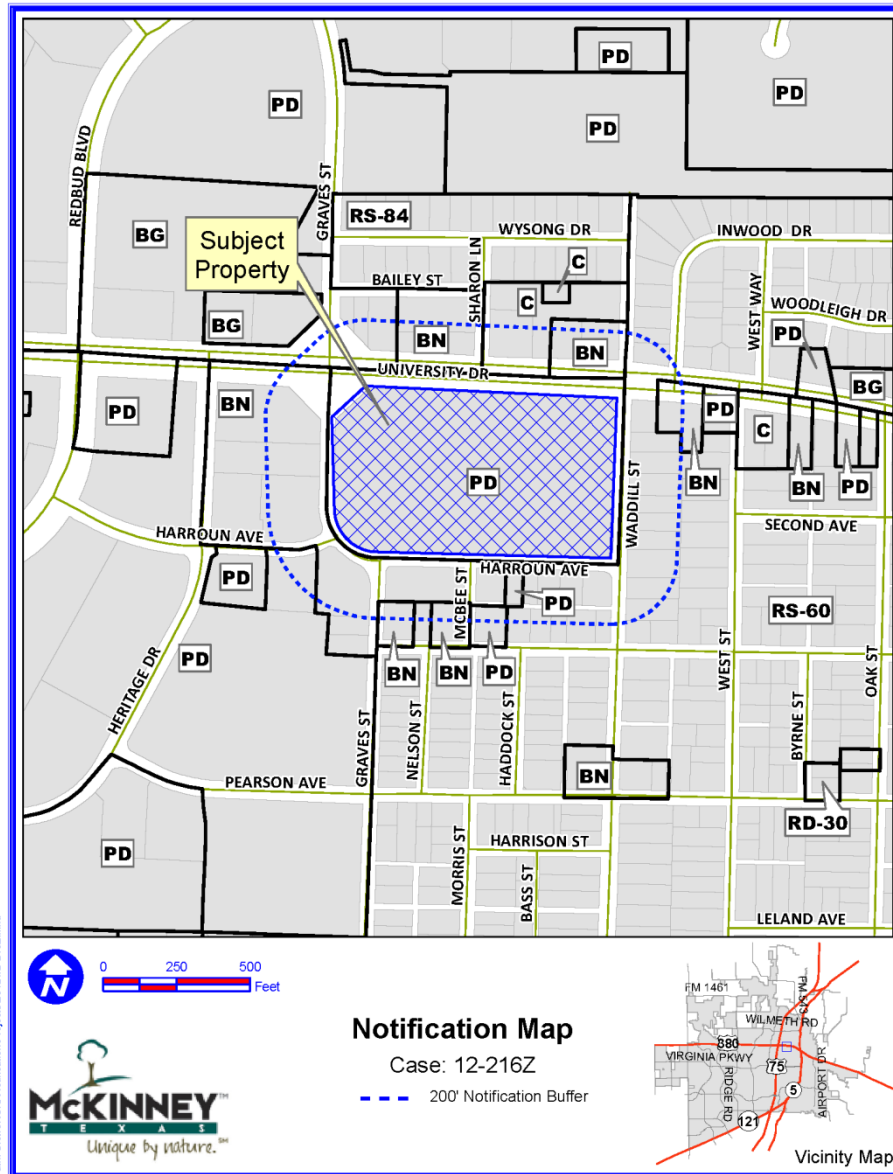


# Case No. 12-216Z2

**Conduct a Public Hearing to Consider/Discuss/Act on the Request by h/z studio P.L.L.C., on Behalf of Collin County Texas Property, for Approval of a Request to Rezone Less than 12 Acres from “PD” – Planned Development District to “PD” – Planned Development District, Generally to Modify the Development Standards, Located on the Southwest Corner of Waddill Street and U.S. Highway 380 (University Drive), and Accompanying Ordinance**

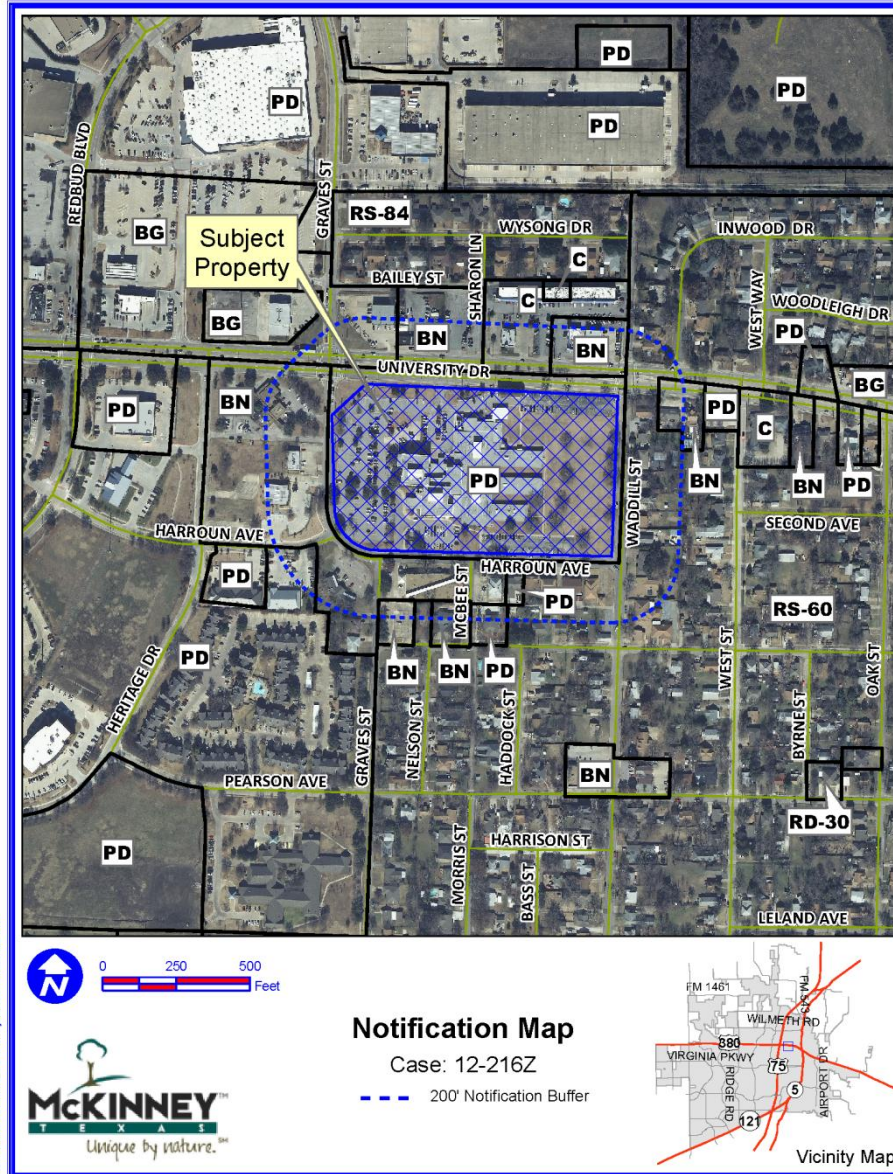
# Location Map



Path: S:\MCK\GIS\Notification\Projects\1212-216Z.mxd

DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, errors, or variances which may exist.

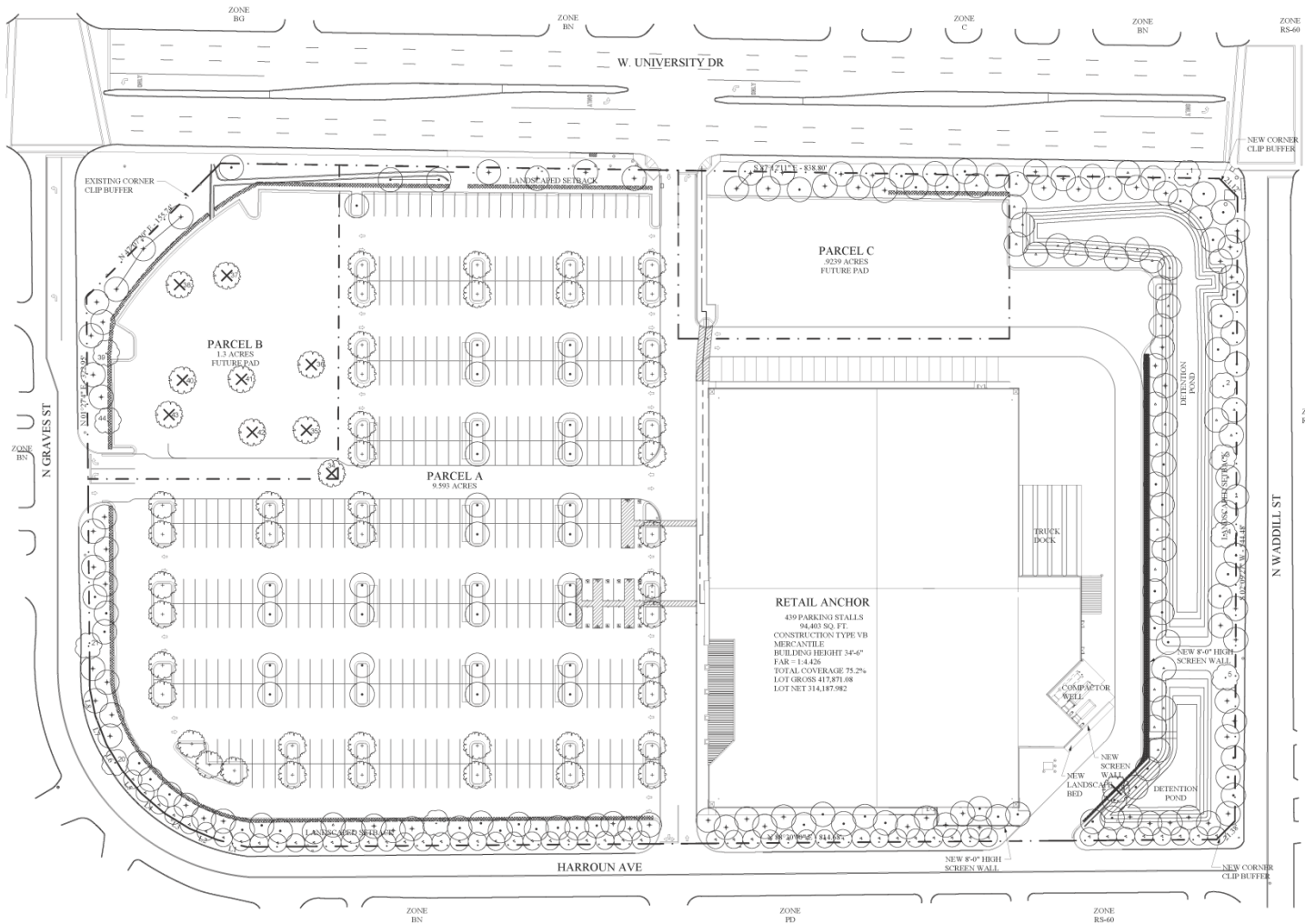
# Aerial Exhibit



Path: S:\MCKGIS\Notification\Projects\2012\12-216Z.mxd

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# Proposed Zoning Exhibit



**PROPERTY LINE TABLE**

NO.	BEARING	DISTANCE
1.1	N 74°52'40" W	25.00'
1.2	N 60°58'20" E	24.88'
1.3	N 80°35'01" W	24.78'
1.4	N 47°22'24" W	24.88'
1.5	N 37°47'20" W	24.93'
1.6	N 29°04'14" W	24.84'
1.7	N 19°21'33" W	25.04'

**SITE PLAN**  
1" = 40'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	11/20/12	128412

DATE PLOTTED: 12/13  
 DRAWN: B.B.  
 CHECKED: S.J.P.  
 PROJECT NO.: 112012 | 128412  
 SHEET NO.: 128412

WINCO FOODS STORE NO. 122  
 1800 NORTH GRAVES STREET  
 MCKINNEY, TEXAS

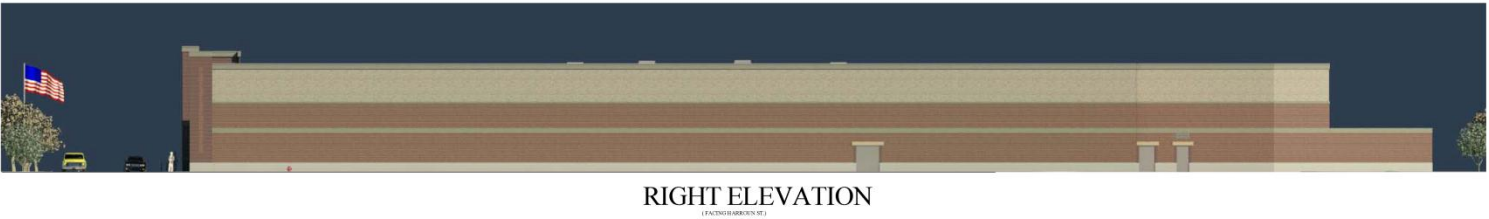
**WinCo FOODS**

SHEET TITLE: SITE LAYOUT  
 SHEET: SD1

**RECEIVED**  
By agushko at 10:38 am, Dec 31, 2012

**LEGAL DESCRIPTION**  
ABS AG87 IF STAFF SURVEY, TRACT 18, 11.817 ACRES

# Proposed Architectural Elevations



EXTERIOR FINISHING MATERIALS COVERAGE						
ELEVATION	A	B	C	D	E	NOTES
FRONT	51.0%	20.0%	0.5%	0.5%	0.0%	SMOOTH FACE CMU BONDING BOARD; 25% OF TOTAL ELEVATION EXCEPT 10% OF ELEVATION HEIGHT
LEFT	51.0%	20.0%	0.5%	7.0%	7.0%	SMOOTH FACE CMU BONDING BOARD; 50% OF TOTAL ELEVATION EXCEPT 10% OF ELEVATION HEIGHT
RIGHT	50.0%	30%	0.5%	0%	0.5%	SMOOTH FACE CMU BONDING BOARD
REAR	50.2%	30.0%	0.5%	0%	0.5%	SMOOTH FACE CMU BONDING BOARD

NOTE: ALL INDIVIDUAL WALLS OF ALL ELEVATIONS - OR - 10% OF TOTAL ELEVATION HEIGHT

## MATERIALS & FINISHES

- MATERIALS**
- ① 2" x 8" BRICK NO. 1 (10" x 2" NO. 2 BONDING BOARD)
  - ② 2" x 8" BRICK BLIND (10" x 2" NO. 2 BONDING BOARD)
  - ③ 2" x 8" BRICK BLIND (10" x 2" NO. 2 BONDING BOARD)
  - ④ ARCHITECTURAL CMU BONDING BOARD
  - ⑤ SMOOTH FACE CMU CAP COURSE
  - ⑥ INTERNAL COLOR EIFS OR STUCCO
  - ⑦ SUSPENDED CEILING OR ALUMINUM ROOF PANEL
  - ⑧ METAL COLOR TUNERS OR SIM.
  - ⑨ 2" x 4" x 8" x 16" BLOCK
  - ⑩ 2" x 4" x 8" x 16" BLOCK
  - ⑪ 2" x 4" x 8" x 16" BLOCK
  - ⑫ 2" x 4" x 8" x 16" BLOCK
- FINISHES**
- ⑬ DARK NEUTRAL COLOR TO MEET CITY EXTERIOR COLOR REQUIREMENTS (SEE TO BE SHOWN ABOVE)
  - ⑭ EXTERIOR BRICK ELEMENTS (SEE TO BE SHOWN ABOVE)
  - ⑮ EXTERIOR BRICK ELEMENTS (SEE TO BE SHOWN ABOVE)
  - ⑯ EXTERIOR BRICK ELEMENTS (SEE TO BE SHOWN ABOVE)

**RECEIVED**  
By Kathy Wright at 10:23 am, Dec 11, 2012

REVISIONS

h/z studio  
architectural planning  
AN ARCHITECTURAL FIRM INCORPORATED IN CALIFORNIA

WinCo FOODS

SHEET TITLE  
ELEVATIONS WITH MATERIALS

SHEET  
6

# Staff Recommendation

Staff recommends approval of the proposed rezoning request as outlined in the Staff Report