room (Min. 500 sf)
  - Dog Park of Min. 5,000 sf.
  - At least 4 Barbeque grills w/ shaded seating areas for at least 16 people.
  - One regulation size volleyball court.

- MAJOR ENHANCEMENTS:**
- Each unit provided w/ min 50 sf Balcony
  - All entrances to development features Landscaped Medians of Min. 8 ft wide and 50 ft long.

- MINOR ENHANCEMENTS:**
- All windows are emphasized through the use of headers and sills.
  - At least one dormer is provided for each roof plane over 1,000 sf that faces public street.
  - All chimneys are finished on all sides w/ 100% masonry finishing materials.
  - A Min. of 15% of each elevation which is visible from the R.O.W. or Residential property features patterned brick work (Not including running bond or stacked pattern).

PELTON FAMILY LIMITED PARTNERSHIP, L.P.  
DOC. NO. 20080430000521400

- LEGEND**
- Firelane
  - Proposed Sidewalk
  - Ex. Concrete
  - Proposed Retaining Wall
  - Proposed Screening Wall
  - Proposed 6' Ornamental Fence W/ Masonry Columns
  - Proposed Retaining Wall & Screening Wall
  - Proposed Wheel Stop Typical
  - Existing Fire Hydrant
  - Proposed Fire Hydrant
  - BFR Barrier Free Ramp
  - Proposed Tandem Parking Count
  - Proposed Garage Parking Count

**CITY OF MCKINNEY STANDARD NOTES:**

Mechanical and Heating and air conditioning equipment in non-residential uses shall be screened from view from the public right-of-way and from adjacent residential properties.

The Lighting for the subject property will be constructed and operated in conformance with Chapter 58 of the City of McKinney Code of Ordinances.

The Sanitation Container Screening Walls Will Be Brick Masonry, Stone Masonry, Or Other Architectural Masonry Finish, Including A Metal Gate, Primed And Painted, And The Sanitation Container Screening Walls, Gate, And Pad Site Will Be Constructed In Accordance With The City Of McKinney Design Specifications.

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.  
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates:	Revisions:	Date:
1 11/14/2017	1	
2 02/27/2018	7	12/26/2018
3 04/05/2018		
4 05/10/2018		
5 05/22/2018		
6 09/28/2018		

**CROSS ENGINEERING CONSULTANTS**  
131 S. Tennessee St. McKinney, Texas 75069  
972.562.4409 Texas P.E. Firm No. F-9395

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=60'

**SITE PLAN**

CLIFFS OF MCKINNEY

CROSS ARCHITECTS, PLLC  
McKINNEY, TEXAS

Sheet No. **SP**

Project No. 16134

SHEET PLAN  
CLIFFS OF MCKINNEY

**SITE IRRIGATION**

ALL REQUIRED LANDSCAPING SHALL BE IRRIGATED BY ONE OF THE FOLLOWING METHODS AND MUST MEET ALL CITY PLUMBING REQUIREMENTS

- 1.) AN UNDERGROUND SPRINKLER AND/OR DRIP SYSTEM
- 2.) A HOSE ATTACHMENT WITHIN 100 FEET OF ALL REQUIRED LANDSCAPING

IRRIGATION NOTE:  
ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER BASED CONTROLLERS AN DSAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR

**GENERAL MAINTENANCE**

ALL REQUIRED LANDSCAPED AREAS SHALL BE MAINTAINED SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AND TO CONFORM WITH SECTION 49-81 OF THE CITY CODE AT ALL TIMES AND BE KEPT FREE FROM REFUSE AND DEBRIS. ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY AND WATERED REGULARLY TO ENSURE CONTINUOUS HEALTHY GROWTH. DISEASED, DEAD OR MISSING REQUIRED PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS OR LESS AS SPECIFIED BY THE CITY LANDSCAPE INSPECTOR WITH MATERIAL OF AN EQUIVALENT OR GREATER POINT VALUE.

ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER OR HIS AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN A UTILITY EASEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS PLANTS WITHIN AN EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE PLANTS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS, SOME PLANTS DIE, IT IS THE OBLIGATION OF THE PROPERTY

**LANDSCAPE REQUIREMENTS**

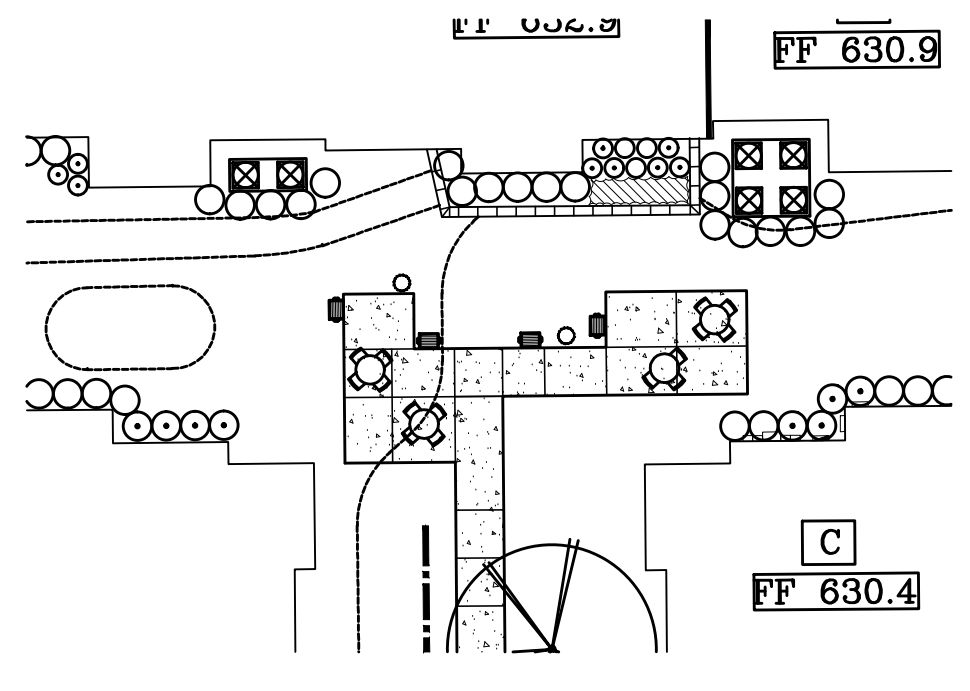
**SITE LANDSCAPING**  
REQUIRED: EACH LOT SHALL MAINTAIN A MINIMUM OF 10% OF SITE LANDSCAPING; LOT = 886,184.64 SF X .20 = 88,618.46 SF REQUIRED LANDSCAPING  
PROVIDED: 177,500 SF LANDSCAPING (20%) OF LOT DESIGNATED TO LANDSCAPING

**STREET YARD REQUIREMENTS**  
REQUIRED: 15% OF STREET YARD SHALL BE PERMANENTLY LANDSCAPED AREA; STREET YARD = 162276.81 SF; X.15 = 24341.52 SF  
PROVIDED: 79294 SF (48.8%) OF STREET YARD TO BE PERMANENT LANDSCAPING

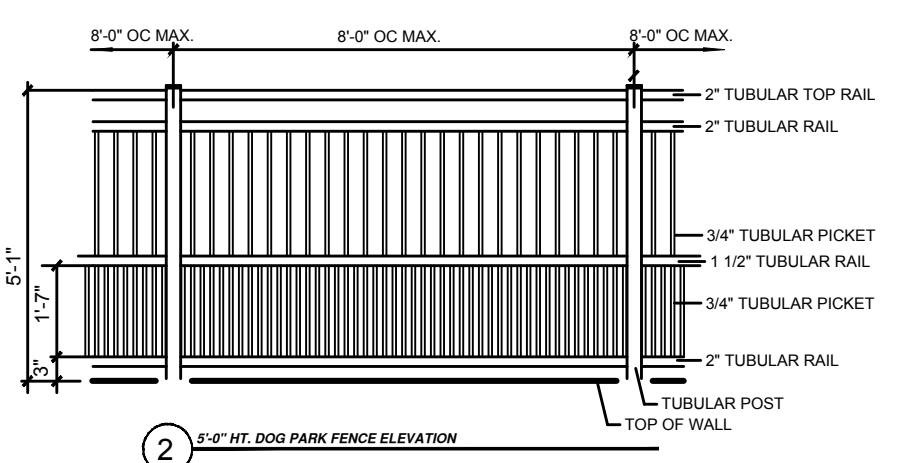
**LANDSCAPE BUFFER (20' DEPTH ALONG ALL PROPERTY LINES)**  
REQUIRED: ONE CANOPY TREE PER THIRTY (30) LINEAR FEET OR PORTION THEREOF. JUNCTION CROSSING = 1,093'; 1093' / 30 = 36.4 TREES REQUIRED  
PROVIDED: 1071 LARGE SHADE TREES

**LARGE TREES**  
AT LEAST 50% OF THE TOTAL TREES SHALL BE LARGE TREES AS SPECIFIED ON THE APPROVED PLANT LIST

**PARKING LOT STANDARDS**  
LANDSCAPED ISLANDS SHALL BE NO SMALLER THAN 162 SQUARE FEET  
ALL PARKING STALLS LOCATED WITHIN 65' OF A TREE



4 GRILLING AREA CLOSE-UP  
SCALE: 1" = 20'-0"

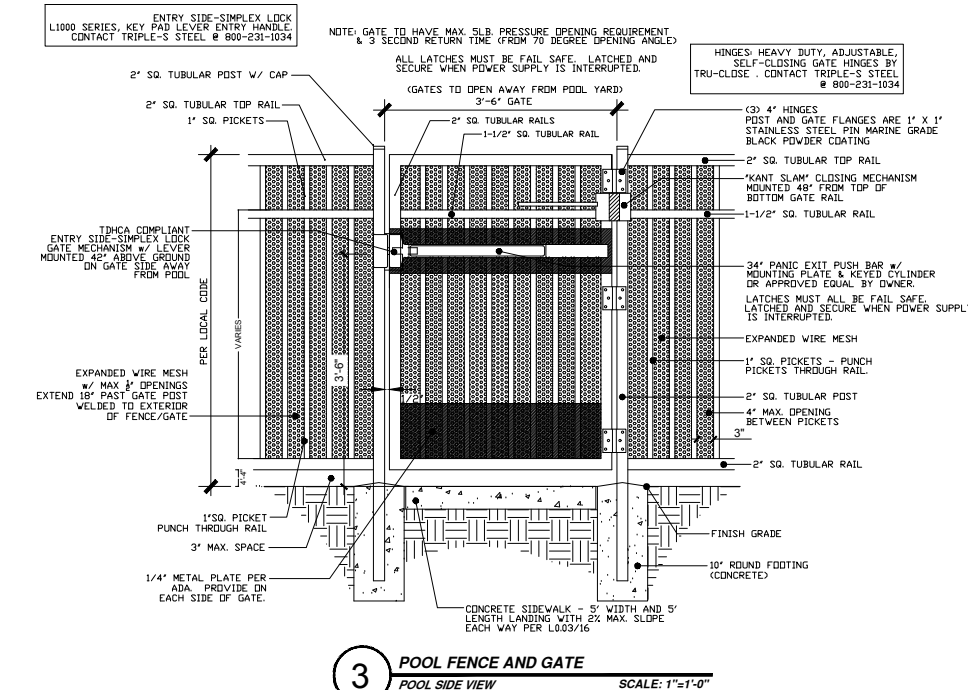


NOTE: THE CONTRACTOR SHALL VERIFY WATER RESTRICTIONS WITHIN THE CITY OF MCKINNEY AT TIME OF PLANTING. SHOULD WATER RESTRICTIONS NOT ALLOW HYDRO-MULCH, HYDRO-SEEDING, OR SPRIGGING (STAGE 3 AND STAGE 4 WATER RESTRICTIONS), AN APPROVED ALTERNATIVE FOR GRASSING SHALL BE INSTALLED.

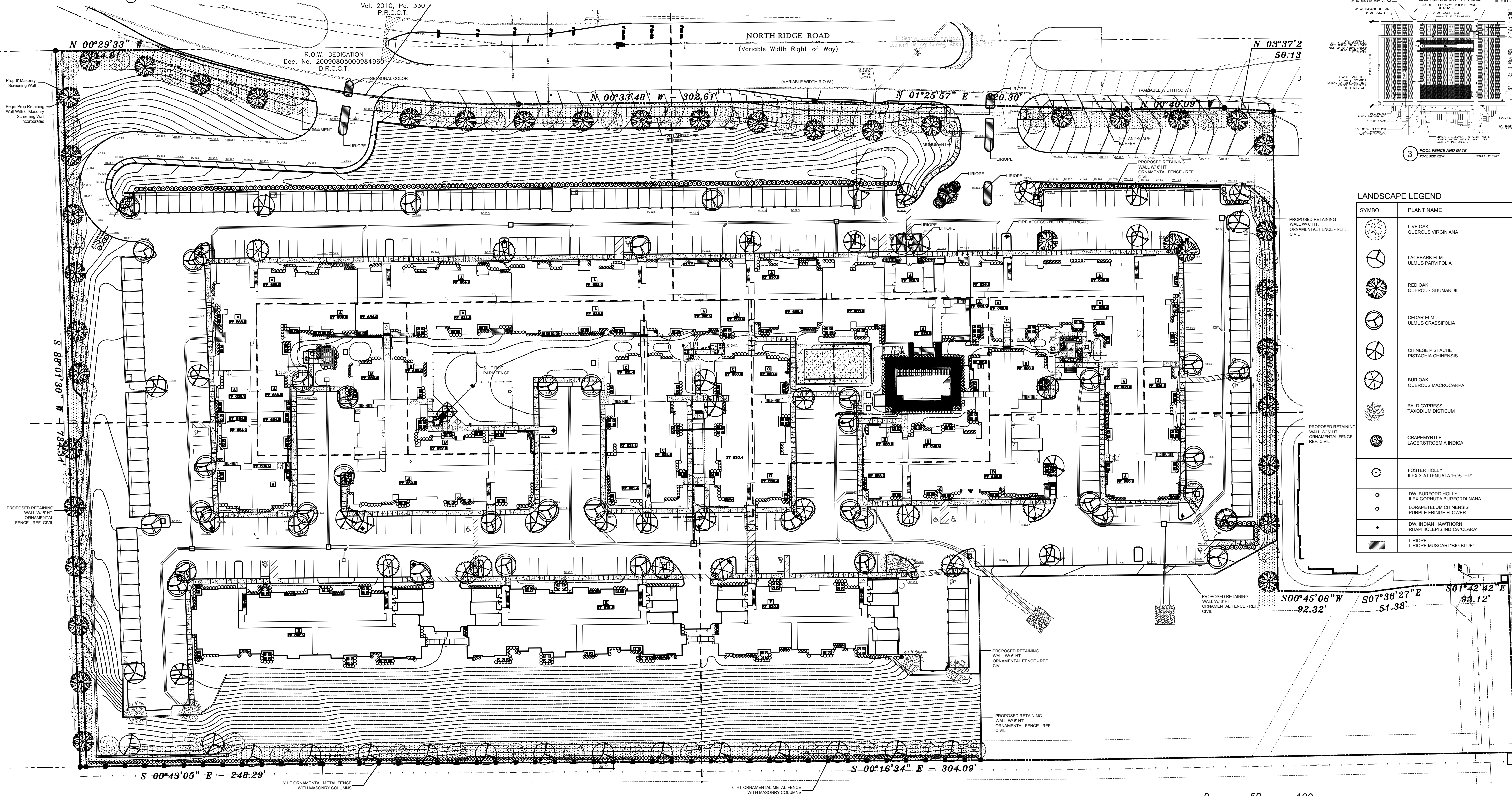
NOTE: NO TREE SHALL BE PLACED CLOSER THAN 8 FT. FROM A CITY OF MCKINNEY PUBLIC UTILITY OR STORM LINE.

NOTE: CALIPER INCH MEASURED 6" ABOVE THE GROUND LEVEL AT TIME OF PLANTING.

BUILDINGS TO HAVE MINIMUM 50% PLANTING COVERAGE FOR ALL FOUNDATIONS  
SITE HAS 100,693.31 SQ. FT. OPEN SPACE (46%)  
SITE HAS 1,715 SQ FT OF POOL SPACE AND 2,412 SQ FT OF POOL DECK SPACE  
FENCE SURROUNDING SWIMMING POOL SHALL BE A METAL FENCE, 6' IN HEIGHT, WITH 2" MAXIMUM OPENINGS  
MEETS LANDSCAPE REQUIREMENTS 37.6 OF THE 1999 ZONING ORDINANCE



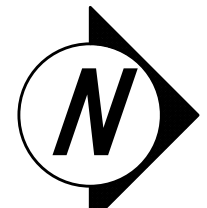
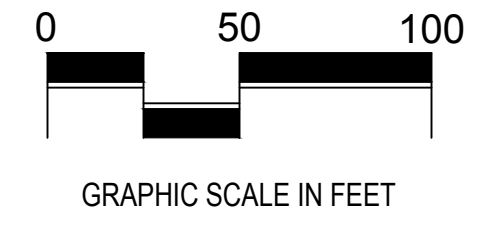
3 POOL FENCE AND GATE  
SCALE: 1" = 1'-0"



**LANDSCAPE LEGEND**

SYMBOL	PLANT NAME	SIZE/QTY
(Symbol)	LIVE OAK QUERCUS VIRGINIANA	4" CAL. / 53 12' HT.
(Symbol)	LACESHARK ELM ULMUS PARVIFOLIA	4" CAL. / 15 12' HT.
(Symbol)	RED OAK QUERCUS SHUMARDII	4" CAL. / 39 12' HT.
(Symbol)	CEDAR ELM ULMUS CRASSIFOLIA	4" CAL. / 40 12' HT.
(Symbol)	CHINESE PISTACHE PISTACHIA CHINENSIS	4" CAL. / 26 12' HT.
(Symbol)	BUR OAK QUERCUS MACROCARPA	4" CAL. / 14 12' HT.
(Symbol)	BAUD CYPRESS TAXODIUM DISTICUM	4" CAL. / 6 12' HT.
(Symbol)	GRAPEMYRTLE LAGERSTROEMIA INDICA	2" CAL. / 21 8' HT.
(Symbol)	FOSTER HOLLY ILEX XANTHOPHYLLA 'FOSTER'	7 GAL. / 248 MIN. 8' HT. 4.5" O.C.
(Symbol)	DW. BURFORD HOLLY ILEX CORNUTA BURFORDI NANA LORAPETELUM CHINENSIS PURPLE FRANGE FLOWER	5 GAL. / 320 MIN. 3' HT. 3" O.C.
(Symbol)	DW. INDIAN HAWTHORN RHAPHIOLEPIS INDICA 'CLARA'	1 GAL. / 17 MIN. 3' HT. 2" O.C.
(Symbol)	LIRIOPE LIRIOPE MUSCARI 'BIG BLUE'	4" POT. MIN 8' HT. 12" O.C.

1 LANDSCAPE PLAN  
SCALE: 1" = 50'-0"



**ISSUES:**

09-15-17	ISSUE FOR PERMIT

**REVISIONS:**

11-14-17	PER COMMENTS
11-27-17	PER COMMENTS
10-09-18	RFI 3

**CLIENT:**

**THE CLIFFS APARTMENTS**  
MCKINNEY, TEXAS

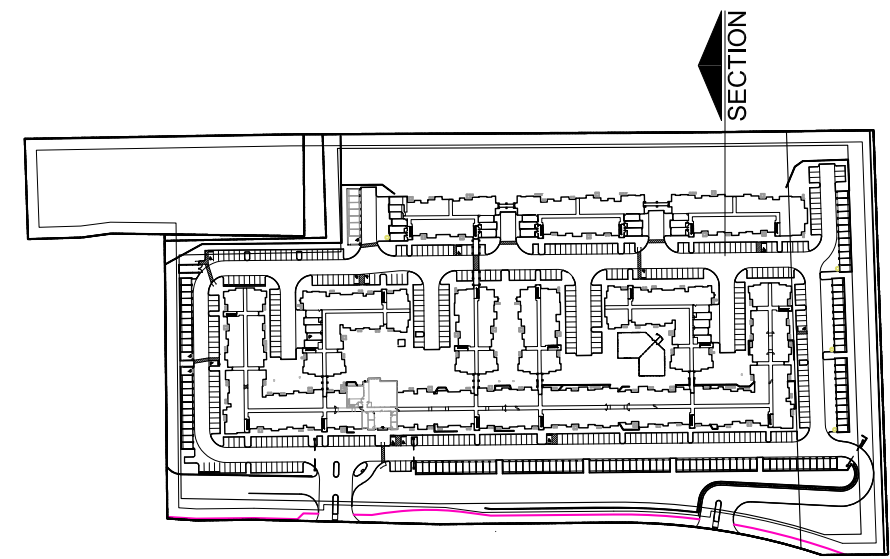
**mg&**  
landscape architects  
Meeks Design Group  
1755 n. collins blvd., #300  
richardson, tx 75080  
p. (972) 690-7474  
f. (972) 690-7878



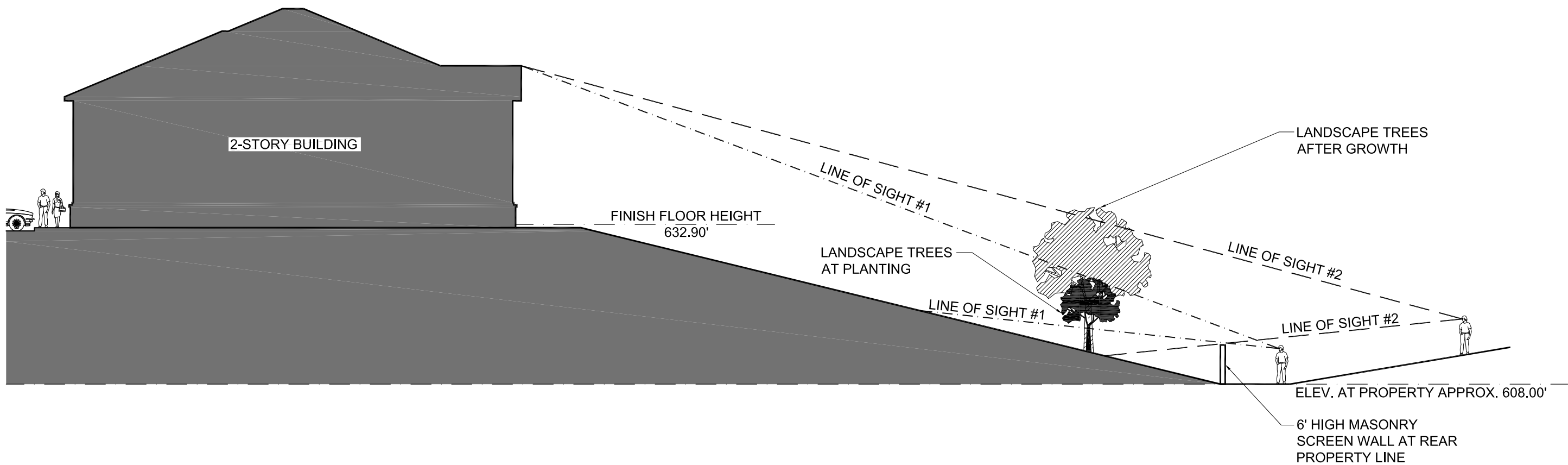
**ISSUE FOR PERMIT**

THE CLIFFS APARTMENTS  
MCKINNEY, TEXAS  
JOB NUMBER: CRO-1705

LANDSCAPE PLAN  
LP0.01



02 SITE PLAN DIAGRAM  
NOT TO SCALE



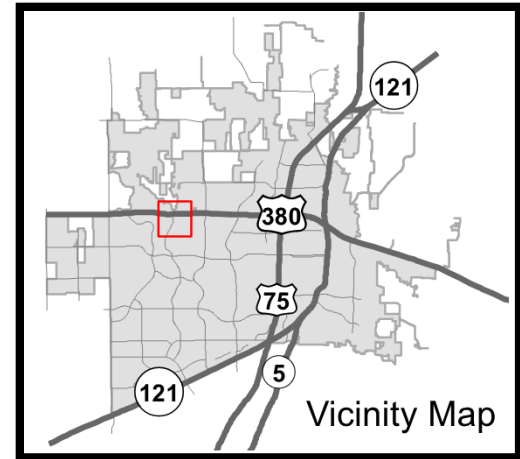
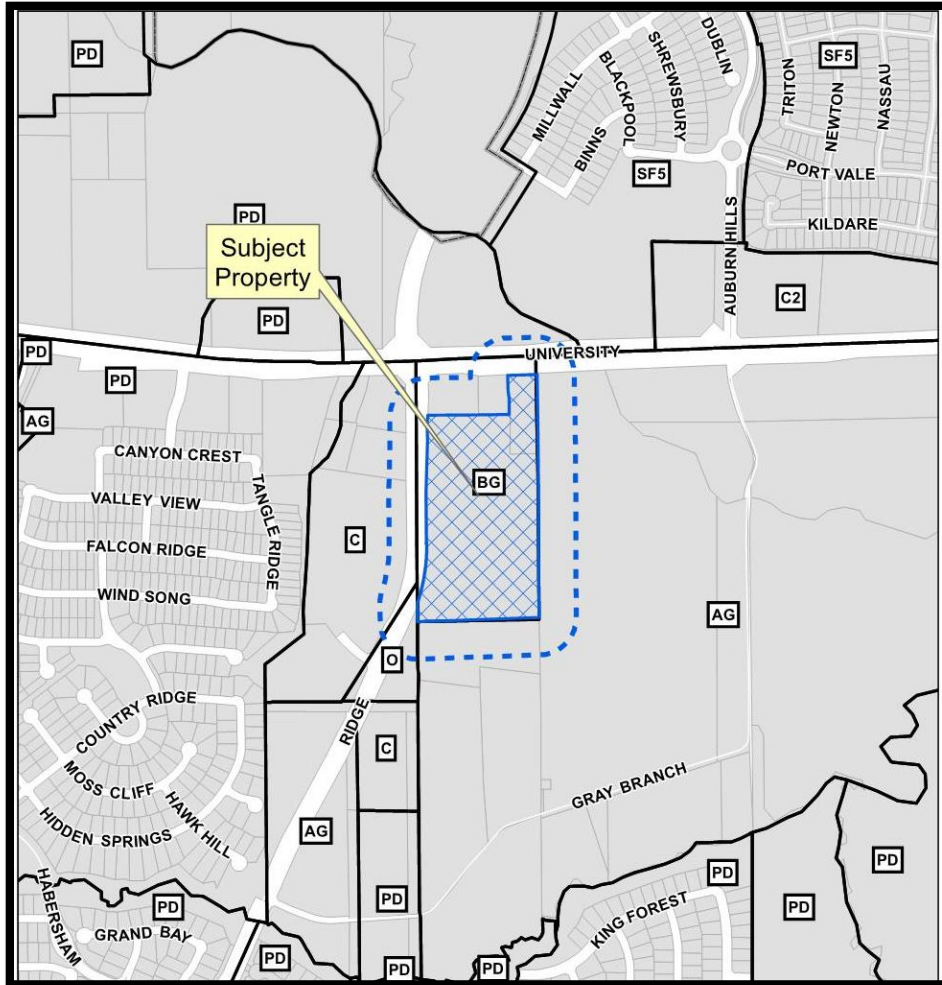
01 SITE SECTION DIAGRAM  
SCALE: 1/16"=1'-0"



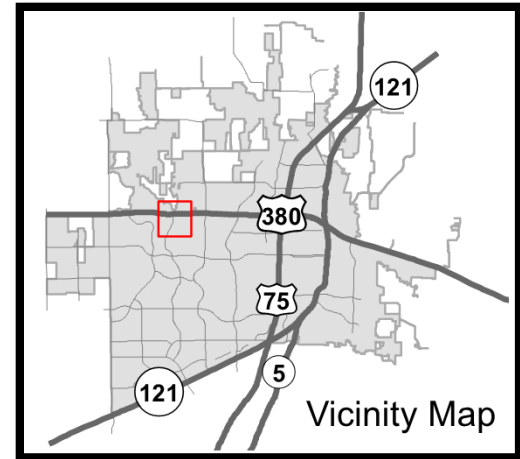
# Cliffs of McKinney Site Plan Variance

17-0271SP

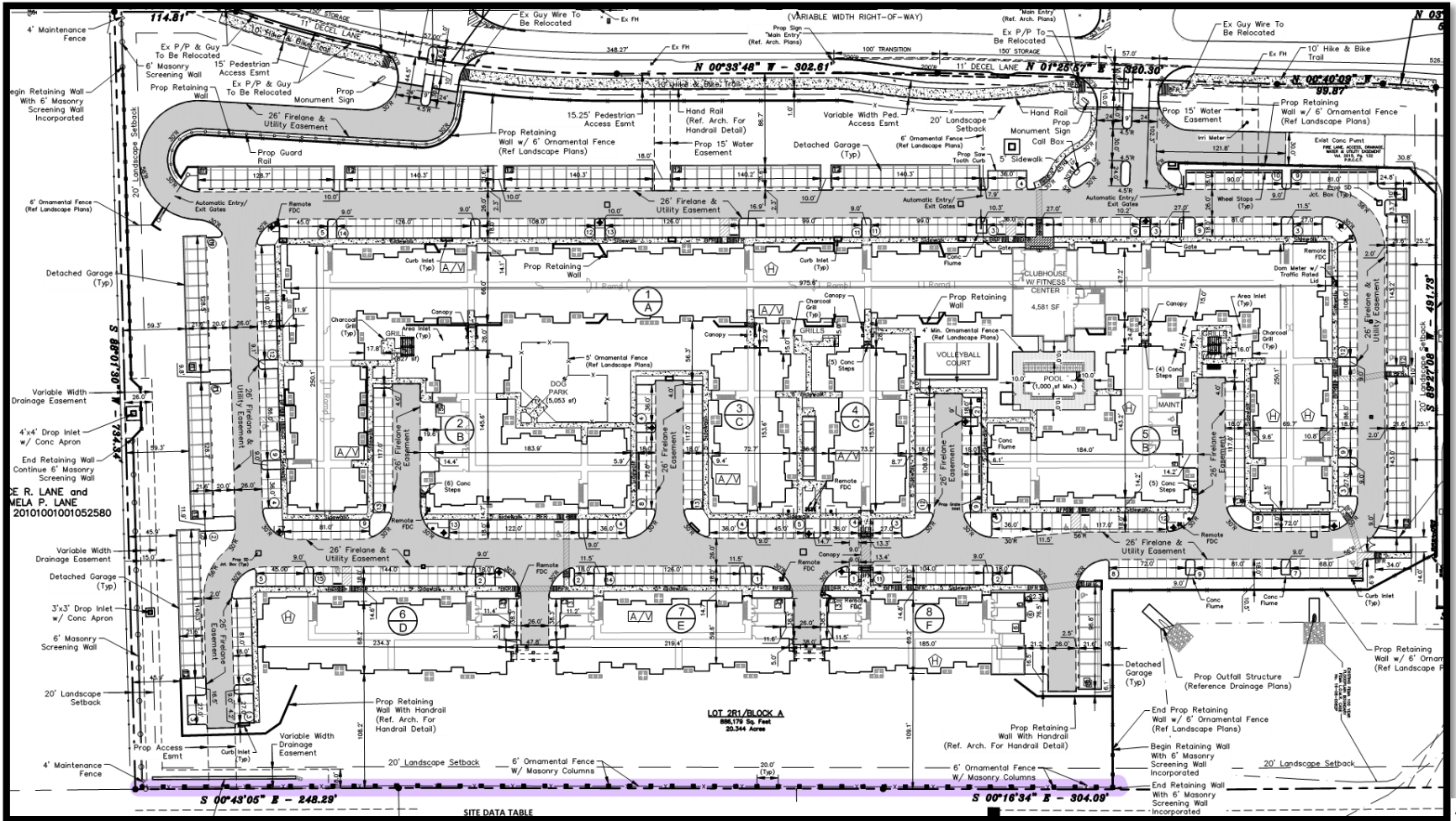
# Location Map



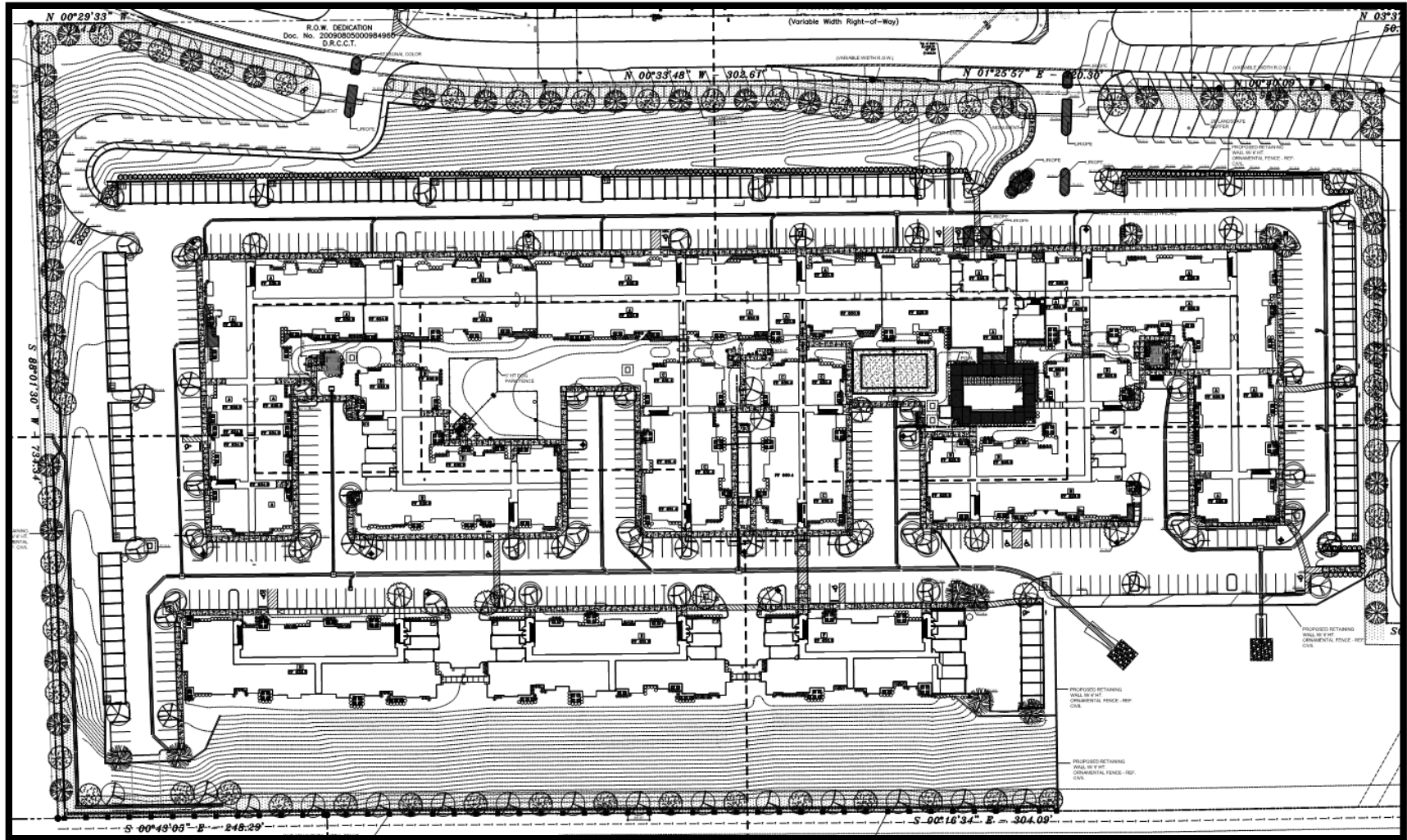
# Aerial Exhibit



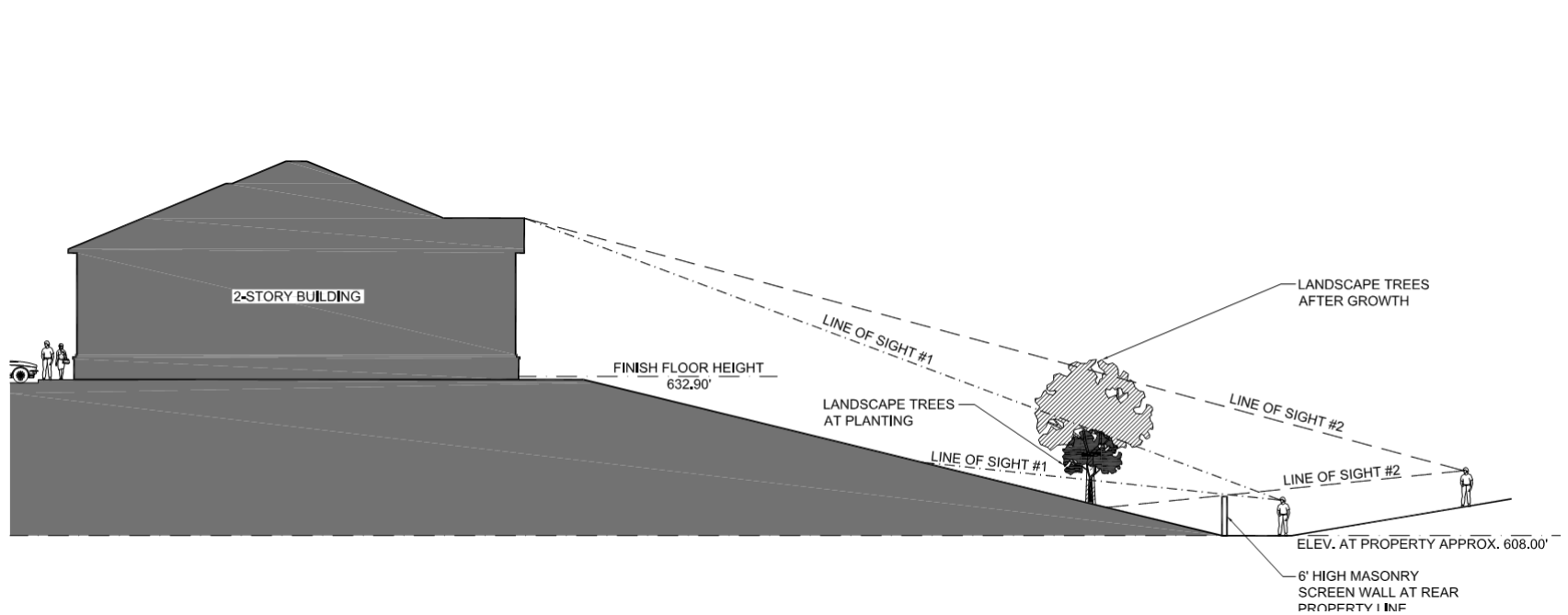
# Proposed Site Plan



# Proposed Landscape Plan



# Grading Exhibit







Code Sections:

**Title:** Conduct a Public Hearing to Consider/Discuss/Act on a Façade Plan for Springstone McKinney Hospital, Located Approximately 1,000 Feet East of Lake Forest Drive and Approximately 300 Feet North of U.S. Highway 380 (University Drive)

**Text of Legislative File 18-0158FR2**

Conduct a Public Hearing to Consider/Discuss/Act on a Façade Plan for Springstone McKinney Hospital, Located Approximately 1,000 Feet East of Lake Forest Drive and Approximately 300 Feet North of U.S. Highway 380 (University Drive)

**COUNCIL GOAL:** Direction for Strategic and Economic Growth  
(1C: Provide a strong city economy by facilitating a balance between industrial, commercial, residential, and open space)

**MEETING DATE:** March 12, 2019

**DEPARTMENT:** Planning

**CONTACT:** Derrick Rhys Wilson, Planner I  
Samantha Pickett, AICP, Planning Manager  
Jennifer Arnold, AICP, Director of Planning

**APPROVAL PROCESS:** The action of the Planning and Zoning Commission for the proposed façade plan may be appealed to the City Council.

**STAFF RECOMMENDATION:** Staff recommends approval of the proposed façade plan appeal with the following conditions:

- 1. The applicant receive approval of a variance to waive the 50% masonry requirement on the southern elevation.

**APPLICATION SUBMITTAL DATE:** January 29, 2019 (Original Application)  
February 11, 2019 (Revised Submittal)  
February 18, 2019 (Revised Submittal)

**ITEM SUMMARY:** The applicant is requesting a façade plan appeal for a 70,710 square foot hospital (Springstone McKinney Hospital), located approximately 1,000 feet east of Lake Forest Drive and approximately 300 feet north of U.S. Highway 380 (University



Drive), due to the proposed elevations not conforming to the requirements of the City's Architectural Standards for non-residential uses in non-industrial districts.

Typically façade plans can be approved by Staff; however, the applicant is requesting approval of a façade plan appeal, which must be considered by the Planning and Zoning Commission. The façade plan appeal is detailed further below.

On February 26, 2019, the Planning and Zoning Commission voted 6-0-0 to continue the public hearing and table the item to the March 12, 2019 Planning and Zoning Commission Meeting.

**COMPLIANCE WITH ARCHITECTURAL STANDARDS:** The purpose of the architectural standards is to set minimum standards for the appearance of non-residential and multi-family buildings and corresponding site elements, which are recognized as enhancing property values and are in the interest of the general welfare of the City of McKinney. The standards are intended to serve as a baseline for the minimum design expectations of the City. These standards are not intended to prohibit architectural innovation nor are they intended to mandate specific architectural styles and concepts. Rather, they are intended to provide for development of enduring quality that provides visual character and interest.

Façade Plan Appeals state that the Planning and Zoning Commission shall consider the following factors in determining the extent of any exception to be granted:

The extent to which the application meets other specific standards of this ordinance;

The extent to which the application meets the spirit and intent of this chapter through the use of building materials, colors, and façade design to create a building of exceptional quality and appearance;

The positive or negative impact of the proposed project on surrounding property use and property values, in comparison to the expected impact of a project which could be built in conformance with the standards of this ordinance;

The extent to which the proposed project accomplishes City goals as stated in the Comprehensive Plan or other approved documents; and

Convenience to the applicant and/or reasons related to economic hardship shall not be grounds for approval of an application.

The applicant has requested the following variances to the façade plan:

- Waive masonry requirements on the southern elevation of the building.
  - Section 146-139 (Architectural and Site Standards) of the Zoning Ordinance states that all elevations for buildings that are three stories or smaller in height shall be finished with at least fifty (50) percent masonry finishing materials. The applicant is proposing to use 32% masonry finishing materials on the southern elevation while using concrete, fiber cement, and metal for the remainder of the elevation. It is Staff's professional opinion that the proposed use of finishing materials creates a unique and innovative

building design that meets the intent of the ordinance. As such, Staff has no objections to the request.

**IMPACT ON EXISTING DEVELOPMENT:** It is Staff's professional opinion that the proposed design would not have a negative impact on existing developments surrounding the subject property.

**OPPOSITION TO OR SUPPORT OF REQUEST:** Staff has received no comments in support of or in opposition to this request.

**SUPPORTING MATERIALS:**

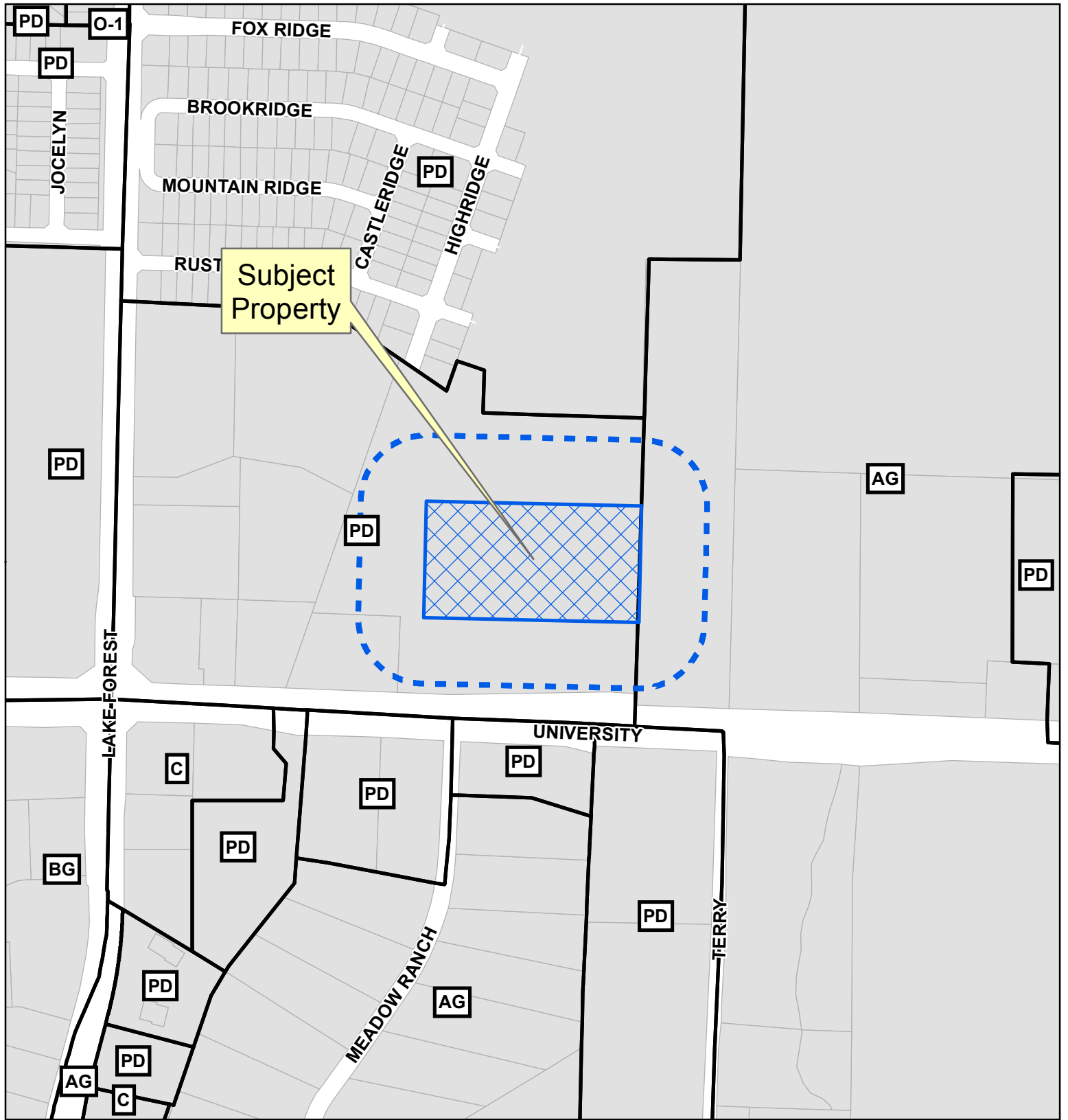
Location Map and Aerial Exhibit

Letter of Intent

Existing Site Plan

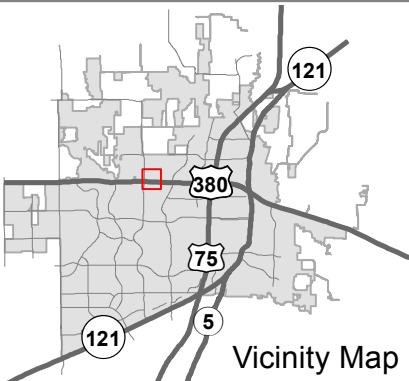
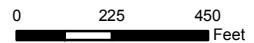
Proposed Facade Plan

Presentation



# Property Owner Notification Map

FACADE2018-0158



Vicinity Map

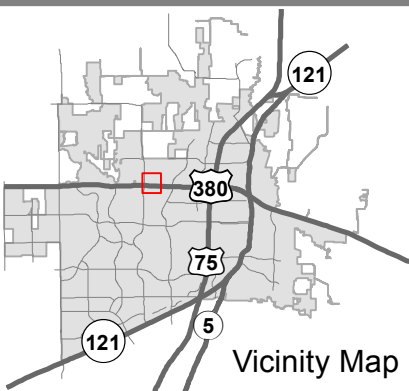
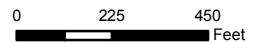
DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, errors, or variances which may exist.





# Property Owner Notification Map

FACADE2018-0158



DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, errors, or variances which may exist.





February 8, 2019

Planning Department  
City of McKinney  
221 N. Tennessee  
McKinney, TX 75069

**RE: Letter of Intent – Façade Review & Appeal  
Springstone McKinney Hospital**

Dear Ms. Arnold,

On behalf of our client, Springstone LLC., please consider this our Letter of Intent for façade review and appeal with the City of McKinney. The new structure is a 58,025sf behavioral health facility with 72 beds. The facility will provide both inpatient and outpatient treatment. The facility is classified as an I-2 Occupancy with a building and occupancy separation of B-occupancy space. The existing building shall be fully sprinkled and of single-story, type 2-B construction.

The primary entrance is used for inpatient functions, while a secondary public entrance serves outpatient functions. Additional staff entries are provided at the north and west elevations. Surface parking is provided for inpatient, outpatient, staff, and service functions.

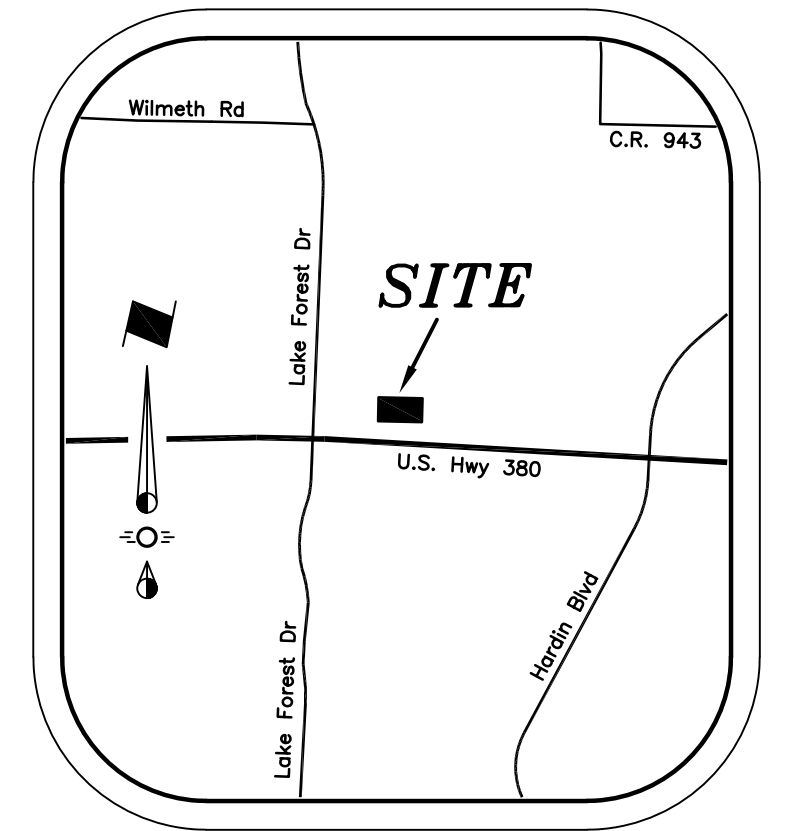
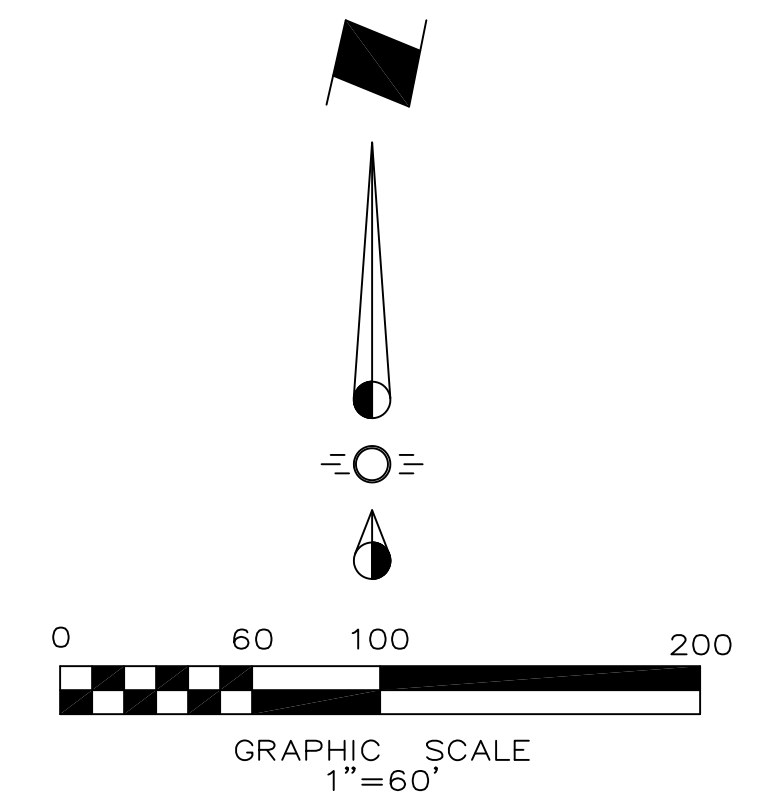
We would like to request a variance for the south elevation only, which includes 32% brick and stone masonry with an additional 21% feature wall using form liner concrete (see attached exhibits). The south façade also includes a wood-look, fiber cement product at 15%. All other elevations exceed the minimum 50% of masonry materials and are within the maximum 50% of secondary materials as required for elevations three stories or less. The flat roof has a parapet along with a perforated metal screen wall that extends a minimum of 1'-0" above the RTU's.

The facility is designed with all primary and secondary building entrances featuring a recessed entry or canopy/awning of at least 50 sf. The building massing has façade offsets, both horizontally and vertically, along with a large landscaped courtyard at the main entry.

We appreciate the opportunity to submit this application for your review and consideration for the committee meeting on the 26<sup>th</sup> of February. Please let me know if you have questions.

Kind Regards,

Jason Turnbow, RA, MBA, EDAC  
Principal  
GUIDE Architecture, LLC  
o: 214.960.9773  
c: 281.384.9877



VICINITY MAP  
NTS

**LEGEND**

- Firelane
- Proposed Sidewalk
- Ex. Concrete
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- BFR Barrier Free Ramp

**SYNOPSIS**

Zoning:	PD 2012-08-037 (Base C - Planned Center) "CC" - Corridor Commercial Overlay District
Proposed Use:	Clinic and Dormitory
Lot Area:	6.775 Acres (295,106 sf)
Building Areas:	Clinic: 52,950 sf Dormitory: 17,760 sf Total Bldg Area: 70,710 sf
Lot Coverage:	23.96% (Total Bldg Area 70,710 sf)
Floor Area Ratio:	0.24 : 1
Building Height:	26'
Impervious Area:	190,413 s.f. (64.52%)
Required Parking:	Clinic: 1:300 (52,950/300) = 177 Spcs. Dormitory: 1:2 Beds (96 Beds/2) = 48 Spcs.

Parking Required Total: (225 Parking Spaces)

Parking Provided Total: (230 Parking Spaces) 10 Handicap Spc.

Note: All parking spaces are 9'x18' unless otherwise noted.  
Note: All items are proposed unless otherwise noted.  
Note: Future Expansion to be by separate Site Plan submittal.

**DEVELOPER:**

Springstone, Inc.  
101 S. 5th St., Suite 3850  
Louisville, Kentucky 40202  
Phone (502) 400-8494  
Contact: Ken Hoffman, P.E.

**ENGINEER:**

Cross Engineering Consultants, Inc.  
131 S. Tennessee St.  
McKinney, Texas 75069  
Phone (972) 562-4409  
Fax (972) 562-4471  
Contact: Jon David Cross, P.E.

**DEVELOPER'S REPRESENTATIVE:**

Form G Companies  
100 E. 12th Street  
Jeffersonville, Indiana 47130  
Phone (812) 920-0818  
Contact: Erik Merten

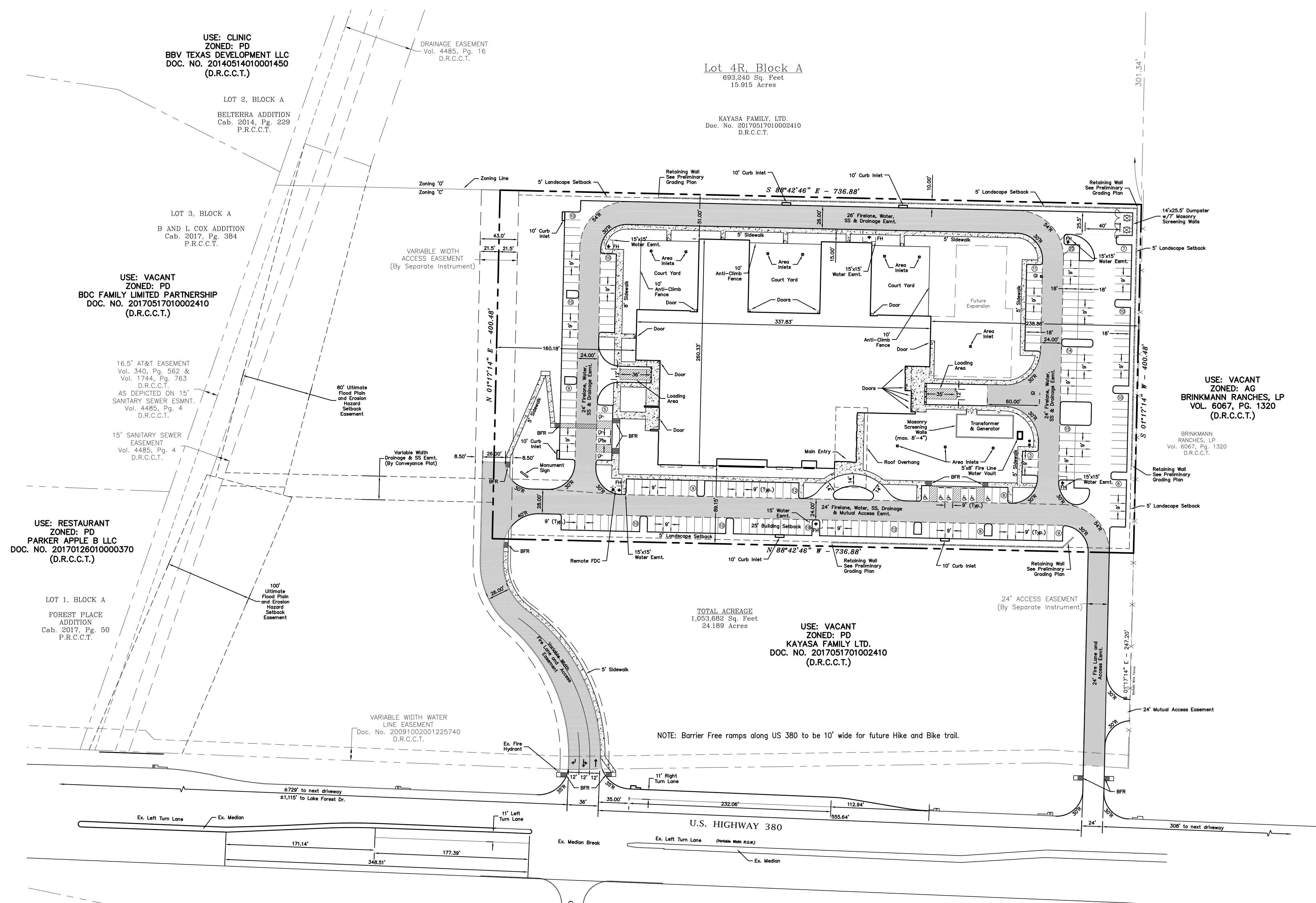
**ARCHITECT:**

GUIDE Architecture, LLC  
2001 N. Lamar St., Ste. 550  
Dallas, Texas 75202  
Phone (214) 960-9773  
Contact: Mark Criswell

**SURVEYOR:**

Ringley & Associates  
701 S. Tennessee St.  
McKinney, TX 75069  
Phone (972) 542-1266  
Fax (972) 542-8682  
Contact: Lawrence Ringley

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.  
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.



TOTAL ACRES  
1,053,682 Sq. Feet  
24.189 Acres

USE: VACANT  
ZONED: PD  
KAYASA FAMILY LTD.  
DOC. NO. 2017051701002410  
(D.R.C.C.T.)

NOTE: Barrier Free ramps along US 380 to be 10' wide for future Hike and Bike trail.

**CITY OF MCKINNEY STANDARD NOTES:**

Mechanical and Heating and air conditioning equipment in non-residential uses shall be screened from view from the public right-of-way and from adjacent residential properties.  
The Lighting for the subject property will be constructed and operated in conformance with Chapter 58 of the City of McKinney Code of Ordinances.  
The Sanitation Container Screening Walls Will Be Brick Masonry, Stone Masonry, Or Other Architectural Masonry Finish, Including A Metal Gate, Primed And Painted, And The Sanitation Container Screening Walls, Gate, And Pad Site Will Be Constructed In Accordance With The City Of McKinney Design Specifications. The Sanitation Screening Walls Will Be A Minimum Of 7' In Height.

**CITY BENCHMARKS USED FOR CONTROL:**

COM-11 = Aluminum Disc in concrete in 6.5' north of the north curb of Virginia Parkway, east of Mallard Lakes Drive Elev. = 705.30  
COM-57 = Aluminum Disc Stamped CM #57 set in the southeasterly corner of a concrete storm drain inlet, in the southerly line of the existing concrete paving for University Drive, being approximately 70' easterly of the approximate centerline of Terry Lane. Elev. = 606.46

**SITE BENCHMARKS:**

BM-1 = "X" on top of a concrete headwall on the west side of the headwall, on the north side of U.S. Highway 380 and near the southwest corner of the subject property. Elev.=614.67  
BM-2 = "X" in northeast corner of a concrete curb inlet on the north side of U.S. Highway of U.S. Highway 380 and near the center of the southern subject property line. Elev.=625.39

**REMOTE FDC GENERAL COMMENTS:**

- Shall be protected by bollards.
- Shall be located a minimum 3 ft. clear from the face to any landscaping and provided a clear pathway to the fire lane and adjacent fire hydrant. Parking, screening and landscaping are considered obstructions.
- Shall be located adjacent to a fire hydrant.
- Shall be located, as practical, near the corner of a building on the outside edge of the fire lane.

Issue Dates:	Revisions:	Date:
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

**CROSS ENGINEERING CONSULTANTS**  
131 S. Tennessee St. McKinney, Texas 75069  
972.562.4409 Texas P.E. Firm No. F-5935

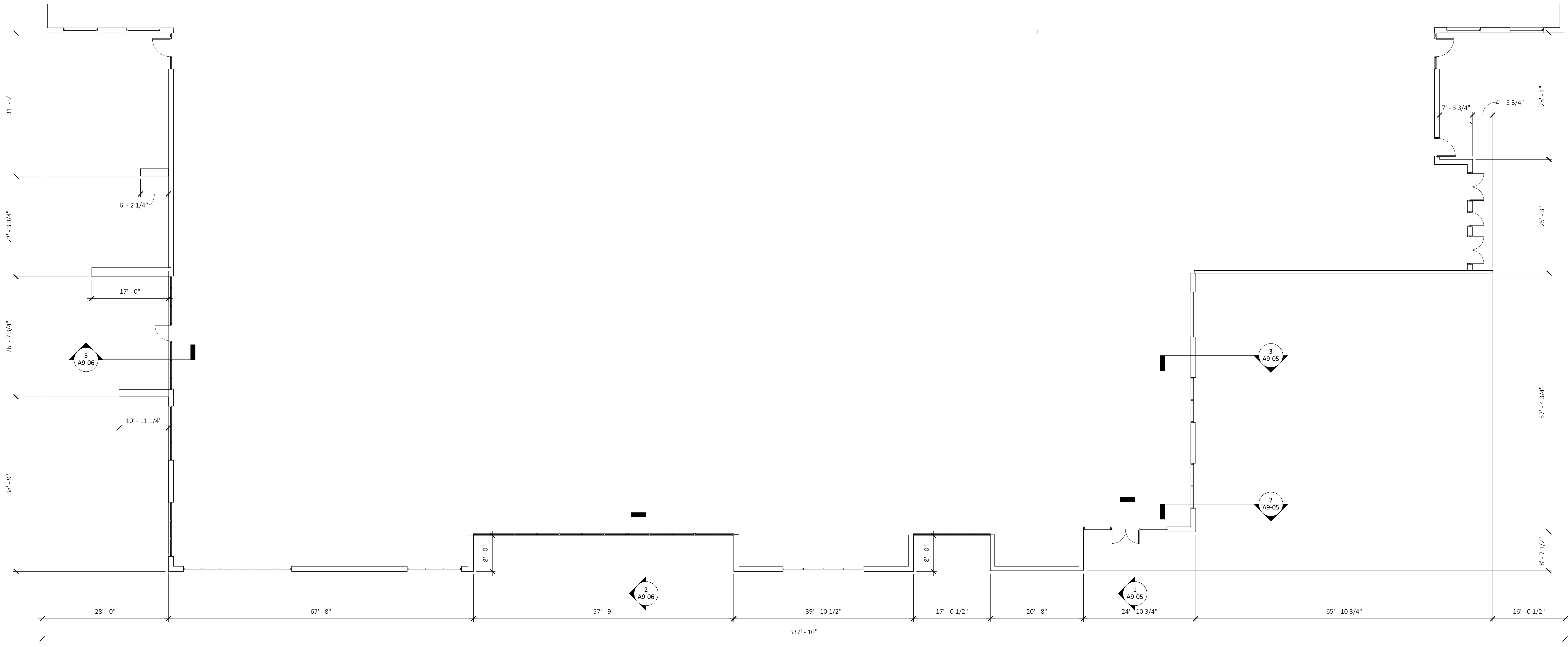
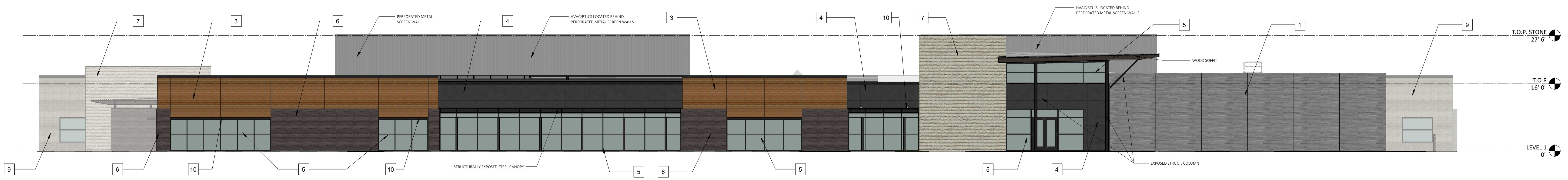
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=60'

**SITE PLAN**  
SPRINGSTONE MCKINNEY HOSPITAL  
Part of Lot 4, Block A, B and L Cox Addition  
MCKINNEY, TEXAS

Sheet No.  
**SP**  
Project No.  
18010

SPRINGSTONE MCKINNEY HOSPITAL

CITY OF MCKINNEY FACADE PLAN SUBMITTAL



**EXTERIOR MATERIALS**

1	BOARD FORMED CONCRETE - FITZGERALD FORMLINERS - 16938
2	GLAZING - GUARDIAN SNG 62/27 (B) CRYSTAL GREY OUTBOARD
3	FIBER CEMENT - NICHBA - VINTAGE WOOD CEDAR
4	ALUMINUM COMPOSITE MATERIAL - CENTRIA INTERCEPT ENTIRE HORIZONTAL - ZINC CHARCOAL GRAY
5	ALUM. STOREFRONT - OLDCASTLE - CHARCOAL GRAY
6	BRICK MASONRY CORSO - CT LOBF
7	STONE VENEER - ARIZONA STONE - CHISELED LIMESTONE CREME
8	ROMAN BRICK TO MATCH CORSO CT LOBF
9	ROMAN BRICK TO MATCH CORONADO CHISELED LIMESTONE CREME
10	METAL SUNSHADE
11	STUCCO

**SOUTH FACADE MATERIAL PERCENTAGES:**

BRICK MASONRY:	18%
CONCRETE:	21%
STONE VENEER:	14%
CENTRIA METAL PANELING:	10%
METAL SCREEN:	20%
PAINTED STEEL:	2%
FIBER CEMENT:	15%

01 EXTERIOR ELEVATION - SOUTH FACADE OFFSETS  
3/32" = 1'-0"

CITY OF MCKINNEY FACADE PLAN SUBMITTAL



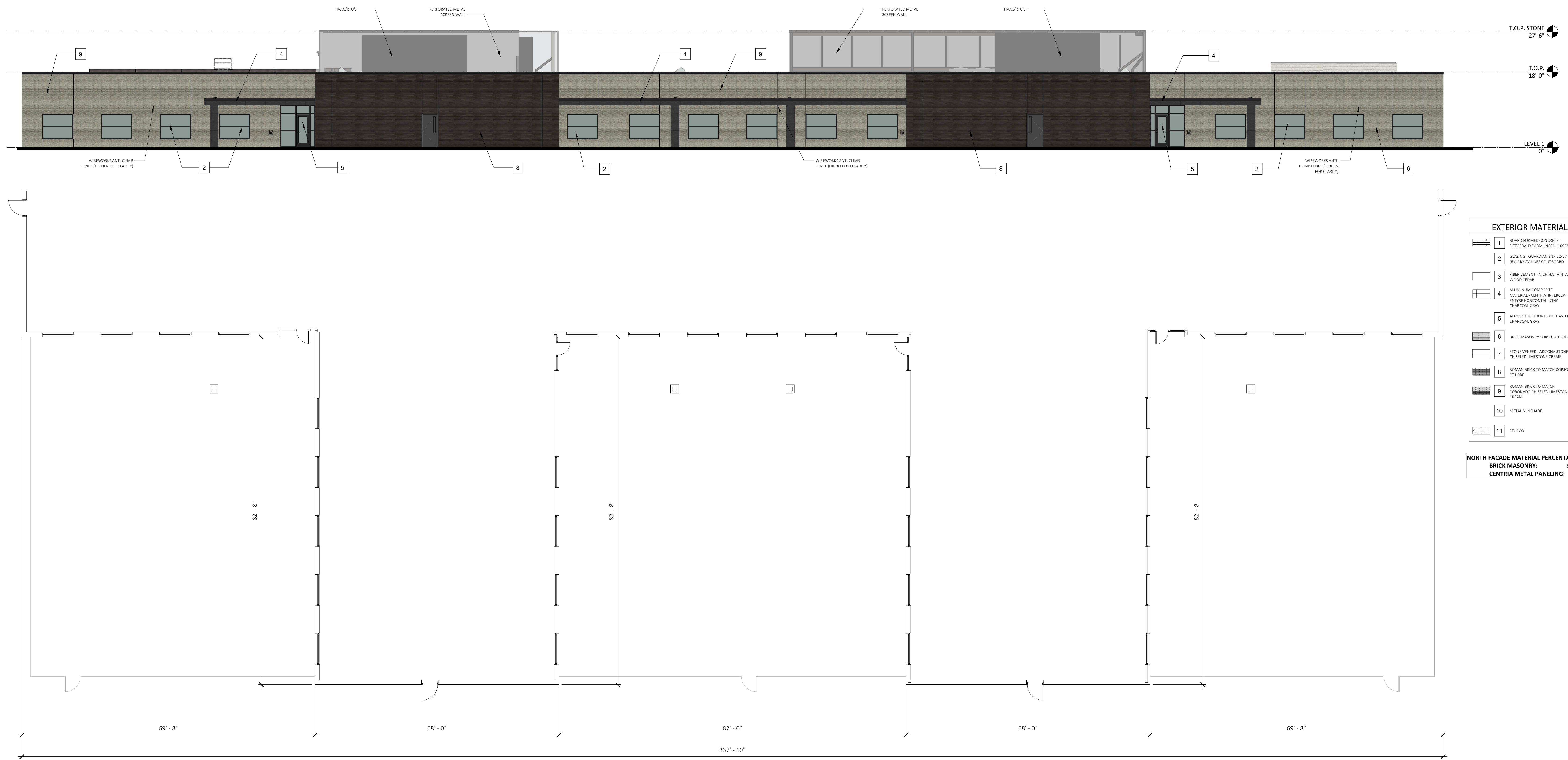
EXTERIOR MATERIALS	
1	BOARD FORMED CONCRETE - FITZGERALD FORMLINERS - 36938
2	GLAZING - GUARDIAN SX6 62/27 (H3) CRYSTAL GREY OUTBOARD
3	FIBER CEMENT - NICHIA - VINTAGE WOOD CEDAR
4	ALUMINUM COMPOSITE MATERIAL - CENTRIA INTERCEPT ENTIRE HORIZONTAL - ZINC CHARCOAL GRAY
5	ALUM. STOREFRONT - OLDCASTLE - CHARCOAL GRAY
6	BRICK MASONRY CORSO - CT LOBF
7	STONE VENEER - ARIZONA STONE - CHELSEA LIMESTONE CREAM
8	ROMAN BRICK TO MATCH CORSO CT LOBF
9	ROMAN BRICK TO MATCH - COLORADO CHELSEA LIMESTONE CREAM
10	METAL SUNSHADE
11	STUCCO

WEST FACADE MATERIAL PERCENTAGES:	
BRICK MASONRY:	58%
STONE VENEER:	12%
CENTRIA METAL PANELING:	1%
METAL SCREEN:	16%
PAINTED STEEL:	4%
FIBER CEMENT:	9%

1 ELEVATION- EXTERIOR- WEST  
3/32" = 1'-0"



CITY OF MCKINNEY FACADE PLAN SUBMITTAL



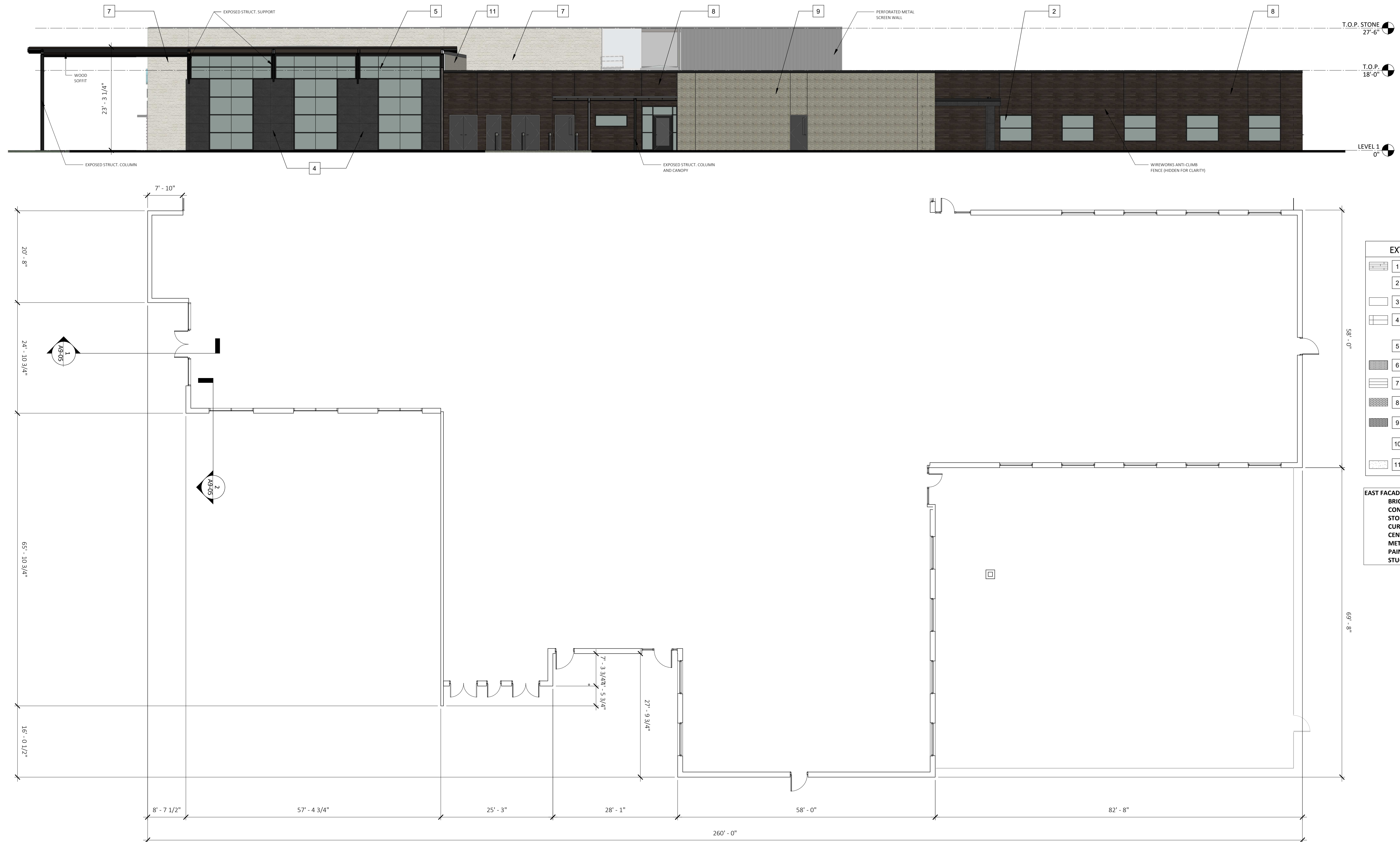
EXTERIOR MATERIALS	
1	BOARD FORMED CONCRETE - FITZGERALD FORMLINERS - 16938
2	GLAZING - GUARDIAN SXX 62/27 (#3) CRYSTAL GREY OUTBOARD
3	FIBER CEMENT - NICHHA - VINTAGE WOOD CEDAR
4	ALUMINUM COMPOSITE MATERIAL - CENTRIA - INTERCEPT ENTIRE HORIZONTAL - ZINC CHARCOAL GRAY
5	ALUM. STOREFRONT - OLDCASTLE - CHARCOAL GRAY
6	BRICK MASONRY CORSO - CT LOBF
7	STONE VENEER - ARIZONA STONE - CHISELED LIMESTONE CREM
8	ROMAN BRICK TO MATCH CORSO CT LOBF
9	ROMAN BRICK TO MATCH CORONADO CHISELED LIMESTONE CREAM
10	METAL SUNSHADE
11	STUCCO

NORTH FACADE MATERIAL PERCENTAGES:	
BRICK MASONRY:	96%
CENTRIA METAL PANELING:	4%

1 ELEVATION- EXTERIOR- NORTH  
3/32" = 1'-0"

CITY OF MCKINNEY FACADE PLAN SUBMITTAL



**EXTERIOR MATERIALS**

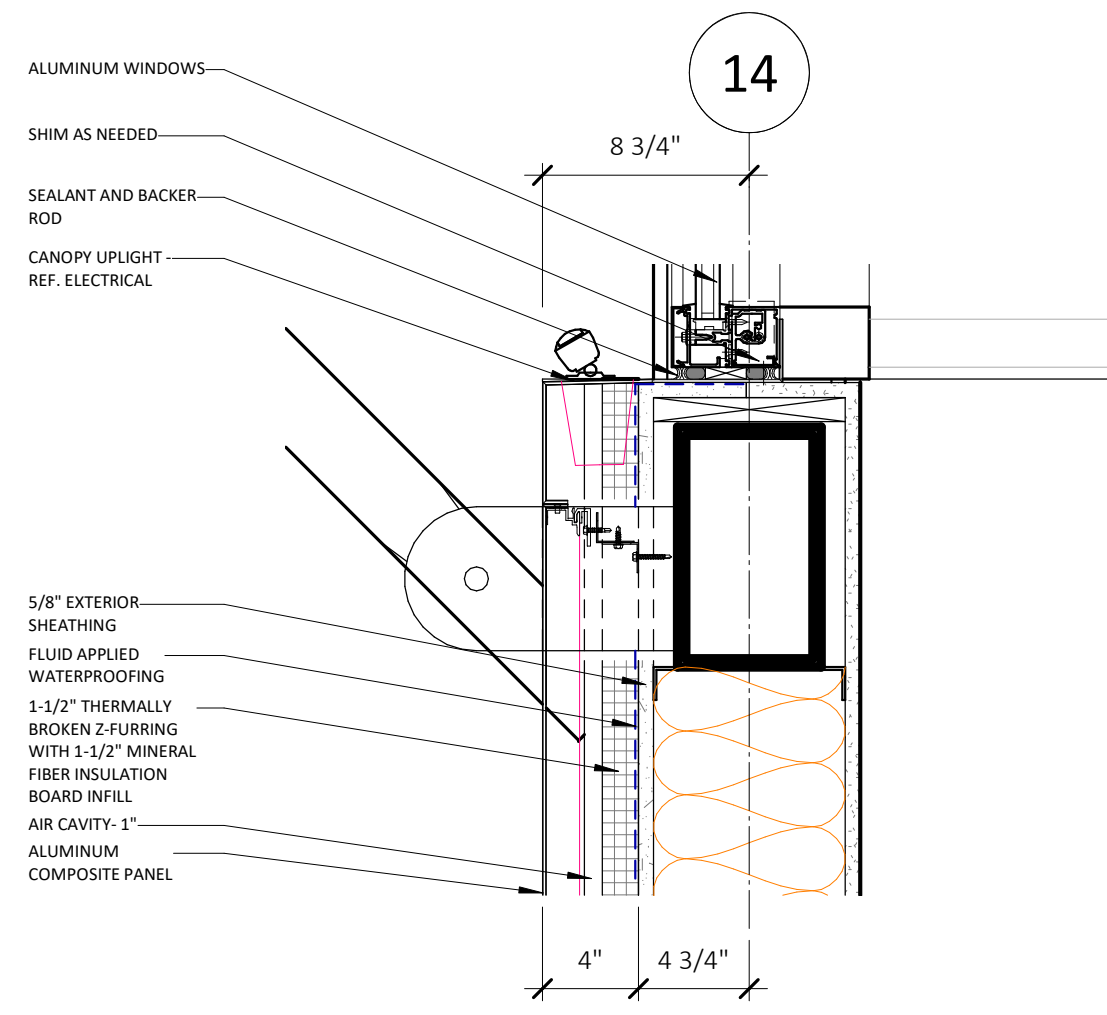
1	BOARD FORMED CONCRETE - FITZGERALD FORMLINERS - 16938
2	GLAZING - GUARDIAN SMX 6227 (#3) CRYSTAL GREY OUTBOARD
3	FIBER CEMENT - NICHHA - VINTAGE WOOD CEDAR
4	ALUMINUM COMPOSITE MATERIAL - CENTRIA INTERCEPT ELYTRE HORIZONTAL - ZINC CHARCOAL GRAY
5	ALUM. STOREFRONT - OLDCASTLE - CHARCOAL GRAY
6	BRICK MASONRY CORSO - CT LOBF
7	STONE VENEER - ARIZONA STONE - CHISELED LIMESTONE CREME
8	ROMAN BRICK TO MATCH CORSO CT LOBF
9	ROMAN BRICK TO MATCH CORONADO CHISELED LIMESTONE CREAM
10	METAL SUNSHADE
11	STUCCO

**EAST FACADE MATERIAL PERCENTAGES:**

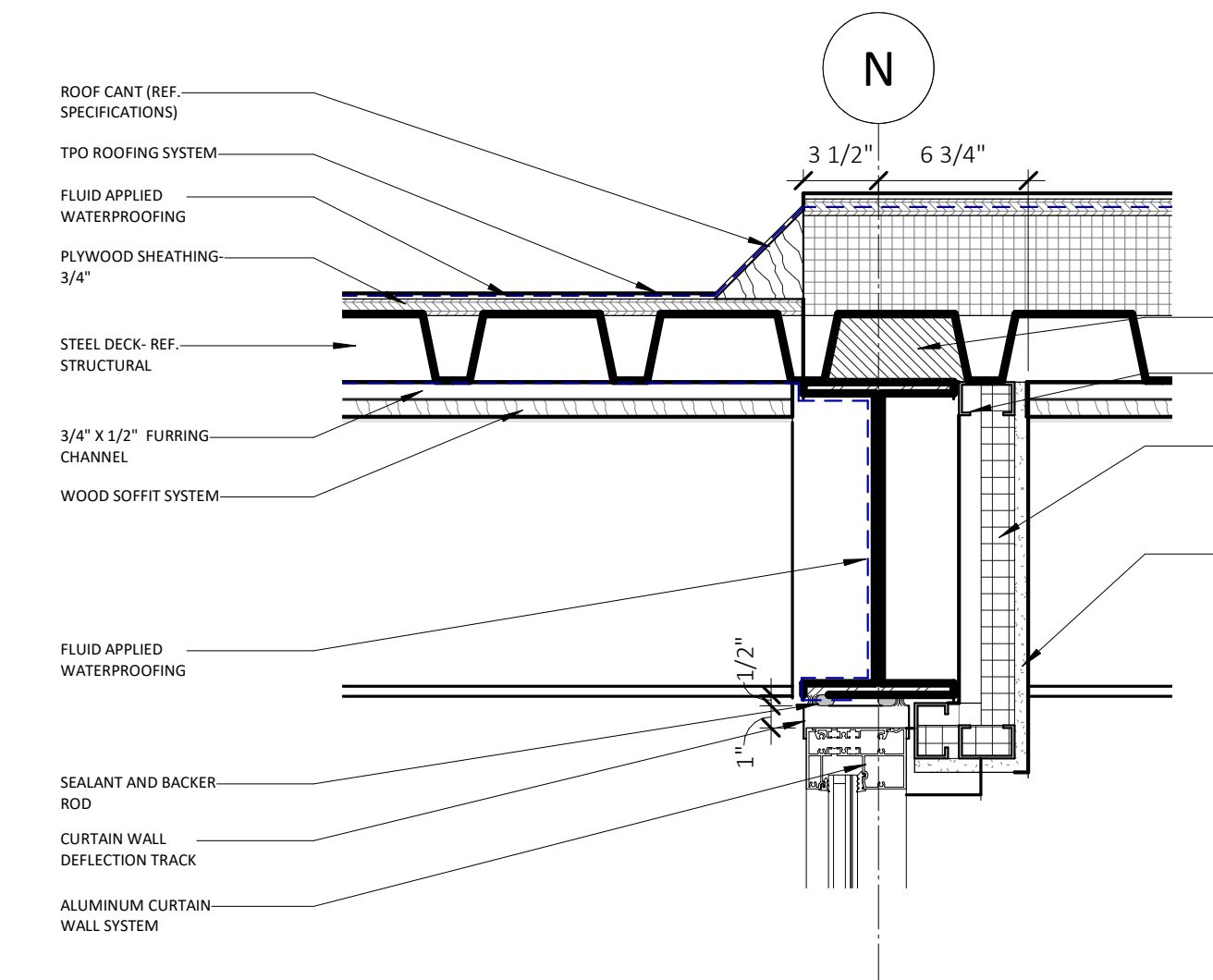
BRICK MASONRY:	51%
CONCRETE:	1%
STONE VENEER:	14%
CURTAIN WALL:	14%
CENTRIA METAL PANELING:	9%
METAL SUNSHADE:	6%
PAINTED STEEL:	4%
STUCCO:	1%

1 ELEVATION- EXTERIOR- EAST  
3/32" = 1'-0"

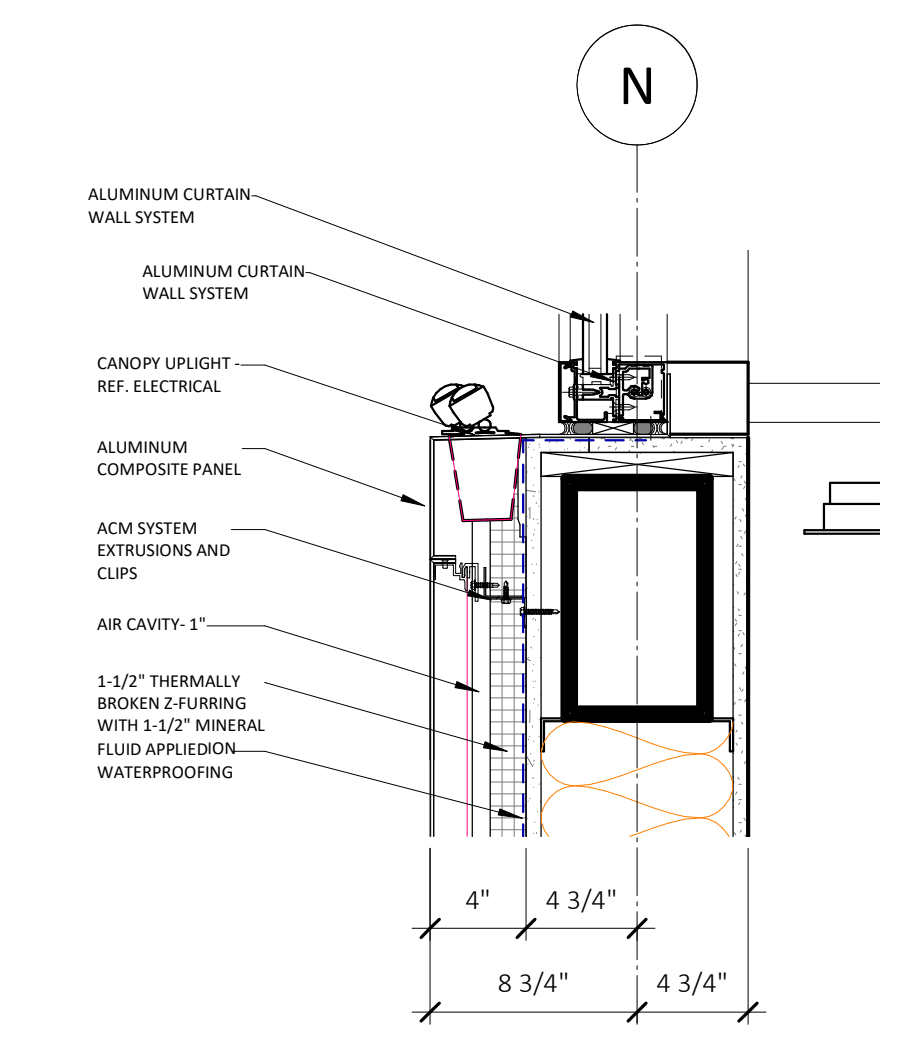
CITY OF MCKINNEY FACADE PLAN SUBMITTAL



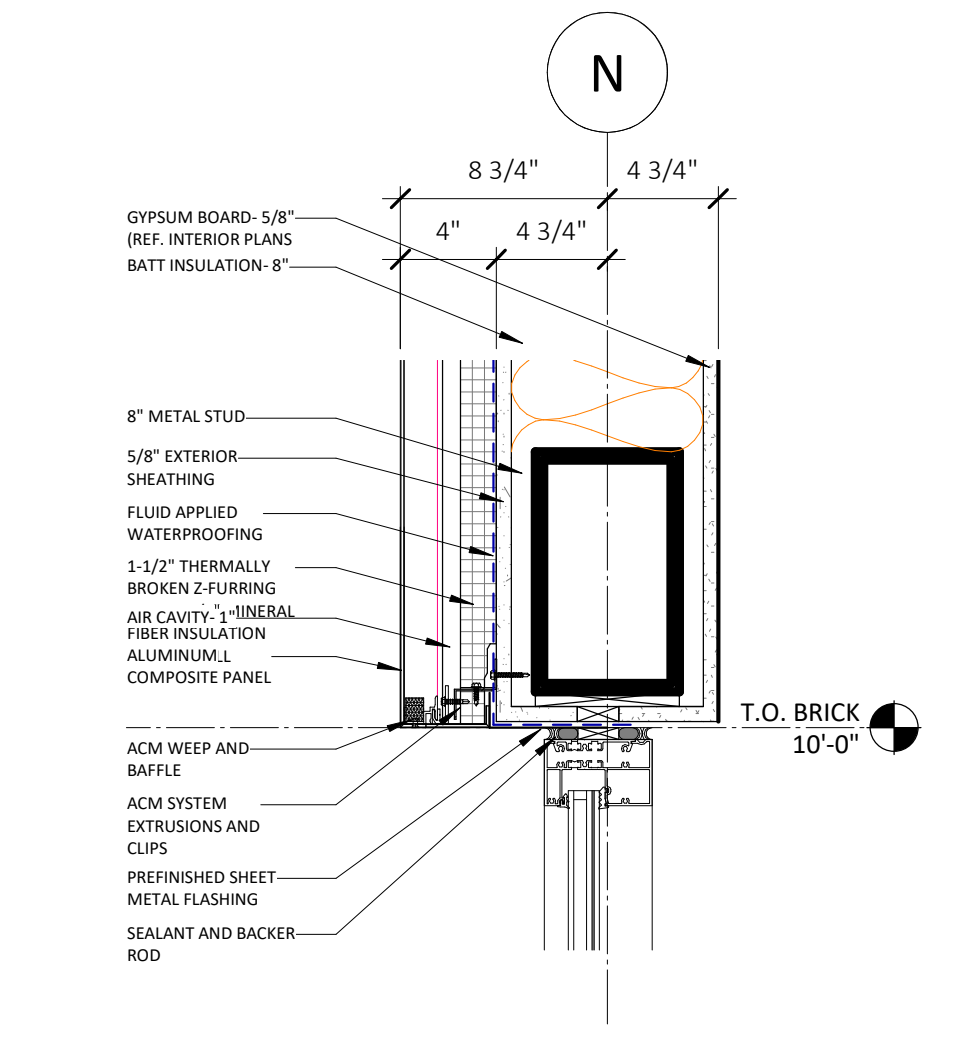
7 MAIN LOBBY EAST @ ACM - Callout 1 Copy 1  
1 1/2" = 1'-0"



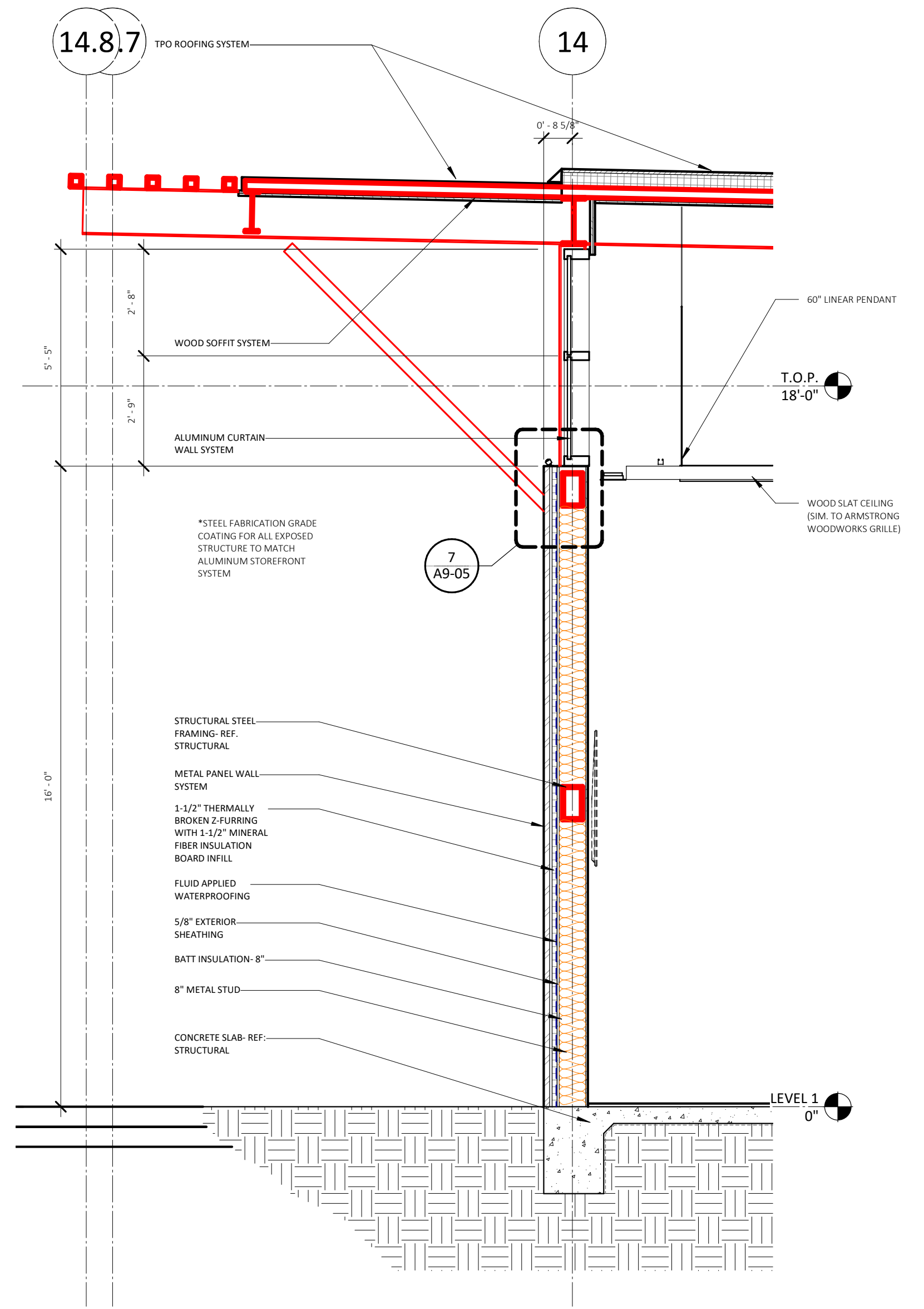
6 STOREFRONT @ HIGH ROOF  
1 1/2" = 1'-0"



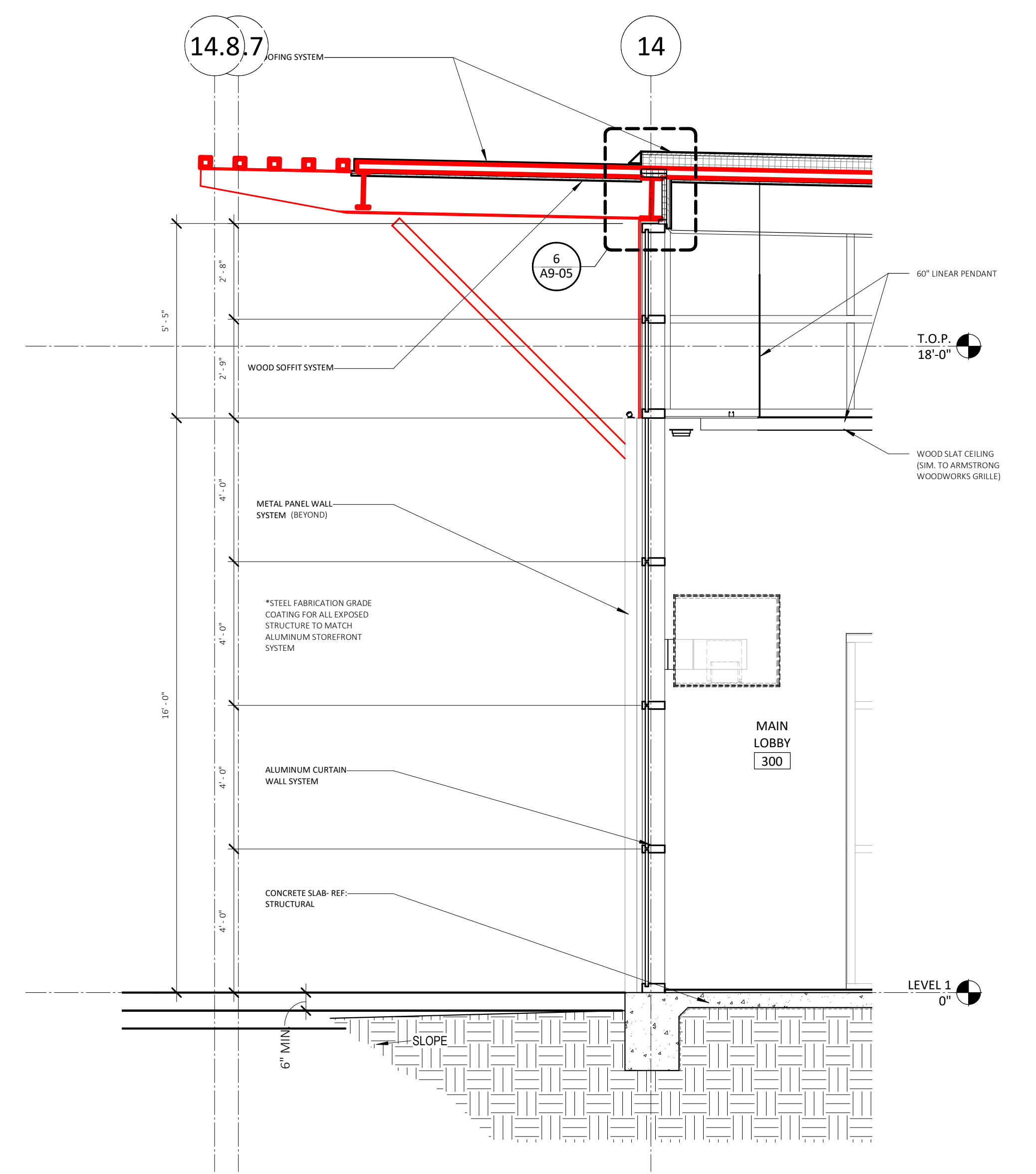
5 STOREFRONT SILL @ ACM  
1 1/2" = 1'-0"



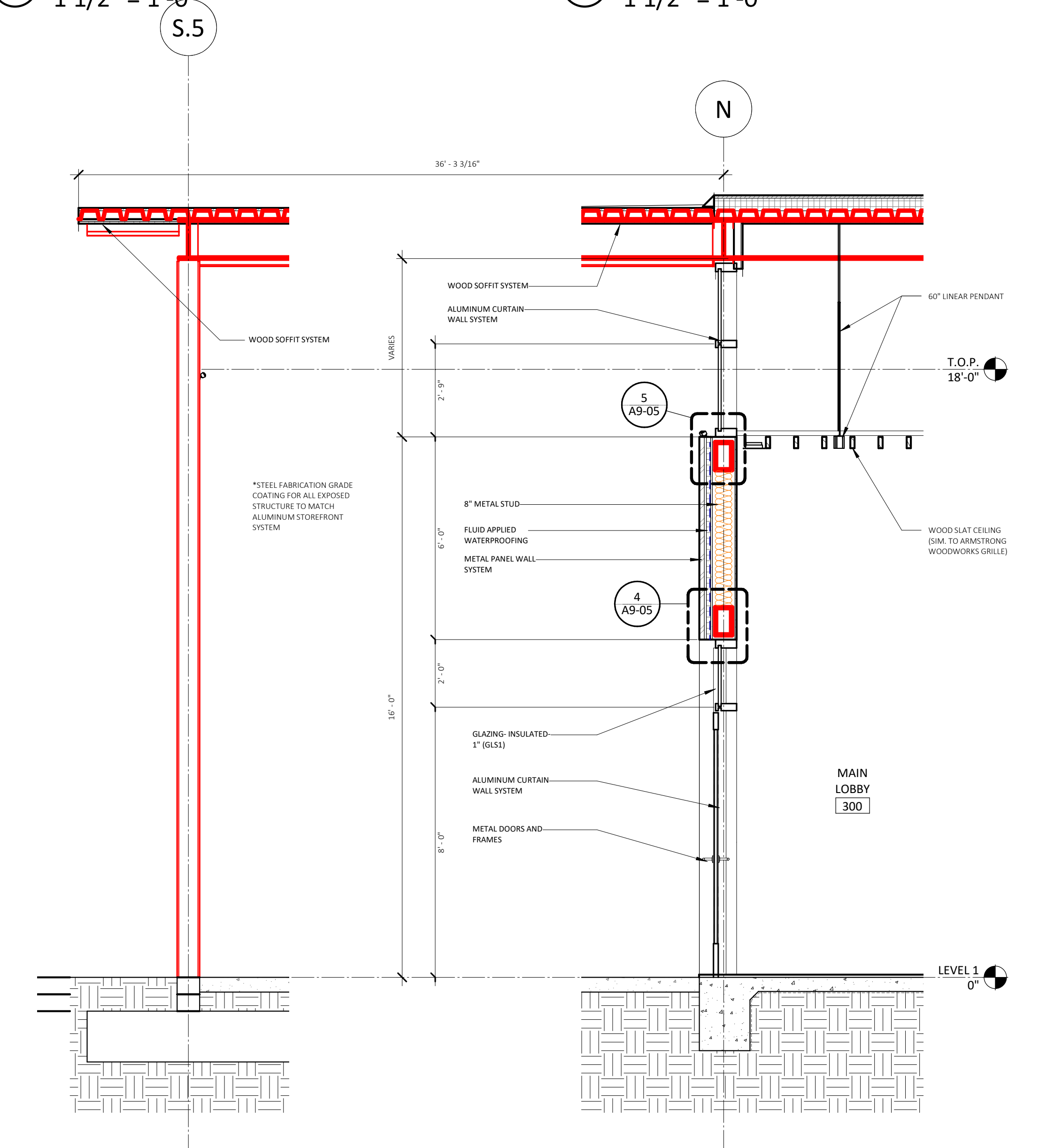
4 STOREFRONT HEAD  
1 1/2" = 1'-0"



3 MAIN LOBBY EAST @ ACM  
3/8" = 1'-0"

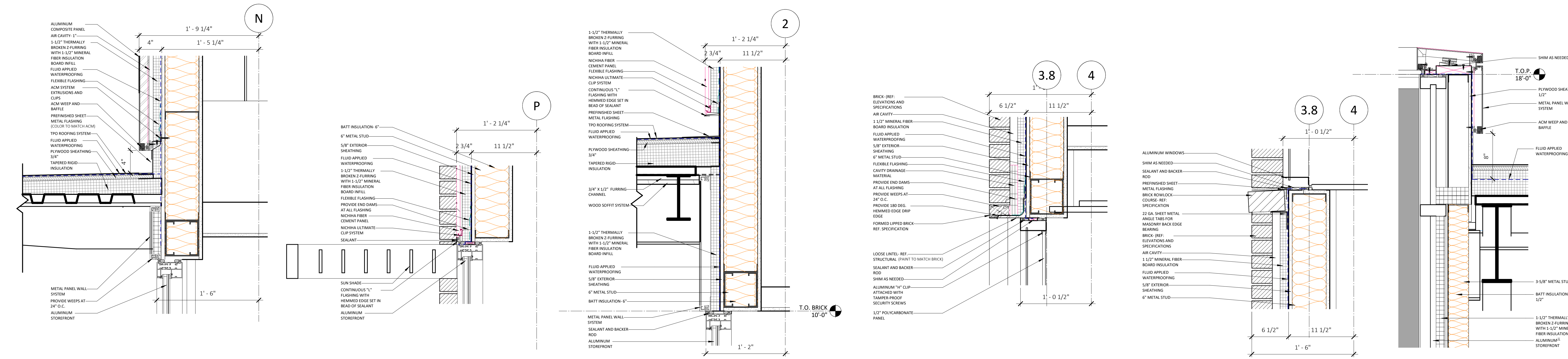


2 MAIN LOBBY EAST  
3/8" = 1'-0"

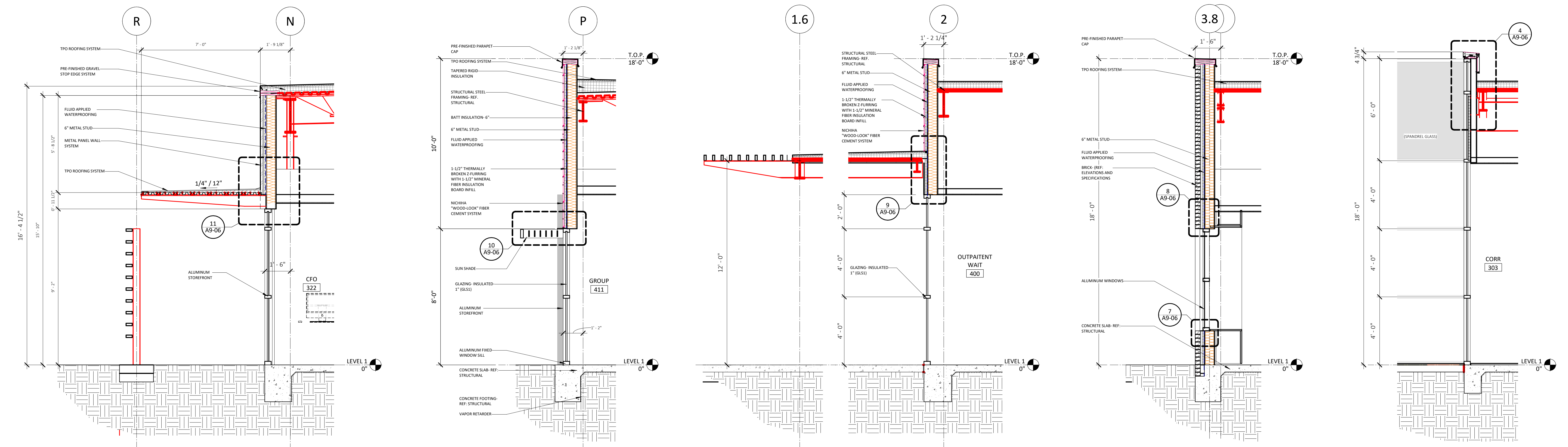


1 MAIN LOBBY ENTRY  
3/8" = 1'-0"

CITY OF MCKINNEY FACADE PLAN SUBMITTAL



11 CANOPY AT ACM - HEAD 1 1/2" = 1'-0"  
 10 CANOPY @ BRICK & NICHHA - HEAD 1 1/2" = 1'-0"  
 9 HEAD @ OP CANOPY 1 1/2" = 1'-0"  
 8 TYPICAL PATIENT ROOM WINDOW - HEAD 1 1/2" = 1'-0"  
 7 TYPICAL PATIENT ROOM WINDOW - SILL 1 1/2" = 1'-0"  
 4 ATRIUM PARAPET CAP 1 1/2" = 1'-0"

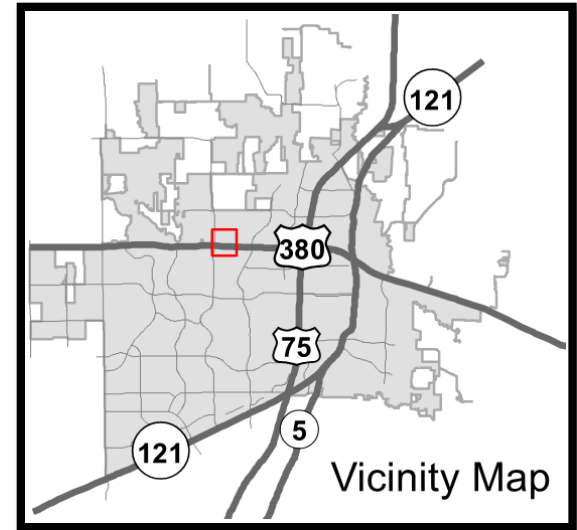
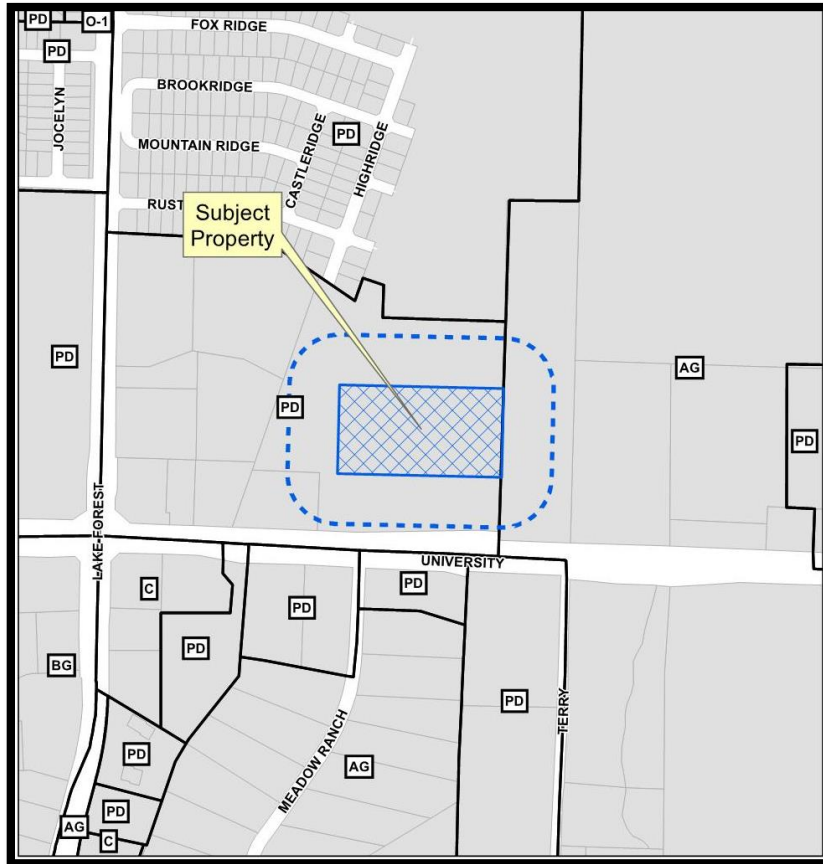


2 CANOPY AT ACM 3/8" = 1'-0"  
 3 CANOPY @ BRICK & NICHHA 3/8" = 1'-0"  
 5 OP CANOPY 3/8" = 1'-0"  
 6 TYPICAL PATIENT ROOM WINDOW 3/8" = 1'-0"  
 1 ATRIUM SECTION 3/8" = 1'-0"

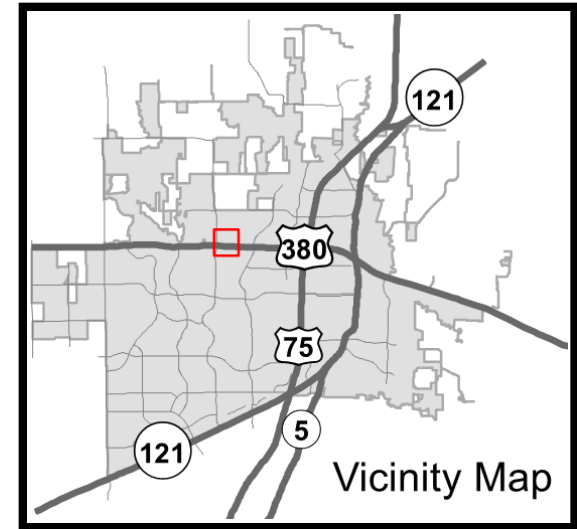
# Springstone McKinney Hospital

18-0158FR

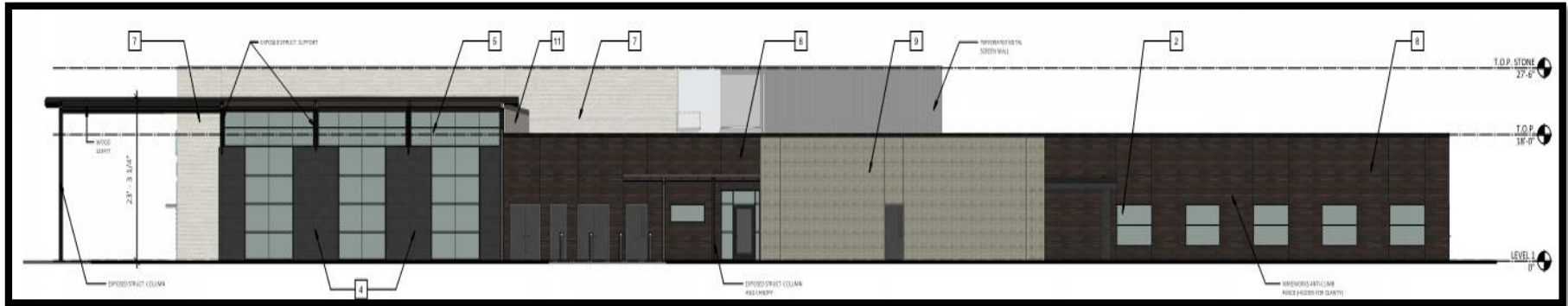
# Location Map



# Aerial Exhibit



# Proposed Elevations



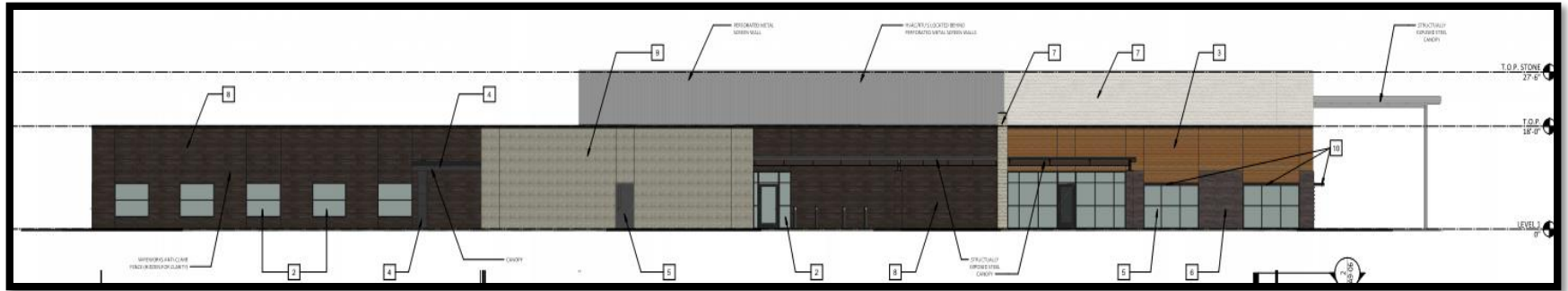
East Elevation



South Elevation



# Proposed Elevations



West Elevation



North Elevation

# Proposed Renderings



