



City Council Presentation

for

HONEST - 1 Auto Care

October 4, 2016



History of Property Development

- Developer acquired property in 1999
- Development of 25 acres, N & S sides of Virginia; 11 office bldgs, 4 retail bldgs w 10 businesses
- Original PD zoning included oil change as part of car wash on corner and committed to **maximum of 6 acres of retail – have kept commitment**
- Have pursued many retail & restaurant users, market demand insufficient for build-out



Clarification of Staff Report Issues

- All of site is developed, no undeveloped land
- All lots except 1.7 acres (includes subject site) have been sold for office or business building use (most built-out)
- Original Owner / Developer designed & installed all water, wastewater, drainage, access per City Standards
- Original Dev included masonry screening wall enhancements, paid all platting & median landscape fees



Clarification continued

- Extensive regulations include masonry screening fence adjacent to residential (N & S) with landscape buffer; roadway setbacks; design, etc – many now typical
- Changed from a PD to C-1 in Dec, 2014 – at request of City Staff (to reduce # of PDs)
- Owners agreed feeling the uses for last 1.76 acres should be adequate; but determined C-1 not viable for build-out
- Property **needs broader use options**



Clarification & Rationale

- Request is simply to broaden use on a small site for C-2 use, which also requires SUP
- Requires we show details for higher level zoning use (SUP)
- Compatible with nearby uses & the original PD zoning
- Current FLUP inappropriately shows as office when it has been zoned as mixed use for 15 years; used for 10 years
- Proposal supports adjacent uses, insignificant impact to alter surrounding area to more intensive commercial use.



Compatibility - Diversification

- No impact on public facilities or services; low project traffic will offset the adjacent high BB traffic
- Strongly believe the proposed re-zoning will be compatible with surrounding uses
- Total project area is diversified: multiple offices, a church parking lot, a full laundry & cleaning operation, multi-tenant Neighborhood Center, drive through beverage shop, full service car wash, & a full service Veterinarian



Build-out to date – positive results

- Clearly a mixed use area, 75% built-out, with:
 - 18 acres of office, 6 acres of retail
 - 12 office bldgs, most w multiple tenants
 - 3 retail bldgs w 10 businesses
 - 1 car wash
- Current RE val - \$23,900,000; Pers - \$2.5 mil
- Buildout RE val - \$30,000,000+; Pers - \$3.0 mil
- Current jobs 183 to 200; build-Out est – 275+
- Our little 25 ac project- positive tax base & job generation



Zoning History & Request

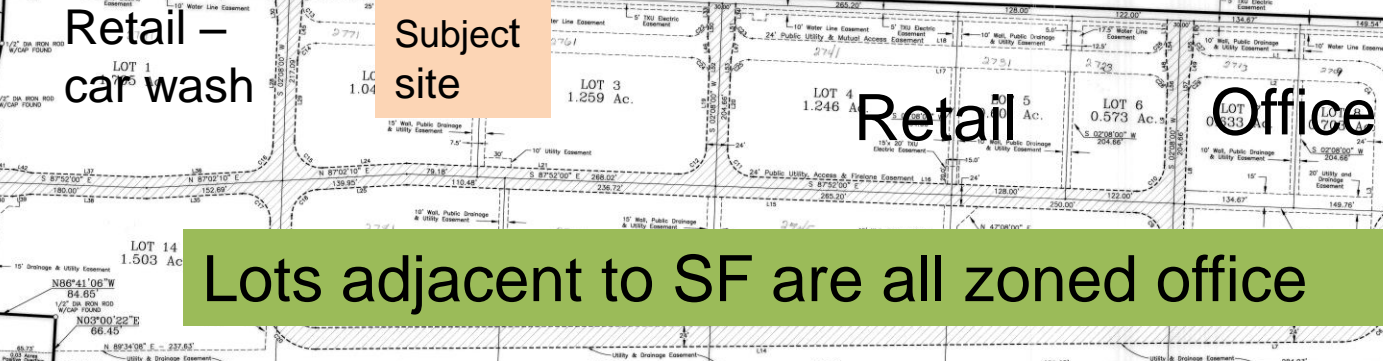
- Have worked diligently to fill part or all of the remaining 1.76 acres
- Have rejected offers for auto service as historical providers did not fit area
- Approached by Honest 1 Auto Service
- After extensive research on their operations, philosophy, and ownership, we agreed to a contract and are now pursuing both zoning and SUP
- Requesting approx. 28,600 SF of site to be zoned C-2 for the Honest 1 project



Site Realities

- Staff report acknowledges proposal will not result in over concentration of commercial land uses in the area
- Virginia Pkwy soon to be widened to McKinney's only 6 lane divided thoroughfare from Hwy 75 westward
- Plus, subject property is bookended by collector roads, contributing to traffic and commercial support characteristics
- Strong design, landscape, & services does create a more intense commercial area; "neighborhood orientated auto services" are less intensive than "old car repair shops" of the past
- No objections

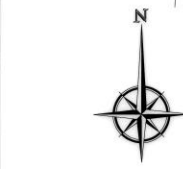
VIRGINIA PARKWAY (FM 3038) (VARIABLE WIDTH R/W)



Lots adjacent to SF are all zoned office

Vertical text on the left side of the plat, including 'CALLED FOR RECORD...', 'ON THE...', 'DEPT. FILE #...', 'RECORDED AT...', and 'BY...'

Vertical text on the right side of the plat, including 'N-7153.99611', 'E-2324.47330', 'MAD 89 14170', 'Projection: Texas North Central Zone', and '177' DA. IRON ROD W/SP FOUND (CM)'.



SURVEYOR'S CERTIFICATE: That I, Lawrence H. Ringley, do hereby certify that I have prepared this plat and the field notes shown hereon from an original survey of the land, and this plat is a true, correct and accurate representation of the physical evidence found at the time of the survey...



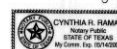
DATED this 14th day of August, 2001. Surveyed on the ground January 22, 2001. Signature of Lawrence H. Ringley, Surveyor, State of Texas, No. 4701.

STATE OF TEXAS COUNTY OF COLLIN OWNERS' CERTIFICATE: WHEREAS, TURBENTINE FAMILY PARTNERSHIP, LTD is the owner of a certain 13.543 acre tract situated in the W.D. THOMPSON SURVEY, ABSTRACT NO. 891, City of McKinney, Collin County, Texas...

BEGINNING at the North end of a right-of-way corner clip between the South right-of-way line of the 3038 (between Virginia Parkway) as established by Survey of any Condominiums recorded in Volume 730 Page 448 of the Land Records of Collin County, Texas; with the East right-of-way line of Jordan Road as established by Survey of any Condominiums recorded in Volume 730 Page 448 of the Land Records of Collin County, Texas; to a point of a certain 25.4123 x 25.4123 x 25.4123 x 25.4123 feet square...

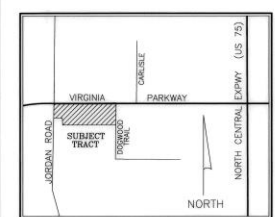
STATE OF TEXAS COUNTY OF COLLIN DEDICATION: That I, SCOTT TURBENTINE, Member, TURBENTINE FAMILY PARTNERSHIP, LTD and TURBENTINE FAMILY PARTNERSHIP MANAGEMENT, LLC, General Partner, do hereby dedicate this land, designating the herein described tract as VIRGINIA PARKWAY PROFESSIONAL CENTER SOUTH, LOTS 1 THRU 14, BLOCK "A", an Addition to the City of McKinney, Collin County, Texas...

WITNES MY HAND AND SEAL OF OFFICE, this 14th day of August, 2001. Signature of Scott Turbentine, Member, TURBENTINE FAMILY PARTNERSHIP, LTD and TURBENTINE FAMILY PARTNERSHIP MANAGEMENT, LLC, General Partner.



STATE OF TEXAS COUNTY OF COLLIN CURVE TABLE: Table with columns for CURVE NUMBER, ARC LEN, CHORD LEN, CHORD BEARING, DELTA ANGLE, TANGENT. Lists curves 1 through 14.

STATE OF TEXAS COUNTY OF COLLIN LINE TABLE: Table with columns for LINE NO., BEARING, DISTANCE. Lists lines 1 through 14.



APPROVED and ACCEPTED: Signature of Don Dyer, Mayor, City of McKinney, Texas, dated 9/6/01. RECORD PLAT VIRGINIA PARKWAY PROFESSIONAL CENTER SOUTH BEING 15.545 AC. SITUATED IN THE W.D. THOMPSON SURVEY ABSTRACT NO. 891 CITY OF MCKINNEY COLLIN COUNTY, TEXAS



Honest 1 - Background/Overview

- Founded 2005; Headquartered in Phoenix
- Currently 60+ locations nationwide
 - Targeting 100+ locations by 2018
- 382 million registered vehicles in US
 - 70% out of warranty; Ave age: 11 + years
 - \$40 billion market for auto services from non-dealers
- As vehicles last longer and are more expensive, the need for high quality / cost-effective maintenance increases



Mission Statement

“The auto care industry will be driven by a culture of exceptional service, exceptional quality and exceptional value, and the Honest-1 organization will lead the way.

The H-1 organization, at every level of its operations, will be the epitome of professional auto care knowledge, with a commitment to honesty, integrity and eco-friendly leadership. This exceptional service, quality and value culture will be promoted, integrated and expected from everyone in our organization and nothing less will be acceptable. We want to change the world and make a difference. We want to have fun while we do this and we have to make money.”



Why Consumers Choose Honest-1

- ✓ Full 3 yr / 36,000 Mile Warranty
- ✓ Free 24hr Roadside Assistance
- ✓ Complimentary Customer Shuttle
- ✓ ESA Certified Eco-Friendly
- ✓ All Makes & Models
- ✓ Same-Day Service On Most Vehicles
- ✓ Comprehensive Vehicle Inspection
- ✓ Family Friendly Facilities
- ✓ Children's Play Areas
- ✓ No Appointment Needed
- ✓ Internet Cafe & Free Wifi
- ✓ Complimentary Beverages
- ✓ Free Local Pick-Up & Delivery
- ✓ Discounted Rental Cars



Summary of Services

- ✓ Comprehensive Veh Inspection
- ✓ Factory Recommended Maintenance
- ✓ Tune-up Service
- ✓ Under-car Service
- ✓ Check-engine Light
- ✓ Brake Repair
- ✓ Brake Fluid Exchange
- ✓ Engine Repairs
- ✓ Oil Change & Lube
- ✓ A/C Service
- ✓ ECO Service
- ✓ Fuel Service
- ✓ Cooling System
- ✓ Transmission Service
- ✓ Preventative Maintenance
- ✓ Shocks / Struts
- ✓ Tires / Batteries

note: Honest-1 does not perform engine or transmission overhaul/re-build services on site



Family-Friendly / Neighborhood Oriented

- 65% of all auto repair purchases are made by women
- Our facilities have:
 - Leather seating / family friendly big screen TV
 - Children's play area
 - Free Wi-Fi
 - Tiled / exceptionally clean restrooms
 - Animations to explain repairs w/o having to go into bays
- A commitment to honesty and integrity in all our customer interactions



Home of Eco-Friendly Auto Care®

- Honest-1 is the only national automotive repair company to be 100% certified eco-friendly
- ESA® (Environmentally Sustainable Actions) Certification Program
 - Pollution prevention
 - Recycling (Safety-Kleen)
 - Resource conservation
 - Eco-friendly service offerings



Lobby / Childrens Play Area





Lobby





Restrooms





Shop Bays – organized & clean





Car care facility trend

- Neighborhood friendly, more accessible for users
- Blends with existing development
- Masonry screening in place adjacent to residential
- Clean facilities & image; good site layout
- Attractive, inviting architecture Per architectural Ord
- Quality landscape, attractive, meets landscape Ord
- Site plan blends with retail and office corridor



Car care on Eldorado Pkwy – backs to residential





Car care on Eldorado Pkwy – side view



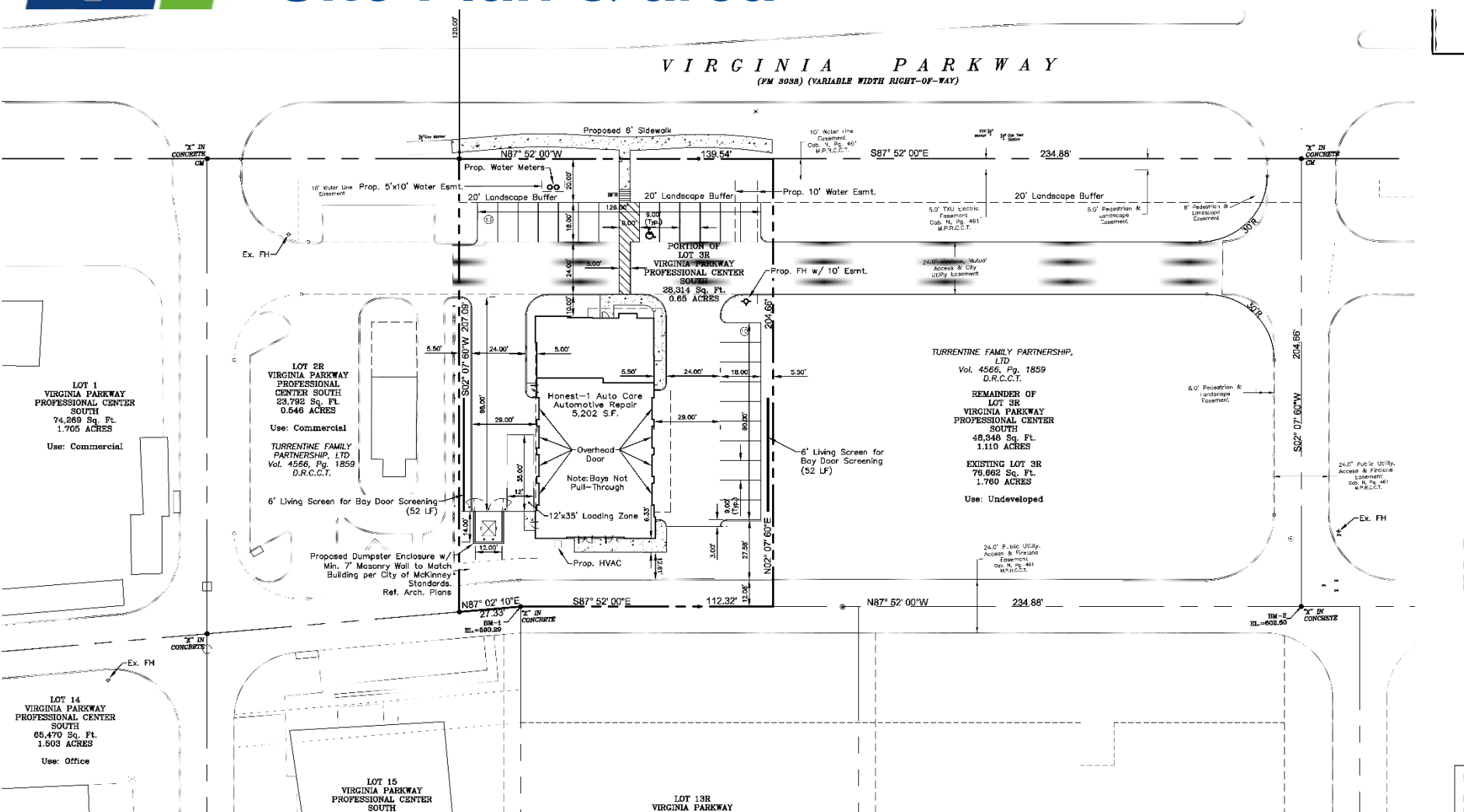


Car care on Eldorado Pkwy – adjacent to retail and office





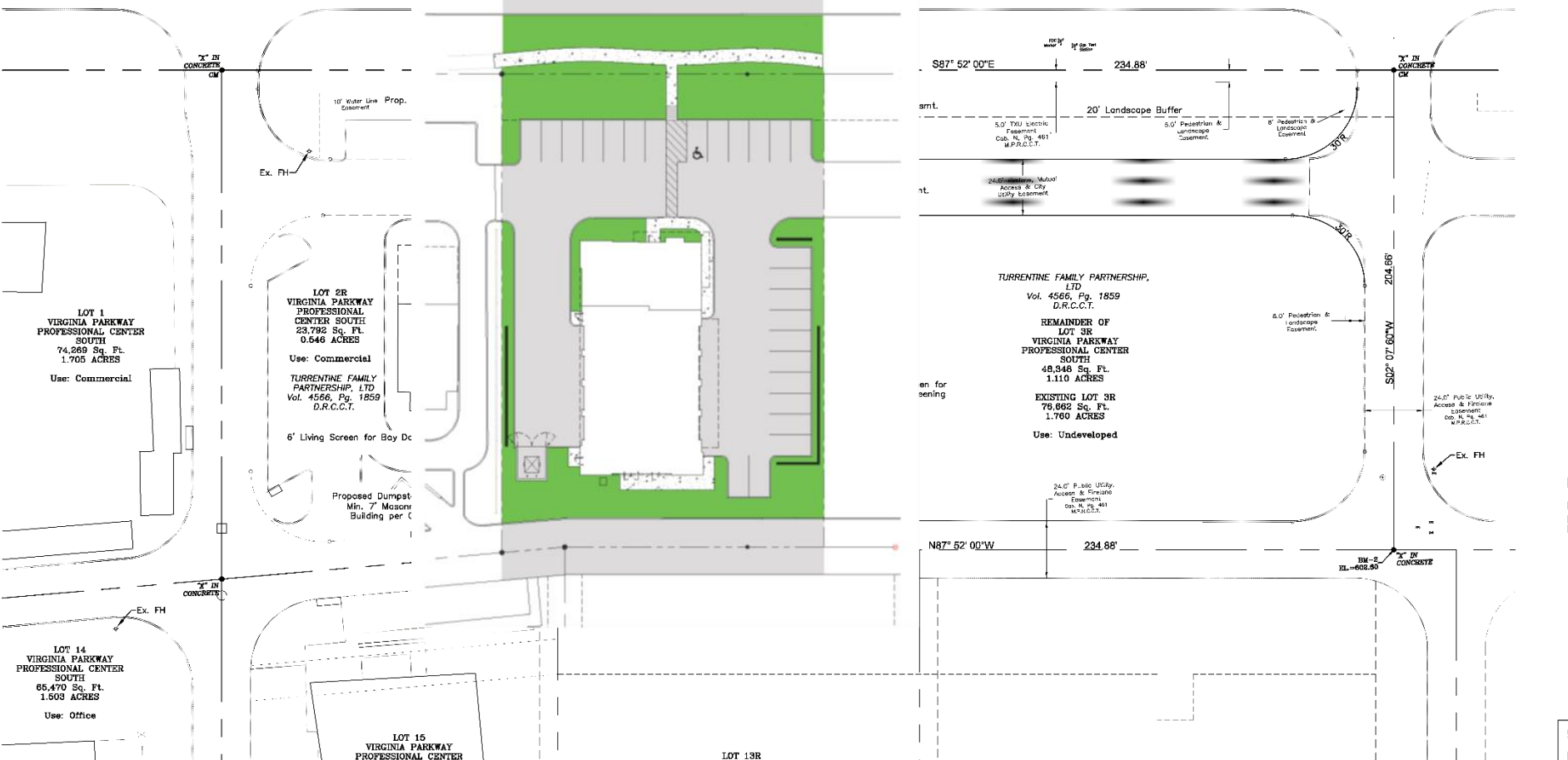
Site Plan & area



VIRGINIA PARKWAY

PARKWAY

WIDTH RIGHT-OF-WAY



LOT 1
VIRGINIA PARKWAY
PROFESSIONAL CENTER
SOUTH
74,289 Sq. Ft.
1.705 ACRES
Use: Commercial

LOT 2R
VIRGINIA PARKWAY
PROFESSIONAL CENTER SOUTH
23,792 Sq. Ft.
0.546 ACRES
Use: Commercial

TURRENTINE FAMILY PARTNERSHIP, LTD
Vol. 4566, Pg. 1859
D.R.C.C.T.

6' Living Screen for Bay Dc

Proposed Dumpst
Min. 7' Messrs
Building per C

TURRENTINE FAMILY PARTNERSHIP, LTD
Vol. 4566, Pg. 1859
D.R.C.C.T.

REMAINDER OF
LOT 3R
VIRGINIA PARKWAY
PROFESSIONAL CENTER
SOUTH
48,948 Sq. Ft.
1.110 ACRES

EXISTING **LOT 3R**
76,862 Sq. Ft.
1.760 ACRES

Use: Undeveloped

LOT 14
VIRGINIA PARKWAY
PROFESSIONAL CENTER
SOUTH
65,470 Sq. Ft.
1.503 ACRES
Use: Office

LOT 15
VIRGINIA PARKWAY
PROFESSIONAL CENTER
SOUTH

LOT 13R
VIRGINIA PARKWAY

S87° 52' 00"E 234.88' 7" IN CONCRETE

20' Landscape Buffer

5.0' TRU UTILITY Easement
COP. No. 19, 461
M.P.R.O.C.T.

6.0' Pedestrian & Landscape Easement

6' Pedestrian & Landscape Easement

24.0' Common, Mutual Access & City Utility Easement

6.0' Pedestrian & Landscape Easement

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bering

24.0' P. BIG UTILITY Access & Service Easement
COP. No. 19, 461
M.P.R.O.C.T.

N87° 52' 00"W 234.88' 7" IN CONCRETE

IN-2 EL. = 402.80

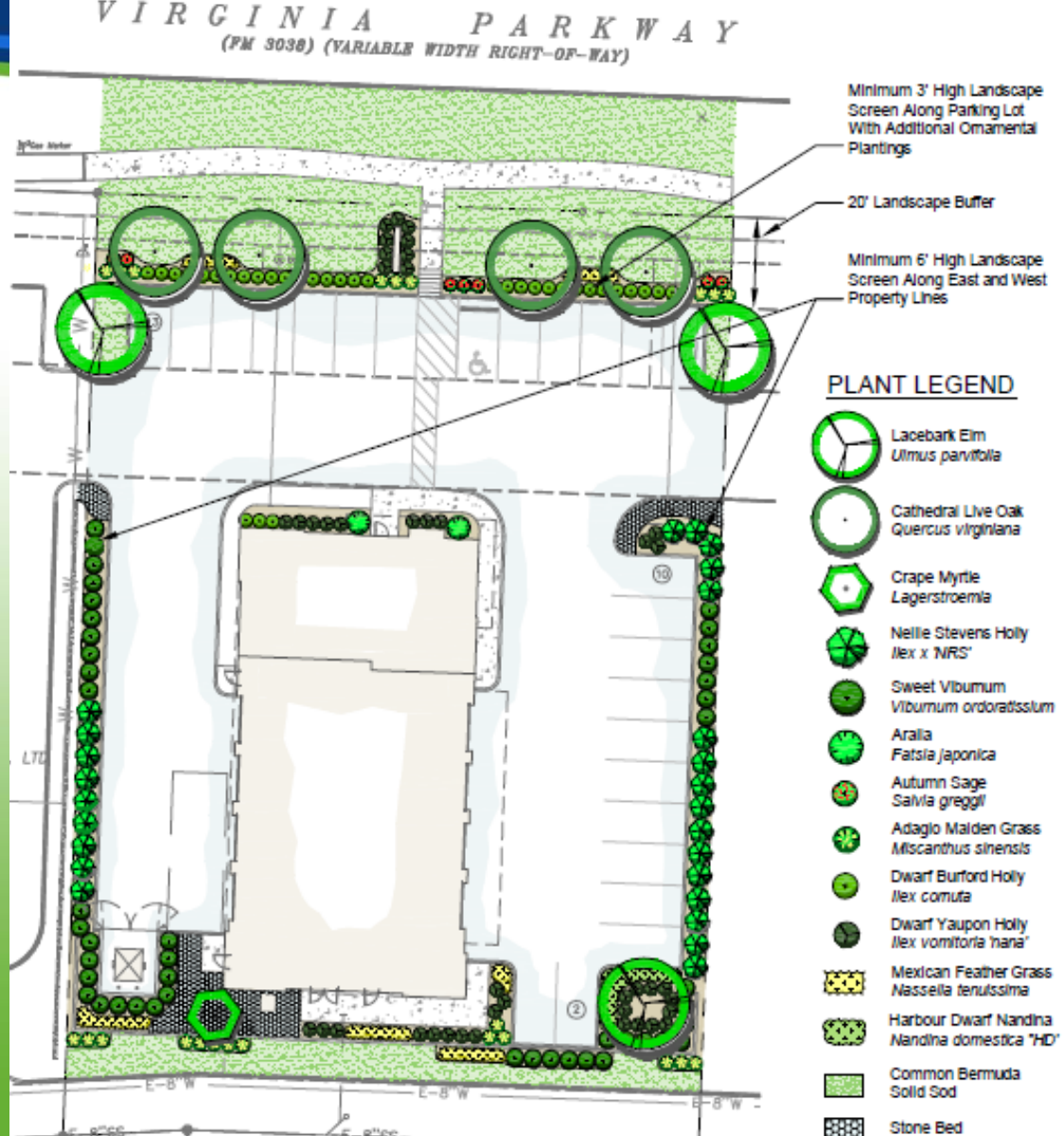
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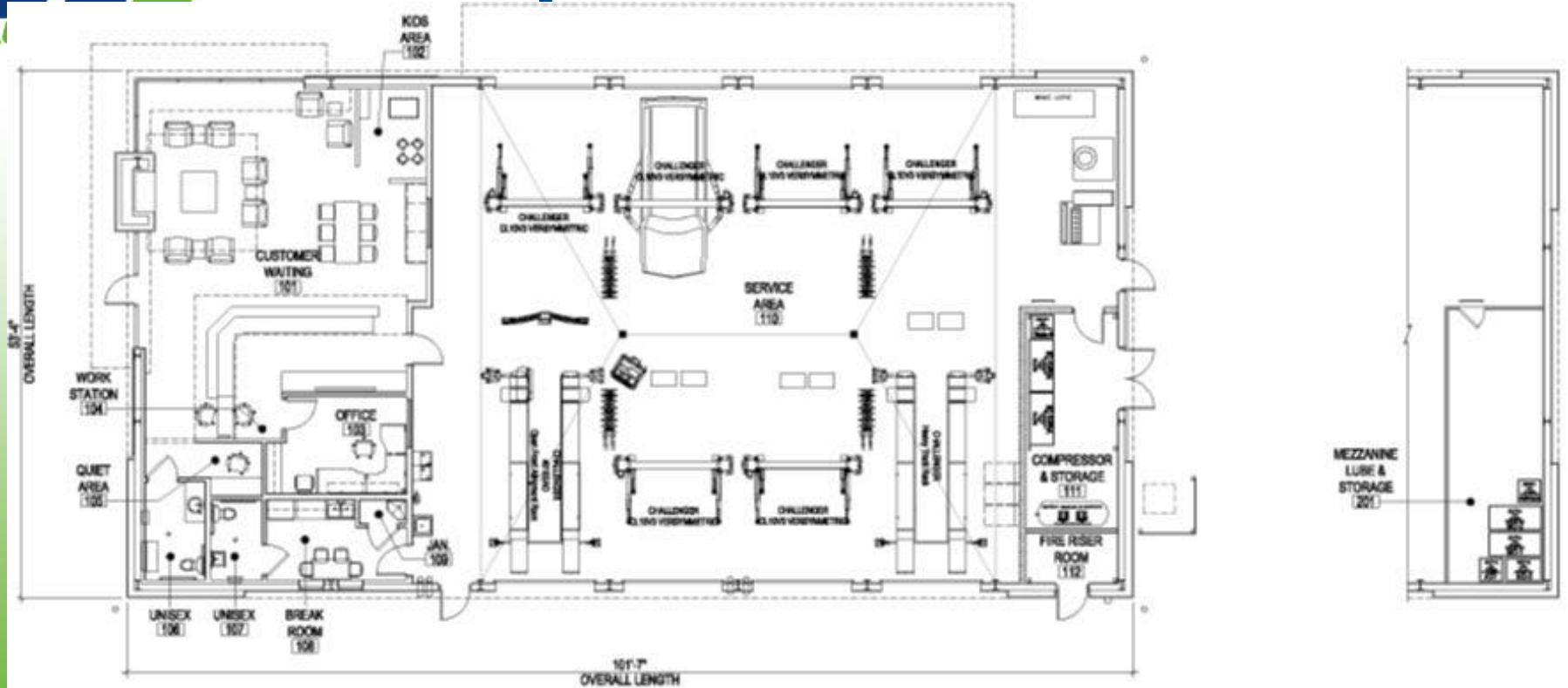


Preliminary Landscape Plan

9-28-16



Floor plan



OFFICE - 1,506 SF

SHOP - 3,696 SF

GROUND LEVEL FLOOR PLAN - 5,202 SF

MEZZANINE PLAN



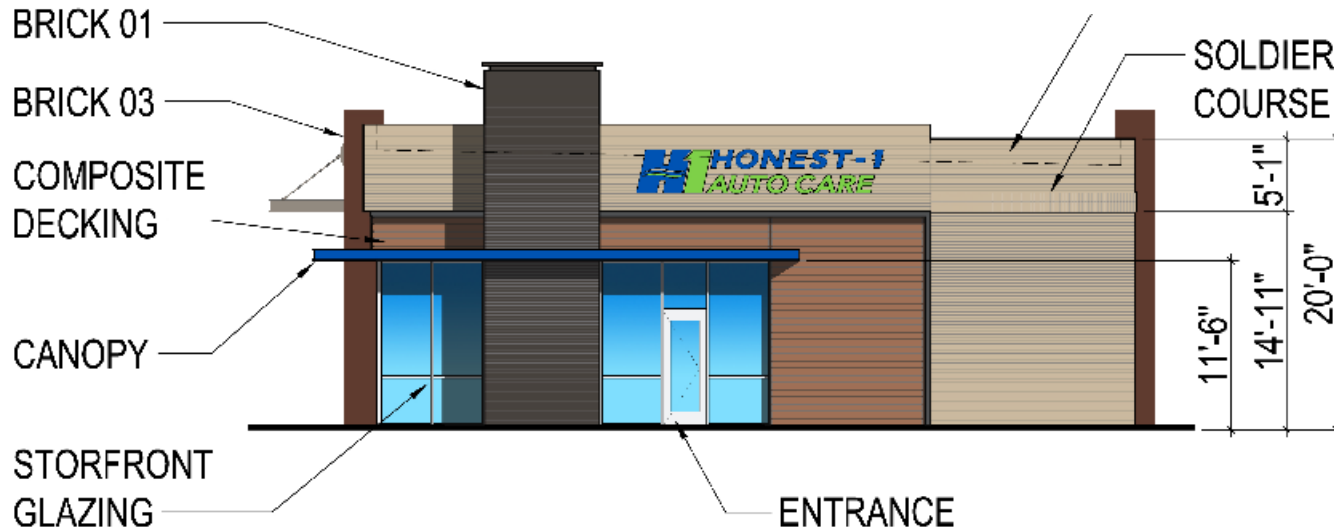
Proposed Elevation – Perspective



PERSPECTIVE ELEVATION

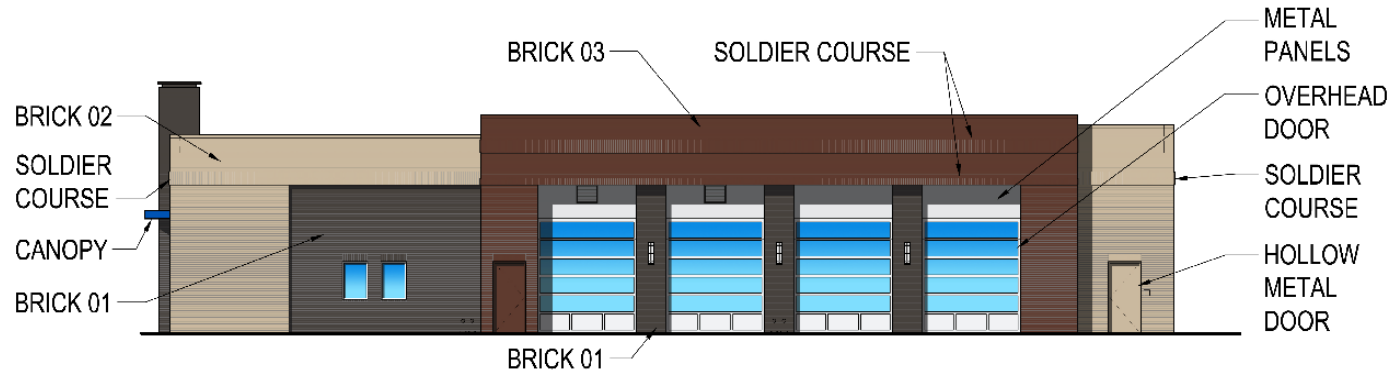
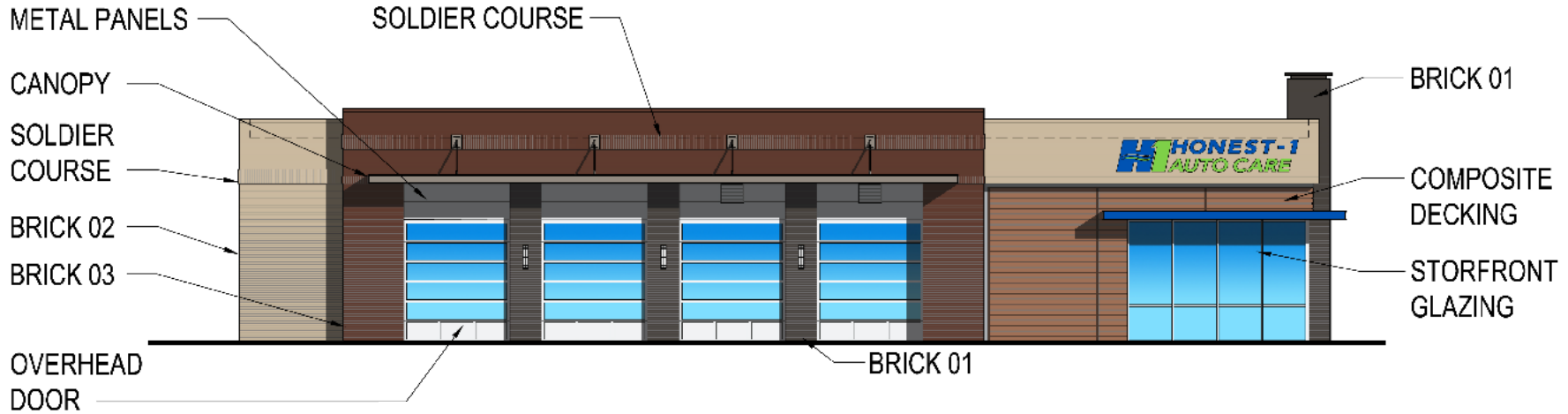


Proposed S / N Elevations





Proposed E / W Elevations





Request Favorable Recommendation

- Quality project, Neighborhood friendly design
- Blends with other services & retail
- Virginia Pkwy becoming 6 lane major thoroughfare
- Quality jobs – 10 initial; 15 as business grows
- Attractive, inviting architecture with extensive, quality landscaping and bay screening
- Positive P & Z recommendation



Eco-Friendly Auto Care®



THE HOME OF
Eco-Friendly Auto Care®





Transition to SUP issue



City Council Presentation

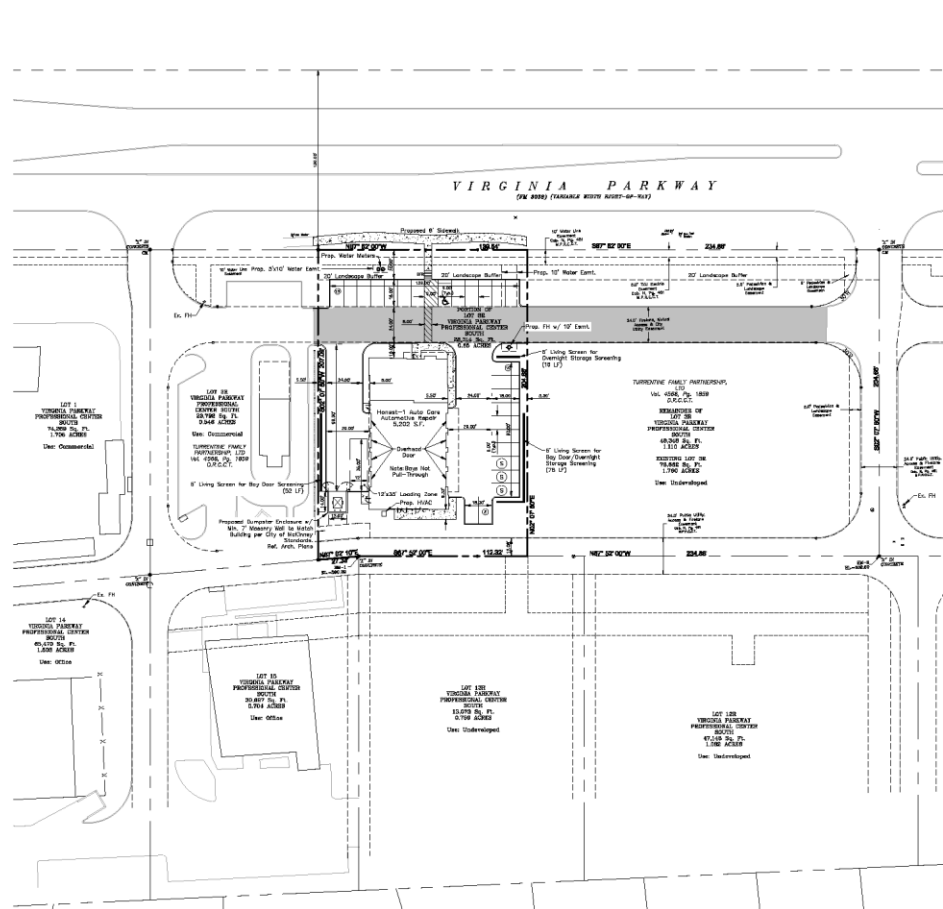
for

Special Use Permit (SUP)

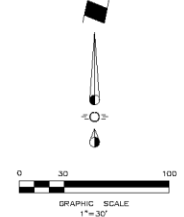
HONEST - 1 Auto Care

October 4, 2016

SUP
Exhibit



VICINITY MAP
 NTS



SYNOPSIS

Location:	Lot 3B Virginia Parkway Professional Center South
Current Zoning:	C1 - Neighborhood Commercial District
Proposed Zoning:	C2 - Local Commercial District w/ Sup
Proposed Use:	Auto Repair Facility
Lot Area:	0.85 Acres (28,314 sq ft)
Building Area:	5,200 sq ft
Lot Coverage:	18.37% (Total Bldg Area 5,200 sq ft)
Floor Area Ratio:	0.18 : 1
Building Height:	30'-0"
Required Parking:	Office: 1:400 (1,206/202) = 6 Spaces Auto Repair: 2 Spaces/Bay (312) = 16 Spaces Overnight Parking 3 Required
Parking Required Total:	25 Parking Spaces (1 Accessible Space)
Parking Provided Total:	25 Parking Spaces (1 Accessible Space)

- LEGEND**
- Firelane
 - Proposed Sidewalk
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Overnight Storage Space
 - Barrier Free Ramp

NOTE:
 Overnight parking is provided within the bays and by the three designated on-site spaces.

CITY OF MCKINNEY STANDARD NOTES:
 Mechanical and heating and air conditioning equipment in non-resident uses shall be screened from view from the public right-of-way and from adjacent residential properties.
 The Lighting for the subject property will be constructed in conformance with Chapter 58 of the City of McKinney Code of Ordinances.
 The Sanitation Container Screening Walls will be Brick Masonry, Stone Masonry, or Other architectural Masonry Finish, including A Metal Gate, Primed and Painted. And the Sanitation Container Screening Walls, Gate, and that Site will be Constructed in accordance with the City of McKinney Design Specifications. The Sanitation Screening Walls will be a Minimum of 7' in Height.

ENGINEER:
 Cross Engineering Consultants, Inc.
 131 S. Tennessee St.
 McKinney, Texas 75069
 Phone (972) 562-4400
 Fax (972) 562-4471

ARCHITECT:
 Multitech Architects
 2821 West 7th Street, Suite 400
 Fort Worth, Texas 76127
 Phone (817) 877-5571
 Fax (817) 877-4245

SURVEYOR:
 Ripley & Associates, Inc.
 201 S. Tennessee Street
 McKinney, Texas 75069
 Phone (972) 542-1266
 Fax (972) 542-8882

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
 THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

Issue Dates	Revisions	Drawn
07/25/2014	1	
08/04/2014	2	
08/11/2014	3	
	4	
	5	
	6	

CROSS ENGINEERING CONSULTANTS
 131 S. Tennessee St.
 McKinney, Texas 75069
 (972) 562-4400
 Tami P. Ripley, P.E.
 Drawn By: C.R.C.L. Checked By: C.R.C.L. Scale: 1" = 30'

SUP SITE PLAN
HONEST-1 AUTO CARE
 G&S MACCHINA, LLC
CITY OF MCKINNEY, TEXAS

Sheet No.
SP
 Project No.
 16079



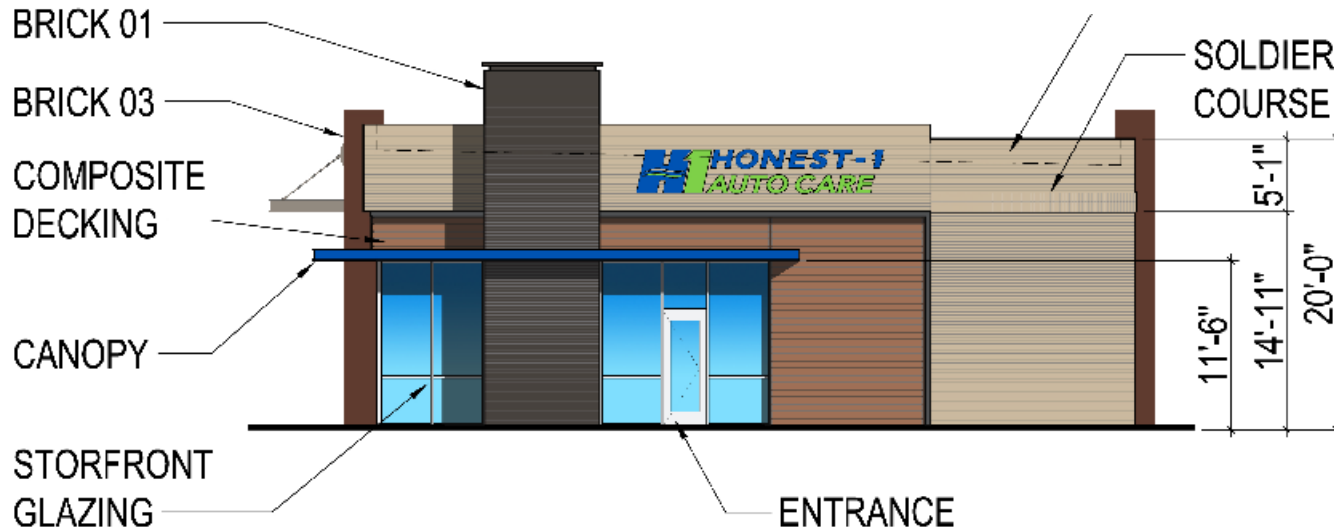
Proposed Elevation – Perspective



PERSPECTIVE ELEVATION

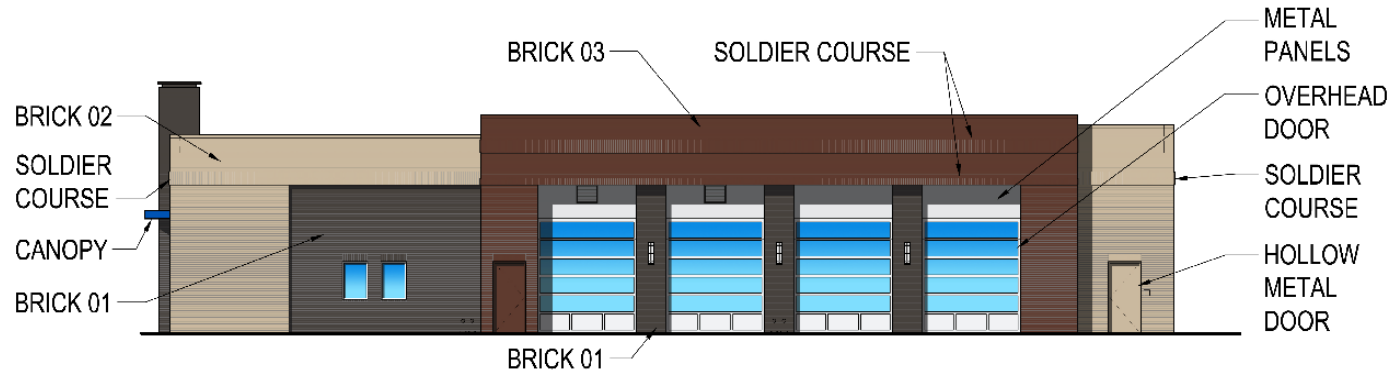
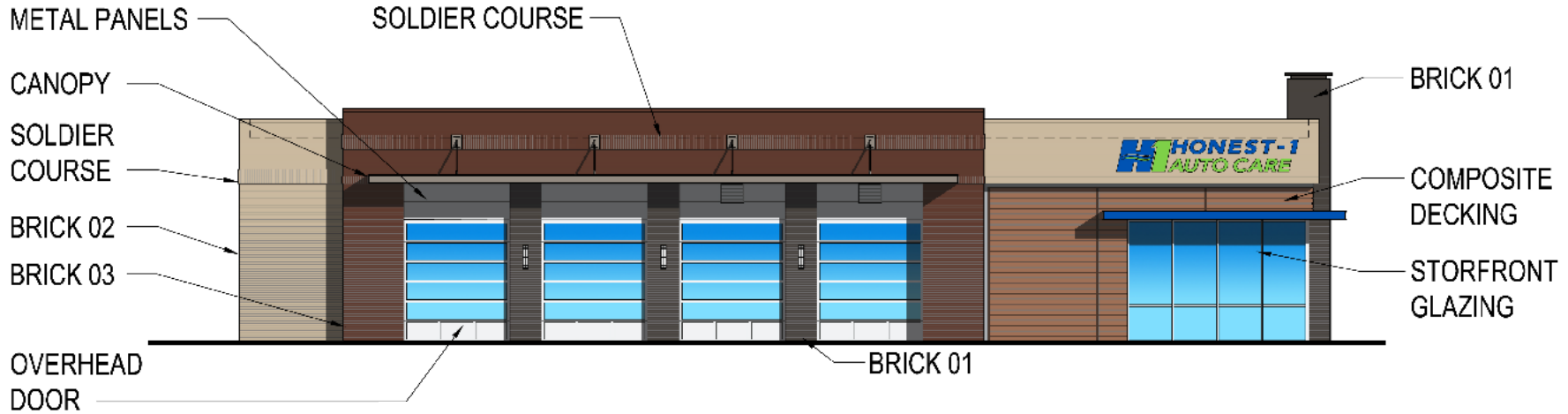


Proposed S / N Elevations





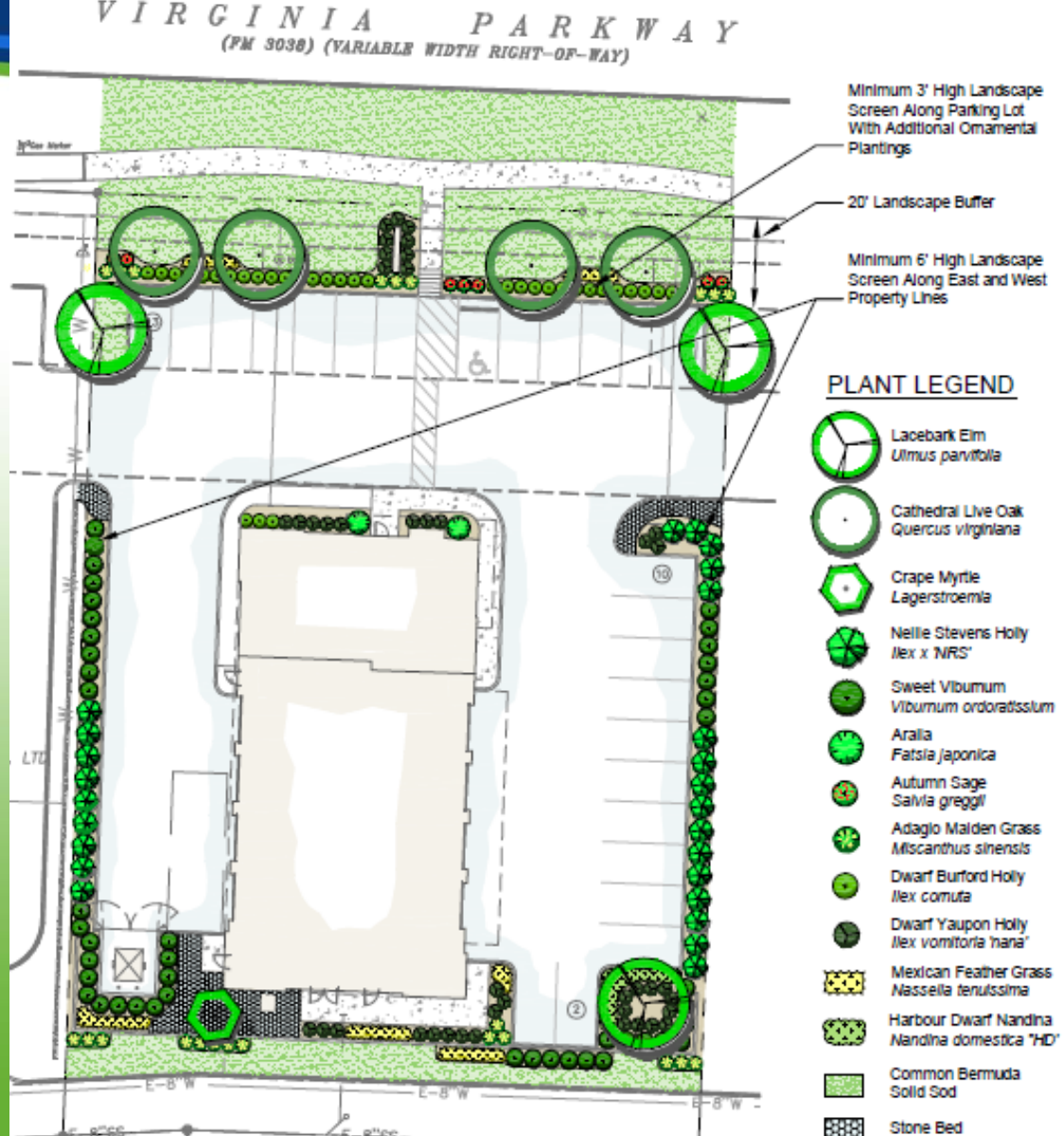
Proposed E / W Elevations





Preliminary Landscape Plan

9-28-16





- ✓ SUP Plan meets all requirements
- ✓ Landscape Plan meets and exceeds requirements, including screening standards
- ✓ Architectural plans will meet all requirements
- ✓ Project fits needs for area, blends with adjacent project, & is neighborhood friendly
- ✓ Positive P & Z recommendation