

NOTES:

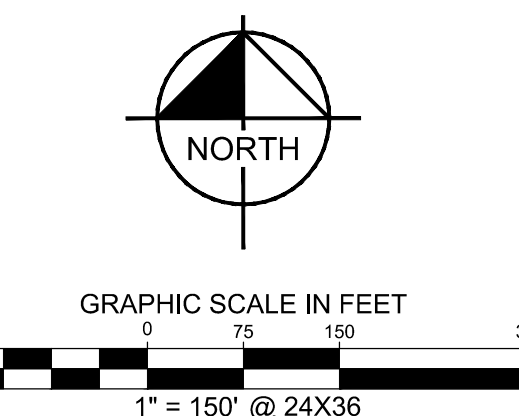
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99985146047.
- All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.
- See Sheet 2 for Line and Curve Data.
- Traffic calming devices to be provided along this street. The selected devices shall be specified, reviewed and approved through the engineering design process.
- All common areas hereby dedicated to and will be owned and maintained by the Meridian at Gateway Homeowner's Association.
- The owners of Block B, Lot CA-B1 of this plat shall be solely responsible for the maintenance of the storm water detention system. The owner shall further hold the City of McKinney harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced system, although it retains the right to enter upon the easement for public purposes.

FLOOD STATEMENT:

According to Panel No. 48085C0270J, dated June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone A, which is defined as a special flood hazard area inundated by 100-year flood, no base flood elevations determined. For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

LEGEND

| | |
|--------------|--|
| ADS | ALUMINUM DISK IN CONCRETE SET |
| IRFC | 5/8" IRON ROD FOUND WITH PLASTIC CAP |
| IRSC | 5/8" IRON ROD FOUND WITH PLASTIC CAP STAMPED "KHA" SET |
| IRF | IRON ROD FOUND |
| HOA | HOMEOWNER'S ASSOCIATION |
| MFFE | MINIMUM FINISHED FLOOR ELEVATION |
| W.E. | WATER EASEMENT |
| P.W.E. | PRIVATE WATER EASEMENT |
| O.P.R.C.C.T. | OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS |
| L.R.C.C.T. | LAND RECORDS OF COLLIN COUNTY, TEXAS |
| P.R.C.C.T. | PLAT RECORDS OF COLLIN COUNTY, TEXAS |
| R.O.W. | RIGHT OF WAY |
| P.O.B. | POINT OF BEGINNING |



**PRELIMINARY-FINAL REPLAT
MERIDIAN AT GATEWAY**

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194, PLAT RECORDS, COLLIN COUNTY, TEXAS
AND
BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER SURVEY, ABSTRACT NO. 68
CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

- 183 RESIDENTIAL LOTS**
- 4 COMMON AREAS**
- 1 REMAINDER LOT**

Kimley»Horn

| | | | | | |
|--|----------|-----------------|-----------|---|-----------|
| 5750 Genesis Court, Suite 200 Frisco, Texas 75034 | | FIRM # 10193822 | | Tel. No. (972) 335-3580 Fax No. (972) 335-3779 | |
| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
| 1" = 150' | APS | KHA | JULY 2017 | 067125006 | 1 OF 1 |

**PRELIMINARY FINAL REPLAT
FOR REVIEW PURPOSES ONLY**

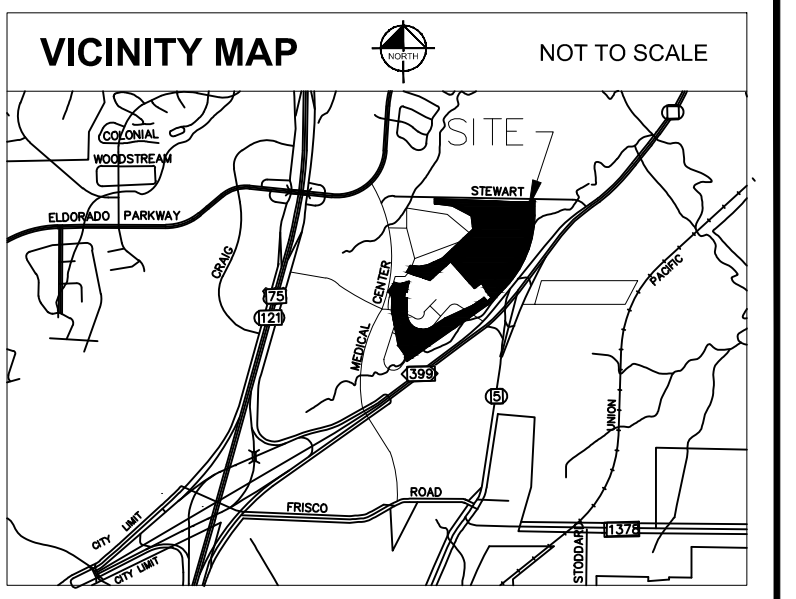
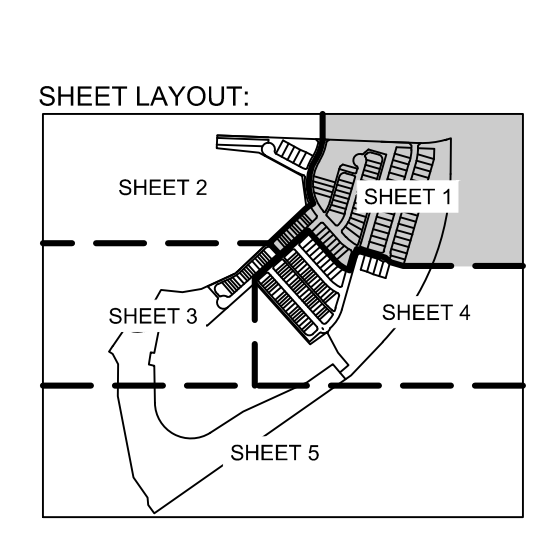
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER:
MCKINNEY FAIRWAYS, LLC
C/O LYND RESIDENTIAL PROPERTIES
8000 IH-10 West, Suite 1200
San Antonio, Texas 78230
Tel. No. (210) 733-6125
Fax No. (210) 733-6178
Contact: Samuel Kasparck

APPLICANT:
WILBOW CORPORATION
4131 N. Central Expressway, Suite 990
Dallas, Texas 75204
Tel. No. (972) 865-1343
Contact: Jennifer Rabon, VP Development

ENGINEER:
KIMLEY-HORN AND ASSOC. INC.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Tel. No. (972) 335-3580
Fax No. (972) 335-3779
Contact: Craig Mallan, PE

DRAWING LABEL: 1742017171AM LAST SAVED: 7/27/2017 11:32 AM
D:\WORK\PROJECTS\1742017171\1742017171\FINAL REPLAT.DWG PLOTTED BY:



LEGEND

| | |
|--------------|--|
| ADS | ALUMINUM DISK IN CONCRETE SET |
| IRFC | 5/8" IRON ROD FOUND WITH PLASTIC CAP |
| IRSC | 5/8" IRON ROD FOUND WITH PLASTIC CAP STAMPED "KHA" SET |
| IRF | IRON ROD FOUND |
| HOA | HOMEOWNER'S ASSOCIATION |
| MFFE | MINIMUM FINISHED FLOOR ELEVATION |
| W.E. | WATER EASEMENT |
| P.W.E. | PRIVATE WATER EASEMENT |
| O.P.R.C.C.T. | OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS |
| L.R.C.C.T. | LAND RECORDS OF COLLIN COUNTY, TEXAS |
| P.R.C.C.T. | PLAT RECORDS OF COLLIN COUNTY, TEXAS |
| R.O.W. | RIGHT OF WAY |
| P.O.B. | POINT OF BEGINNING |

- NOTES:**
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
 - All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99985146047.
 - All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.
 - See Sheet 2 for Line and Curve Data.
 - Traffic calming devices to be provided along this street. The selected devices shall be specified, reviewed and approved through the engineering design process.
 - All common areas hereby dedicated to and will be owned and maintained by the Meridian at Gateway Homeowner's Association.
 - The owners of Block B, Lot CA-B1 of this plat shall be solely responsible for the maintenance of the storm water detention system. The owner shall further hold the City of McKinney harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced system, although it retains the right to enter upon the easement for public purposes.

STATE PLANE COORDINATES
 N=7,114,143.39
 E=2,541,182.79

STATE OF TEXAS
 CALLED 18.47 ACRES
 VOL. 443, PG. 348
 D.R.C.C.T.

FLOOD STATEMENT:

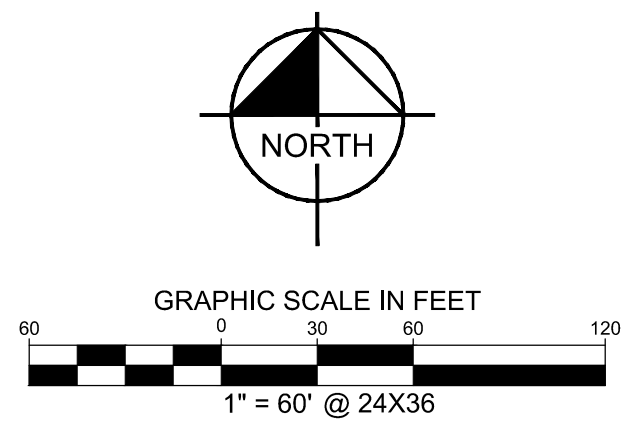
According to Panel No. 48085C0207J, dated June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone A, which is defined as a special flood hazard area inundated by 100-year flood, no base flood elevations determined. For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

The purpose of this replat is to divide one non-residential lot into a single family subdivision.

**PRELIMINARY-FINAL REPLAT
 MERIDIAN AT GATEWAY**

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194, PLAT RECORDS, COLLIN COUNTY, TEXAS
 AND
 BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER SURVEY, ABSTRACT NO. 68
 CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

- 183 RESIDENTIAL LOTS
- 4 COMMON AREAS
- 1 REMAINDER LOT



Kimley»Horn

| | | | | | |
|--|----------|-----------------|-----------|---|-----------|
| 5750 Genesis Court, Suite 200 Frisco, Texas 75034 | | FIRM # 10193822 | | Tel. No. (972) 335-3580 Fax No. (972) 335-3779 | |
| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
| 1" = 60' | APS | KHA | JULY 2017 | 067125006 | 1 OF 6 |

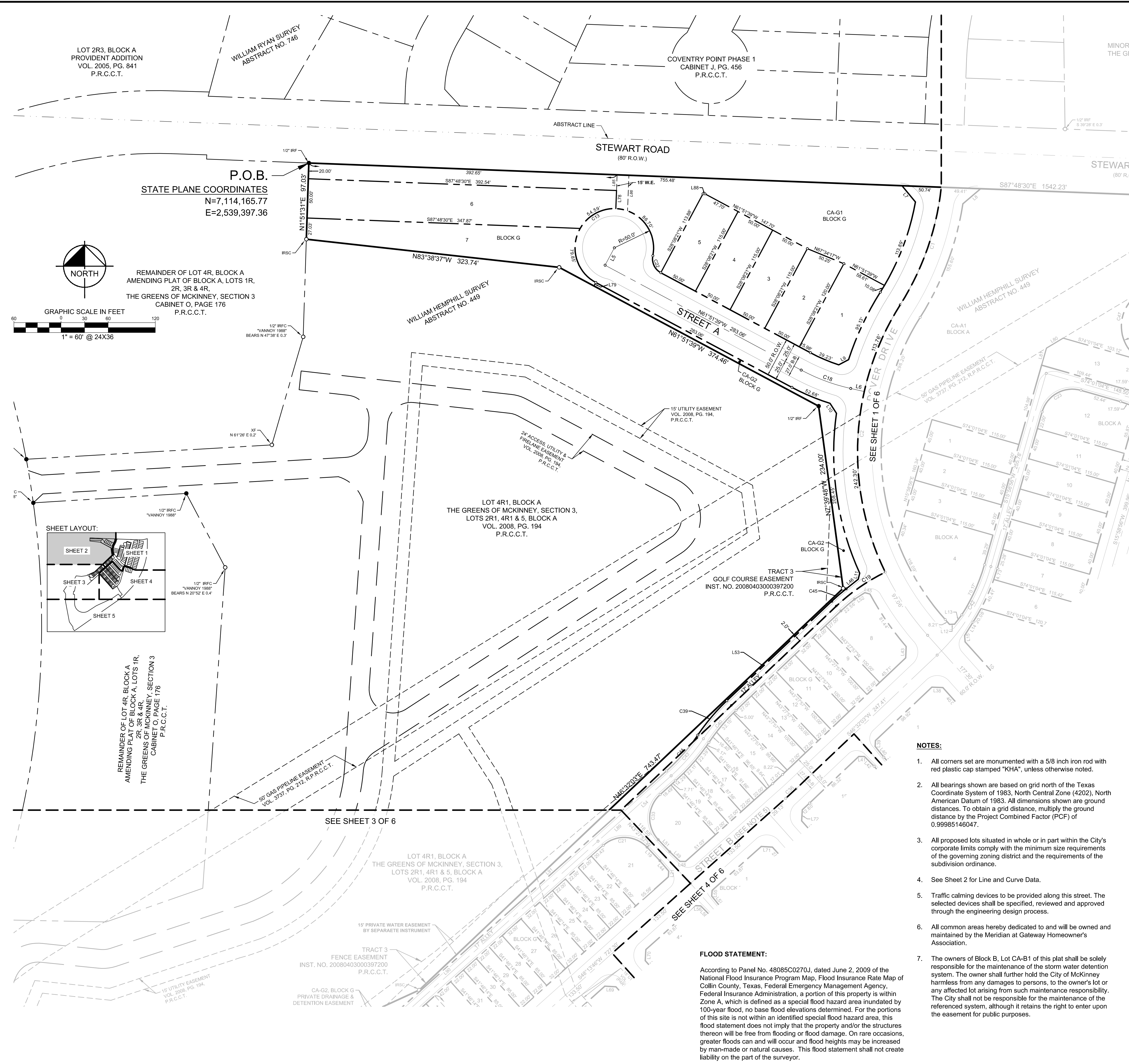
**PRELIMINARY FINAL REPLAT
 FOR REVIEW PURPOSES ONLY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER:
 MCKINNEY FAIRWAYS, LLC
 C/O LYND RESIDENTIAL PROPERTIES
 8000 IH-10 West, Suite 1200
 San Antonio, Texas 78230
 Tel. No. (210) 733-6125
 Fax No. (210) 733-6178
 Contact: Samuel Kasparck

APPLICANT:
 WILBOW CORPORATION
 4131 N. Central Expressway, Suite 990
 Dallas, Texas 75204
 Tel. No. (972) 865-1343
 Contact: Jennifer Rabon, VP Development

ENGINEER:
 KIMLEY-HORN AND ASSOC. INC.
 5750 Genesis Court, Suite 200
 Frisco, Texas 75034
 Tel. No. (972) 335-3580
 Fax No. (972) 335-3779
 Contact: Craig Malan, PE



| CURVE TABLE | | | | | CURVE TABLE | | | | | | |
|-------------|------------|--------|--------|---------------|-------------|-----|------------|--------|--------|---------------|--------|
| NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD | NO. | DELTA | RADIUS | LENGTH | CHORD BEARING | CHORD |
| C1 | 26°10'25" | 350.00 | 158.89 | S87°48'30"E | 158.50 | C25 | 90°00'00" | 40.00 | 62.83 | N23°06'47"E | 56.57 |
| C2 | 74°10'41" | 350.00 | 453.13 | S04°44'19"E | 422.14 | C26 | 90°00'00" | 20.00 | 31.42 | N60°58'56"E | 28.28 |
| C3 | 32°11'28" | 300.00 | 168.55 | S75°52'0"E | 166.34 | C27 | 31°00'10" | 20.00 | 10.82 | S00°28'51"W | 10.69 |
| C4 | 13°47'26" | 400.00 | 96.28 | N09°05'13"E | 96.28 | C28 | 31°00'10" | 20.00 | 10.82 | N68°30'59"W | 10.69 |
| C5 | 20°41'31" | 250.00 | 90.29 | S36°40'17"W | 89.80 | C29 | 100°47'21" | 50.00 | 87.96 | N65°51'31"E | 77.05 |
| C6 | 32°11'28" | 250.00 | 140.46 | N32°04'40"E | 138.62 | C30 | 15°46'43" | 50.00 | 13.91 | S12°05'46"E | 13.86 |
| C7 | 38°57'51" | 275.00 | 187.01 | N35°27'52"E | 183.43 | C31 | 89°56'46" | 20.00 | 31.40 | S86°47'59"E | 28.27 |
| C8 | 21°43'57" | 250.00 | 94.83 | S52°41'34"E | 94.26 | C32 | 90°00'00" | 40.00 | 62.83 | S86°49'36"E | 56.57 |
| C9 | 31°45'38" | 250.00 | 138.58 | S57°42'25"E | 136.81 | C33 | 91°41'43" | 40.00 | 64.02 | S02°22'55"W | 57.40 |
| C10 | 30°19'55" | 250.00 | 132.35 | S56°59'33"E | 130.81 | C34 | 74°15'49" | 50.00 | 64.81 | N78°54'49"W | 60.36 |
| C11 | 15°14'36" | 250.00 | 66.51 | S23°36'14"W | 66.32 | C35 | 163°29'37" | 50.00 | 142.68 | S48°53'23"E | 98.96 |
| C12 | 14°15'41" | 250.00 | 62.23 | N23°06'47"E | 62.07 | C36 | 1°41'43" | 600.00 | 17.75 | N47°22'55"W | 17.75 |
| C13 | 253°23'54" | 50.00 | 221.13 | S64°50'18"W | 80.18 | C37 | 58°57'53" | 40.00 | 41.17 | S76°29'59"W | 39.37 |
| C14 | 7°59'49" | 241.50 | 33.71 | S43°01'08"W | 33.68 | C38 | 90°00'00" | 40.00 | 62.83 | N29°10'04"W | 56.57 |
| C15 | 58°25'57" | 50.00 | 50.99 | N13°14'02"W | 48.81 | C39 | 12°42'11" | 258.50 | 57.31 | S40°10'58"W | 57.19 |
| C16 | 73°23'54" | 20.00 | 25.62 | N20°43'01"W | 23.90 | C40 | 12°42'11" | 250.00 | 55.43 | S40°10'58"W | 55.31 |
| C17 | 152°00'20" | 50.00 | 132.65 | N60°58'56"E | 97.03 | C41 | 33°06'39" | 2.00 | 1.16 | S32°01'10"W | 1.14 |
| C18 | 15°27'19" | 250.00 | 67.44 | S69°35'19"E | 67.23 | C42 | 30°33'07" | 250.00 | 133.31 | N11°15'30"E | 131.73 |
| C19 | 17°28'42" | 250.00 | 76.05 | S55°14'54"W | 75.75 | C43 | 14°23'54" | 250.00 | 62.82 | N41°01'49"E | 62.68 |
| C20 | 58°57'53" | 48.50 | 49.91 | S76°29'59"W | 47.74 | C44 | 14°23'54" | 241.50 | 60.69 | N41°01'49"E | 60.53 |
| C21 | 88°18'17" | 40.00 | 61.65 | N87°37'05"W | 55.73 | C45 | 5°22'39" | 258.50 | 24.26 | S49°13'23"W | 24.25 |
| C22 | 73°23'54" | 20.00 | 25.62 | S25°09'42"E | 23.90 | C46 | 90°00'00" | 48.00 | 75.40 | S03°13'46"W | 67.88 |
| C23 | 90°00'00" | 40.00 | 62.83 | S60°58'56"W | 56.57 | C47 | 163°49'47" | 50.00 | 142.97 | N24°29'55"E | 99.01 |
| C24 | 90°00'00" | 40.00 | 62.83 | N60°58'56"E | 56.57 | | | | | | |

| LINE TABLE | | LINE TABLE | | LINE TABLE | | LINE TABLE | |
|------------|-------------|------------|-----|-------------|--------|------------|-------------|
| NO. | BEARING | LENGTH | NO. | BEARING | LENGTH | NO. | BEARING |
| L1 | S02°11'30"W | 55.04 | L21 | S03°48'47"W | 7.14 | L41 | N89°04'29"W |
| L2 | S74°01'04"E | 25.00 | L22 | S59°33'04"W | 7.25 | L42 | N44°41'01"W |
| L3 | S06°33'38"W | 20.06 | L23 | N76°52'49"W | 17.59 | L43 | N02°34'01"E |
| L4 | S54°56'47"W | 12.87 | L24 | S71°09'19"E | 17.59 | L44 | S40°36'12"E |
| L5 | S28°08'21"W | 25.00 | L25 | S27°35'12"E | 7.25 | L45 | N75°26'50"W |
| L6 | N77°18'58"W | 17.70 | L26 | N24°18'29"E | 13.17 | L46 | N51°25'03"E |
| L7 | N39°32'33"W | 26.80 | L27 | N69°14'58"E | 7.08 | L47 | S75°48'58"E |
| L8 | S49°40'37"W | 29.60 | L28 | S18°34'57"W | 18.08 | L48 | S88°57'43"E |
| L9 | N62°03'56"E | 14.19 | L29 | S25°10'13"E | 7.22 | L49 | S46°09'13"E |
| L10 | S32°50'32"E | 15.09 | L30 | S47°00'04"W | 28.38 | L50 | N00°09'52"E |
| L11 | N13°32'23"E | 7.89 | L31 | N42°48'30"W | 28.28 | L51 | S43°27'57"E |
| L12 | S88°01'48"W | 6.41 | L32 | S65°20'12"W | 15.17 | L52 | N57°08'35"E |
| L13 | S37°53'07"W | 15.08 | L33 | N19°23'48"W | 14.69 | L53 | N46°32'03"E |
| L14 | S32°09'35"W | 20.18 | L34 | N64°45'05"E | 6.59 | L54 | S48°13'46"W |
| L15 | S04°50'01"E | 7.99 | L35 | N22°23'09"W | 7.84 | L55 | S04°37'58"W |
| L16 | N27°35'12"W | 7.25 | L36 | S66°28'46"E | 15.55 | L56 | N88°13'47"W |
| L17 | N59°33'04"E | 7.25 | L37 | N60°45'13"W | 19.69 | L57 | S38°57'51"E |
| L18 | N73°38'27"E | 8.13 | L38 | N87°38'46"W | 13.94 | L58 | N44°41'20"W |
| L19 | S43°27'57"E | 22.24 | L39 | S03°46'42"W | 7.34 | L59 | N72°13'23"E |
| L20 | S03°26'40"E | 7.45 | L40 | S38°58'39"E | 17.70 | L60 | S57°53'07"E |

LEGEND

- ADS ALUMINUM DISK IN CONCRETE SET
- IRFC 5/8" IRON ROD FOUND WITH PLASTIC CAP
- IRSC 5/8" IRON ROD FOUND WITH PLASTIC CAP STAMPED "KHA" SET
- IRF IRON ROD FOUND
- HOA HOMEOWNER'S ASSOCIATION
- MFPE MINIMUM FINISHED FLOOR ELEVATION
- W.E. WATER EASEMENT
- P.W.E. PRIVATE WATER EASEMENT
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS
- L.R.C.C.T. LAND RECORDS OF COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS OF COLLIN COUNTY, TEXAS
- R.O.W. RIGHT OF WAY
- P.O.B. POINT OF BEGINNING

**PRELIMINARY-FINAL REPLAT
MERIDIAN AT GATEWAY**

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194, PLAT RECORDS, COLLIN COUNTY, TEXAS AND BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER SURVEY, ABSTRACT NO. 68 CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

183 COMMON AREAS

4 COMMON AREAS

1 REMAINDER LOT

Kimley»Horn

5750 Genesis Court, Suite 200, Frisco, Texas 75034 FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | APS | KHA | JULY 2017 | 067125006 | 2 OF 6 |

**PRELIMINARY FINAL REPLAT
FOR REVIEW PURPOSES ONLY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER:
MCKINNEY FAIRWAYS, LLC
C/O LYND RESIDENTIAL PROPERTIES
8000 IH-10 West, Suite 1200
San Antonio, Texas 78230
Tel. No. (210) 733-6125
Fax No. (210) 733-6178
Contact: Samuel Kasparck

APPLICANT:
WILBOW CORPORATION
4131 N. Central Expressway, Suite 990
Dallas, Texas 75204
Tel. No. (972) 865-1343
Contact: Jennifer Rabon, VP Development

ENGINEER:
KIMLEY-HORN AND ASSOC. INC.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Tel. No. (972) 335-3580
Fax No. (972) 335-3779
Contact: Craig Malan, PE

- NOTES:**
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
 - All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99985146047.
 - All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.
 - See Sheet 2 for Line and Curve Data.
 - Traffic calming devices to be provided along this street. The selected devices shall be specified, reviewed and approved through the engineering design process.
 - All common areas hereby dedicated to and will be owned and maintained by the Meridian at Gateway Homeowner's Association.
 - The owners of Block B, Lot CA-B1 of this plat shall be solely responsible for the maintenance of the storm water detention system. The owner shall further hold the City of McKinney harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced system, although it retains the right to enter upon the easement for public purposes.

FLOOD STATEMENT:

According to Panel No. 48085C0270J, dated June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone A, which is defined as a special flood hazard area inundated by 100-year flood, no base flood elevations determined. For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

FLOOD STATEMENT:

According to Panel No. 48085C0270J, dated June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone A, which is defined as a special flood hazard area inundated by 100-year flood, no base flood elevations determined. For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

NOTES:

- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99985146047.
- All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.
- See Sheet 2 for Line and Curve Data.
- Traffic calming devices to be provided along this street. The selected devices shall be specified, reviewed and approved through the engineering design process.
- All common areas hereby dedicated to and will be owned and maintained by the Meridian at Gateway Homeowner's Association.
- The owners of Block B, Lot CA-B1 of this plat shall be solely responsible for the maintenance of the storm water detention system. The owner shall further hold the City of McKinney harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced system, although it retains the right to enter upon the easement for public purposes.

LEGEND

| | |
|--------------|--|
| ADS | ALUMINUM DISK IN CONCRETE SET |
| IRFC | 5/8" IRON ROD FOUND WITH PLASTIC CAP |
| IRSC | 5/8" IRON ROD FOUND WITH PLASTIC CAP STAMPED "KHA" SET |
| IRF | IRON ROD FOUND |
| HOA | HOMEOWNER'S ASSOCIATION |
| MFFE | MINIMUM FINISHED FLOOR ELEVATION |
| W.E. | WATER EASEMENT |
| P.W.E. | PRIVATE WATER EASEMENT |
| O.P.R.C.C.T. | OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS |
| L.R.C.C.T. | LAND RECORDS OF COLLIN COUNTY, TEXAS |
| P.R.C.C.T. | PLAT RECORDS OF COLLIN COUNTY, TEXAS |
| R.O.W. | RIGHT OF WAY |
| P.O.B. | POINT OF BEGINNING |

**PRELIMINARY-FINAL REPLAT
MERIDIAN AT GATEWAY**

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194, PLAT RECORDS, COLLIN COUNTY, TEXAS
AND
BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER SURVEY, ABSTRACT NO. 68
CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

183 RESIDENTIAL LOTS
4 COMMON AREAS
1 REMAINDER LOT

Kimley»Horn

5750 Genesis Court, Suite 200
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | APS | KHA | JULY 2017 | 067125006 | 3 OF 6 |

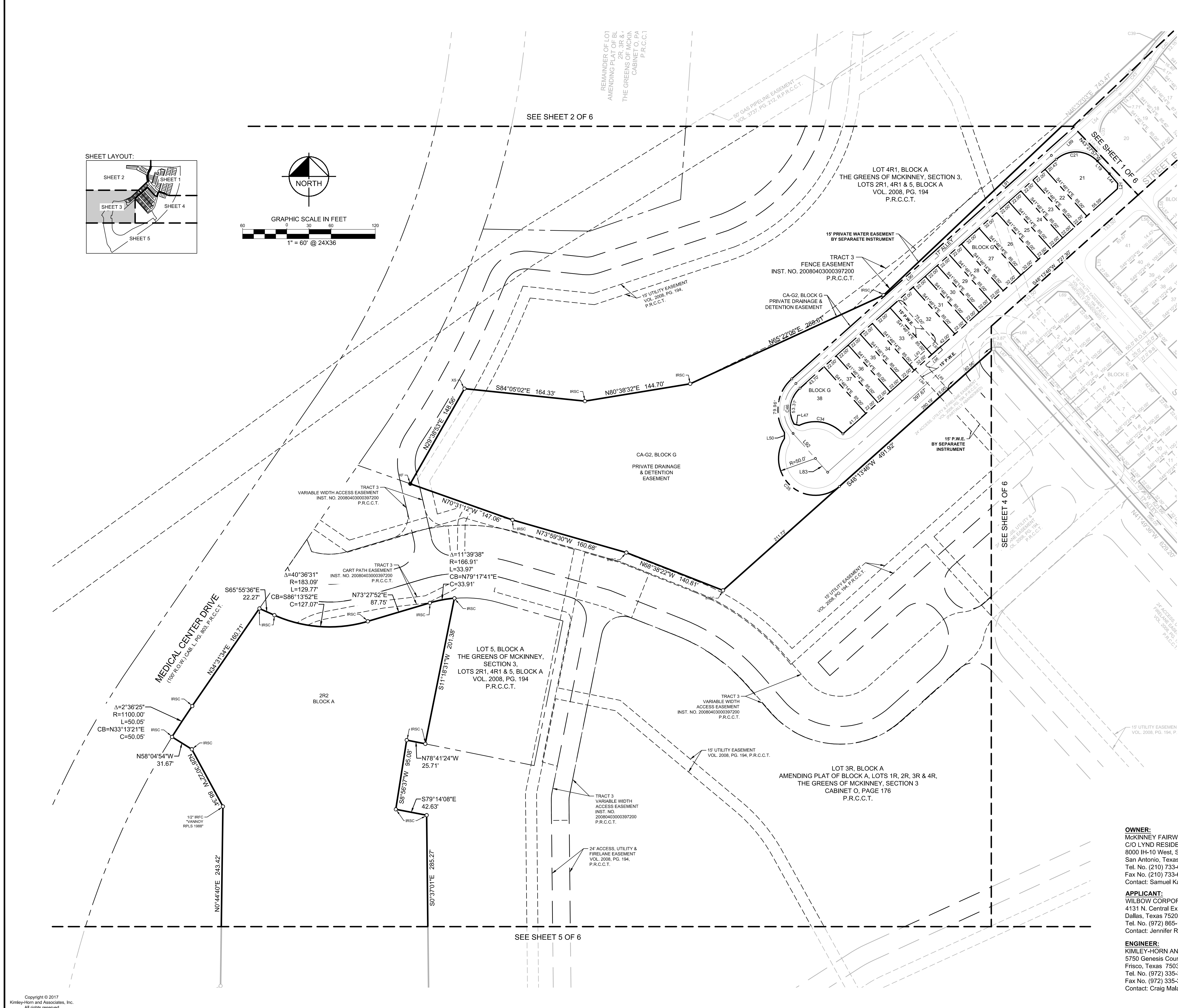
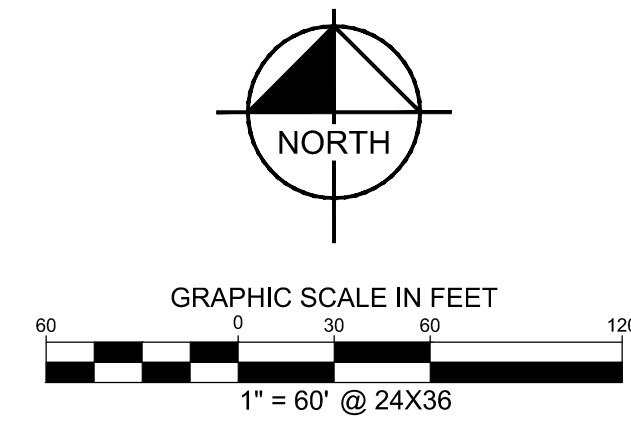
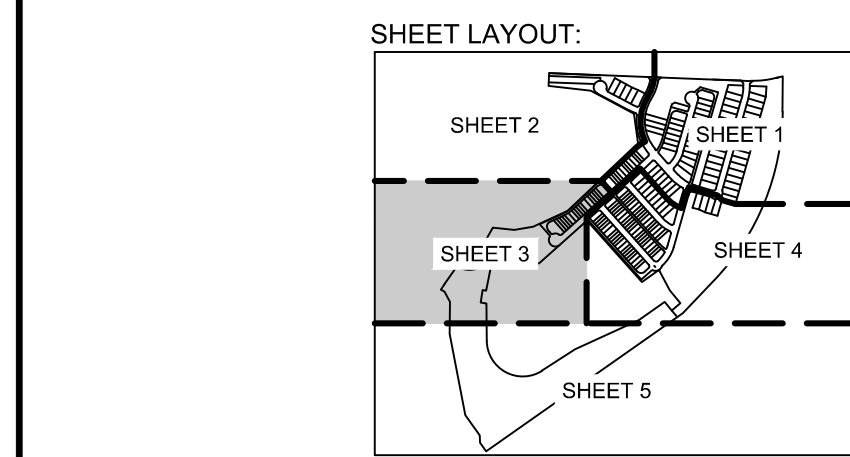
**PRELIMINARY FINAL REPLAT
FOR REVIEW PURPOSES ONLY**

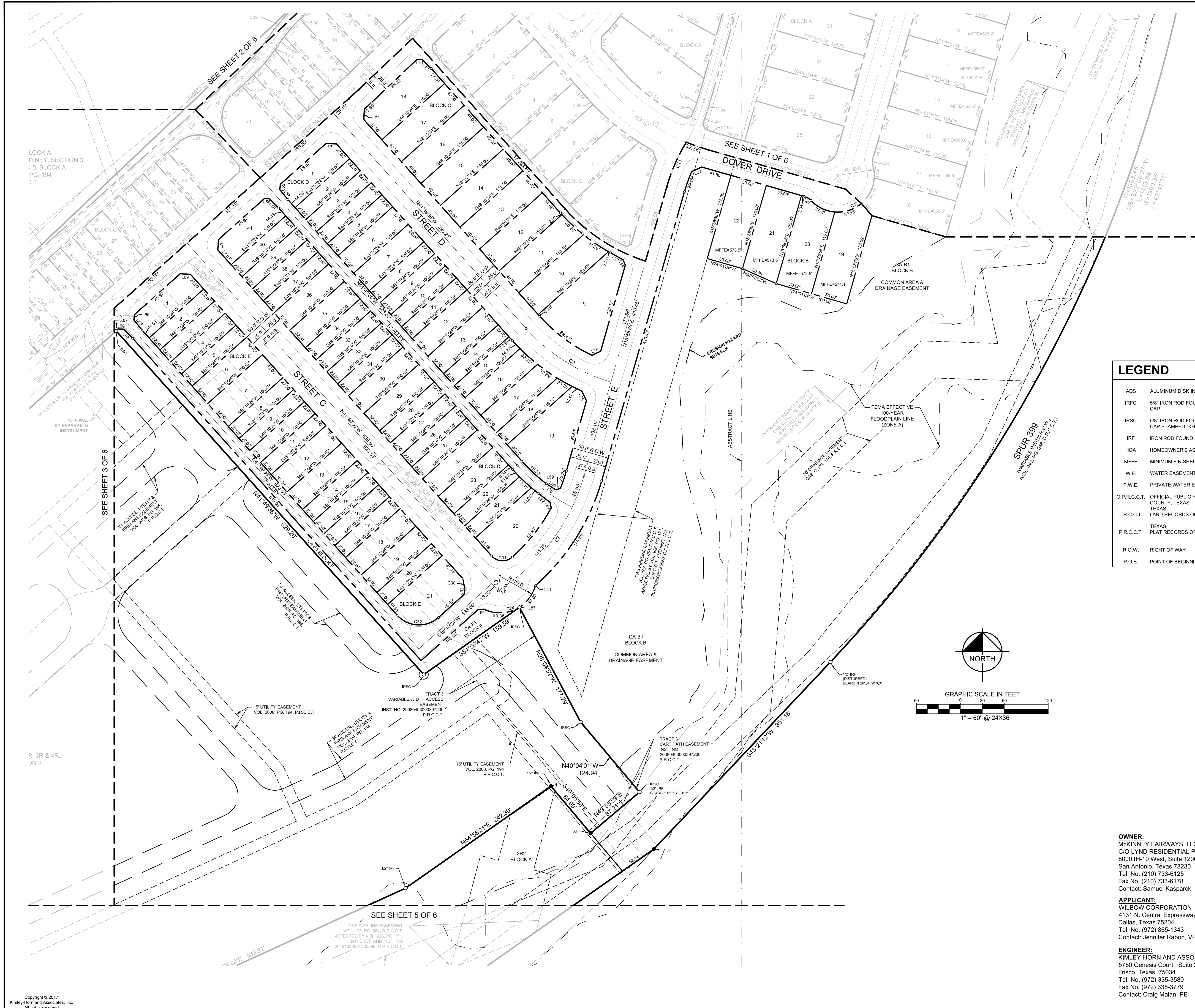
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER:
MCKINNEY FAIRWAYS, LLC
C/O LYND RESIDENTIAL PROPERTIES
8000 IH-10 West, Suite 1200
San Antonio, Texas 78230
Tel. No. (210) 733-6125
Fax No. (210) 733-6178
Contact: Samuel Kasparck

APPLICANT:
WILBOW CORPORATION
4131 N. Central Expressway, Suite 990
Dallas, Texas 75204
Tel. No. (972) 865-1343
Contact: Jennifer Rabon, VP Development

ENGINEER:
KIMLEY-HORN AND ASSOC. INC.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Tel. No. (972) 335-3580
Fax No. (972) 335-3779
Contact: Craig Malan, PE





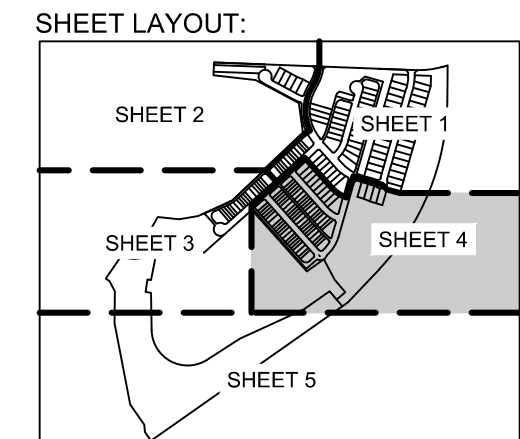
FLOOD STATEMENT:

According to Panel No. 48085C0270J, dated June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone A, which is defined as a special flood hazard area inundated by 100-year flood, no base flood elevations determined. For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

- NOTES:**
- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
 - All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99985146047.
 - All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.
 - See Sheet 2 for Line and Curve Data.
 - Traffic calming devices to be provided along this street. The selected devices shall be specified, reviewed and approved through the engineering design process.
 - All common areas hereby dedicated to and will be owned and maintained by the Meridian at Gateway Homeowner's Association.
 - The owners of Block B, Lot CA-B1 of this plat shall be solely responsible for the maintenance of the storm water detention system. The owner shall further hold the City of McKinney harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced system, although it retains the right to enter upon the easement for public purposes.

LEGEND

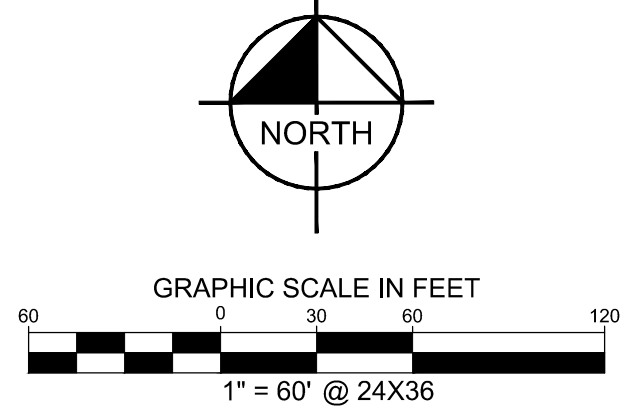
| | |
|--------------|--|
| ADS | ALUMINUM DISK IN CONCRETE SET |
| IRFC | 5/8" IRON ROD FOUND WITH PLASTIC CAP |
| IRSC | 5/8" IRON ROD FOUND WITH PLASTIC CAP STAMPED "KHA" SET |
| IRF | IRON ROD FOUND |
| HOA | HOMEOWNER'S ASSOCIATION |
| MFFE | MINIMUM FINISHED FLOOR ELEVATION |
| W.E. | WATER EASEMENT |
| P.W.E. | PRIVATE WATER EASEMENT |
| O.P.R.C.C.T. | OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS |
| L.R.C.C.T. | LAND RECORDS OF COLLIN COUNTY, TEXAS |
| P.R.C.C.T. | TEXAS PLAT RECORDS OF COLLIN COUNTY, TEXAS |
| R.O.W. | RIGHT OF WAY |
| P.O.B. | POINT OF BEGINNING |



**PRELIMINARY-FINAL REPLAT
MERIDIAN AT GATEWAY**

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194, PLAT RECORDS, COLLIN COUNTY, TEXAS
AND
BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER SURVEY, ABSTRACT NO. 68
CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

- 183 RESIDENTIAL LOTS**
- 4 COMMON AREAS**
- 1 REMAINDER LOT**



Kimley»Horn

5750 Genesis Court, Suite 200 Frisco, Texas 75034 FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | APS | KHA | JULY 2017 | 067125006 | 4 OF 6 |

OWNER:
MCKINNEY FAIRWAYS, LLC
C/O LYND RESIDENTIAL PROPERTIES
8000 IH-10 West, Suite 1200
San Antonio, Texas 78230
Tel. No. (210) 733-6125
Fax No. (210) 733-6178
Contact: Jennifer Kasparck

APPLICANT:
WILBOW CORPORATION
4131 N. Central Expressway, Suite 990
Dallas, Texas 75204
Tel. No. (972) 865-1343
Contact: Jennifer Rabon, VP Development

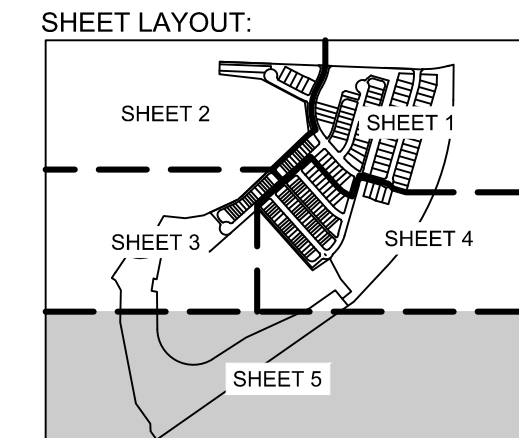
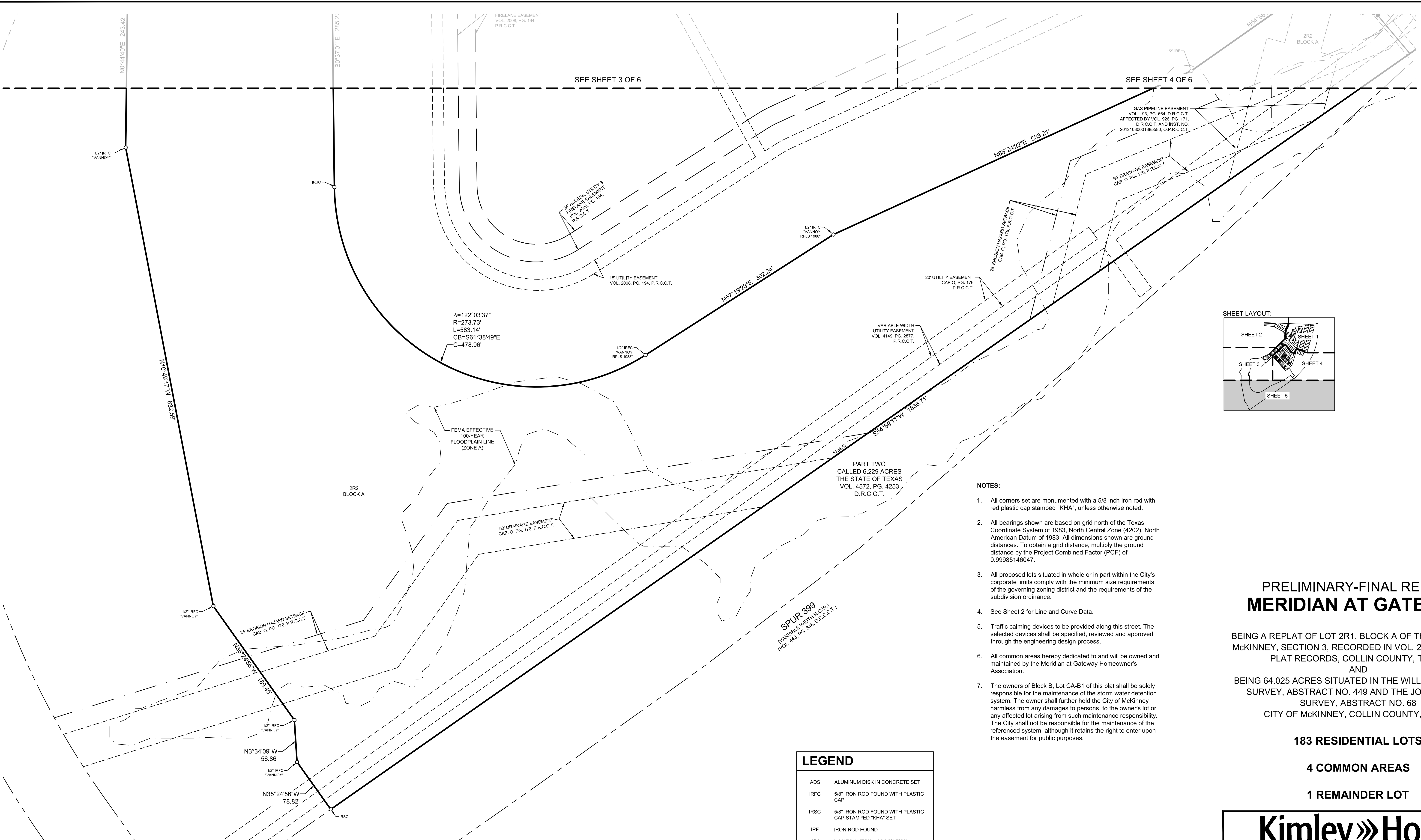
ENGINEER:
KIMLEY-HORN AND ASSOC. INC.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Tel. No. (972) 335-3580
Fax No. (972) 335-3779
Contact: Craig Malan, PE

**PRELIMINARY FINAL REPLAT
FOR REVIEW PURPOSES ONLY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

SEE SHEET 3 OF 6

SEE SHEET 4 OF 6



NOTES:

- All corners set are monumented with a 5/8 inch iron rod with red plastic cap stamped "KHA", unless otherwise noted.
- All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.99985146047.
- All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the subdivision ordinance.
- See Sheet 2 for Line and Curve Data.
- Traffic calming devices to be provided along this street. The selected devices shall be specified, reviewed and approved through the engineering design process.
- All common areas hereby dedicated to and will be owned and maintained by the Meridian at Gateway Homeowner's Association.
- The owners of Block B, Lot CA-B1 of this plat shall be solely responsible for the maintenance of the storm water detention system. The owner shall further hold the City of McKinney harmless from any damages to persons, to the owner's lot or any affected lot arising from such maintenance responsibility. The City shall not be responsible for the maintenance of the referenced system, although it retains the right to enter upon the easement for public purposes.

**PRELIMINARY-FINAL REPLAT
MERIDIAN AT GATEWAY**

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194, PLAT RECORDS, COLLIN COUNTY, TEXAS
AND
BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER SURVEY, ABSTRACT NO. 68
CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

183 RESIDENTIAL LOTS
4 COMMON AREAS
1 REMAINDER LOT

Kimley»Horn

5750 Genesis Court, Suite 200 Frisco, Texas 75034 FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|----------|----------|------------|-----------|-------------|-----------|
| 1" = 60' | APS | KHA | JULY 2017 | 067125006 | 5 OF 6 |

**PRELIMINARY FINAL REPLAT
FOR REVIEW PURPOSES ONLY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

LEGEND

| | |
|--------------|--|
| ADS | ALUMINUM DISK IN CONCRETE SET |
| IRFC | 5/8" IRON ROD FOUND WITH PLASTIC CAP |
| IRSC | 5/8" IRON ROD FOUND WITH PLASTIC CAP STAMPED "KHA" SET |
| IRF | IRON ROD FOUND |
| HOA | HOMEOWNER'S ASSOCIATION |
| MFFE | MINIMUM FINISHED FLOOR ELEVATION |
| W.E. | WATER EASEMENT |
| P.W.E. | PRIVATE WATER EASEMENT |
| O.P.R.C.C.T. | OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS |
| L.R.C.C.T. | LAND RECORDS OF COLLIN COUNTY, TEXAS |
| P.R.C.C.T. | PLAT RECORDS OF COLLIN COUNTY, TEXAS |
| R.O.W. | RIGHT OF WAY |
| P.O.B. | POINT OF BEGINNING |

FLOOD STATEMENT:

According to Panel No. 48085C020J, dated June 2, 2009 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Collin County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, a portion of this property is within Zone A, which is defined as a special flood hazard area inundated by 100-year flood, no base flood elevations determined. For the portions of this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

OWNER:
MCKINNEY FAIRWAYS, LLC
C/O LYND RESIDENTIAL PROPERTIES
8000 IH-10 West, Suite 1200
San Antonio, Texas 78230
Tel. No. (210) 733-6125
Fax No. (210) 733-6178
Contact: Samuel Kasparck

APPLICANT:
WILBOW CORPORATION
4131 N. Central Expressway, Suite 990
Dallas, Texas 75204
Tel. No. (972) 865-1343
Contact: Jennifer Rabon, VP Development

ENGINEER:
KIMLEY-HORN AND ASSOC. INC.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Tel. No. (972) 335-3580
Fax No. (972) 335-3779
Contact: Craig Malan, PE

DRAWING: KCFPL_SURVEY_067125006-GREENS OF MCKINNEY/FINAL REPLAT.DWG PLOTTED BY: STENDON.LABEL/24/2017/4:00AM/LAST SAVED: 7/27/2017 11:33:AM

STATE OF TEXAS §

COUNTY OF COLLIN §

WHEREAS MCKINNEY FAIRWAYS, LLC is the sole owner of tract of land situated in the William Hemphill Survey, Abstract No.449, City of McKinney, Collin County, Texas and being a portion of Lot 2R1, Block A, The Greens of McKinney, Section 3, Lots 2R1, 4R1, & 5, Block A, an addition to the City of McKinney, Texas, according to the Record Plat thereof recorded in Volume 2008, Page 194, Plat Records of Collin County, Texas, and being more particularly described as follows:

THENCE South 87°48'30" East, along the north line of said Lot 2R1 and the south right-of-way line of said Stewart Road, a distance of 1542.23 feet to a 1/2" iron rod found at the beginning of a tangent curve to the left having a central angle of 17°53'03", a radius of 640.00 feet, a chord bearing and distance of North 83°14'59" East, 198.96 feet;

THENCE in a northeasterly direction, continuing along the north line of said Lot 2R1 and the south right-of-way line of Stewart Road, with said curve to the left, an arc distance of 199.77 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for the point of tangency for said curve;

THENCE North 74°18'27" East, continuing along the north line of said Lot 2R1 and the south right-of-way line of Stewart Road, a distance of 48.83 feet to the northeast corner of said Lot 2R1, from said corner found 1/2" iron rod bears South 13°24' East, 0.3', same being on the westerly line of a called 18.47 acre tract of land conveyed to the State of Texas as recorded in Volume 443, Page 348, Deed Records of Collin County, Texas;

THENCE South 00°39'41" West, along the east line of said Lot 2R1 and the west line of said 18.47 acre tract, a distance of 272.48 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the right having a central angle of 42°41'31", a radius of 1900.35 feet, a chord bearing and distance of South 22°00'27" West, 1383.45 feet;

THENCE in a southwesterly direction, continuing along the east line, becoming the southeasterly line of said Lot 2R1 and the west line, becoming northwesterly line of said 18.47 acre tract, with said curve to the right, an arc distance of 1415.98 feet to the point of tangency of said curve, same being on the northwesterly right-of-way line of Spur 399, from which a 1/2" iron rod found bears North 26°54' West, 0.3';

THENCE South 43°21'12" West, continuing along the southeasterly line of said Lot 2R1 and the northwesterly line of said 18.47 acre tract and said Spur 399, a distance of 351.18 feet to a cut "X" found for corner, same being the northeasterly corner of a called 6.229 acre tract conveyed to the State of Texas as recorded in Volume 4572, Page 4253, Deed Records, Collin County, Texas;

THENCE South 54°59'11" West, continuing along the southeasterly line of said Lot 2R1 and the northwesterly right-of-way line of said Spur 399, as defined in said Volume 4572, Page 4253, a distance of 1836.71 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for the southernmost corner of said Lot 2R1;

THENCE departing the northwesterly right-of-way line of said Spur 399 and along the southwesterly lines of said Lot 2R1, the following courses:

North 35°24'56" West, a distance of 78.82 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY" found for corner;

North 03°34'09" West, a distance of 56.86 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY" found for corner;

North 35°24'56" West, a distance of 189.45 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY" found for corner;

North 10°49'17" West, a distance of 632.59 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY" found for corner;

North 00°44'40" East, a distance of 243.42 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY RPLS-1988" found for corner;

North 28°30'22" West, a distance of 88.34 feet to a point for corner;

North 58°04'54" W, a distance of 31.67 feet to a 5/8-iron rod with a plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the right having a central angle of 02°36'25", a radius of 1100.00 feet, a chord bearing and distance of North 33°13'21" East, 50.05 feet;

THENCE along the easterly right of way line of said Medical Center Drive and along the westerly line of said Lot 2R1, the following courses:

In a northeasterly direction, with said curve to the right, an arc distance of 50.05 feet to a 5/8-iron rod with a plastic cap stamped "KHA" set for corner;

North 34°31'34" East, a distance of 160.71 feet to a 5/8-iron rod with a plastic cap stamped "KHA" set for corner;

THENCE departing the easterly right of way line of said Medical Center Drive and along the common lines of said Lot 2R1 and said Lot 3R, the following courses:

South 65°55'36" East, a distance of 22.27 feet to a 5/8-iron rod with a plastic cap stamped "KHA" set at the beginning of a tangent curve to the left having a central angle of 40°36'31", a radius of 183.09 feet, a chord bearing and distance of South 86°13'52" East, 127.07 feet;

In a southeasterly direction, with said curve to the left, an arc distance of 129.77 feet to a 5/8-iron rod with a plastic cap stamped "KHA" set for corner;

North 73°27'52" East, a distance of 87.75 feet to a 5/8-iron rod with a plastic cap stamped "KHA" set at the beginning of a tangent curve to the right having a central angle of 11°39'38", a radius of 166.91 feet, a chord bearing and distance of North 79°17'41" East, 33.91 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 33.97 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for the northwest corner of Lot 5, Block A of aforesaid Greens of McKinney, Section 3;

THENCE South 11°18'31" West, departing the southerly line of said Lot 3R, along the easterly line of said Lot 2R1, and along the westerly line of said Lot 5, a distance of 201.39 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for the southwest corner of said Lot 5, being an angle point on the easterly line of said Lot 2R1, same being on the westerly line of said Lot 3R;

THENCE along the common lines of said Lot 2R1 and said Lot 3R, the following courses:

North 78°41'24" West, a distance of 25.71 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 08°56'37" West, a distance of 95.08 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 79°14'08" East, a distance of 42.63 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 00°37'01" East, a distance of 285.27 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the left having a central angle of 122°03'37", a radius of 273.73 feet, a chord bearing and distance of South 61°38'49" East, 478.96 feet;

In a southeasterly direction, with said curve to the left, an arc distance of 583.14 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY RPLS-1988" found for corner;

North 57°19'23" East, a distance of 302.24 feet to a 1/2-inch iron with a plastic cap stamped "VANNOY RPLS-1988" found for corner;

North 65°24'22" East, a distance of 533.21 feet to a 1/2" iron rod found for corner;

North 54°56'47" East, a distance of 242.30 feet to a 1/2" iron rod found for corner;

South 40°05'58" East, a distance of 84.00 feet to an "X" cut in concrete for corner;

North 49°55'59" East, a distance of 87.21 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner, from which, a 1/2" iron rod found bears South 65°16" East, 0.3 feet;

North 40°04'01" West, a distance of 124.94 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 28°04'52" West, a distance of 177.29 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 54°56'47" West, a distance of 159.59 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 41°49'36" West, a distance of 629.20 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 48°13'46" West, a distance of 491.92 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 68°38'22" West, a distance of 140.81 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 73°59'30" West, a distance of 160.68 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 70°31'12" West, a distance of 147.06 feet to a "X" found for a southwesterly corner of said Lot 2R1, same being the southerly southeast corner of Lot 4R1, Block A, as defined in aforesaid Greens of McKinney, Section 3;

THENCE in a northeasterly direction along the common line of said Lot 2R1 and said Lot 4R1, the following:

North 29°38'53" East, a distance of 148.56 feet to a cut "X" set for corner;

South 84°05'02" East, a distance of 164.33 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 80°38'32" East, a distance of 144.70 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 65°22'06" East, a distance of 288.61 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 46°32'03" East, a distance of 743.47 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 07°39'48" West, a distance of 234.00 feet to a 1/2" iron rod found for corner;

North 61°51'39" West, a distance of 374.46 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 83°38'37" West, a distance of 323.74 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for the northern most southwest corner of said Lot 2R1, common to the northwest corner of said Lot 4R1, same being on the east line of said Lot 4R;

THENCE North 01°51'31" East, along the west line of said Lot 4R1 and the east line of said Lot 4R, a distance of 97.03 feet to the **POINT OF BEGINNING** and containing 64.026 acres or 2,788,969 square feet of land, more or less.

OWNER DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, MCKINNEY FAIRWAYS, LLC, does hereby adopt this Plat designating the hereinabove described property as **MERIDIAN AT GATEWAY**, an addition to Collin County, Texas, being a replat of 2R1, Block A, The Greens of McKinney, Section 3, recorded in Volume 2008, Page 194 of the Plat Records of Collin County, Texas, and does hereby dedicate to the public and the City of McKinney the water easements, sanitary sewer easements and utility easements shown hereon (collectively, the "Easements") for the mutual use and accommodation of the City of McKinney and all public utility providers desiring to use or using same. **MCKINNEY FAIRWAYS, LLC,** does hereby dedicate to the public in fee simple forever the streets shown hereon together with the drainage easements appurtenant thereto as shown hereon for the mutual use and accommodation of the public. All and any public utility providers and the City of McKinney shall have the right to remove and keep removed all or part of any building, fences, shrubs, trees or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of it's respective systems within said Easements; and shall have the right to remove and keep removed all and any obstructions within the drainage easements which adversely affect the proper functioning of the same. The City of McKinney and all public utilities shall also have the right to constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of it's respective systems, without the necessity, at any time, of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of McKinney, Texas.

WITNESS MY HAND this the _____ day of _____, 20_____.

By: **MCKINNEY FAIRWAYS, LLC**

By: _____
Michael J. Lynd Jr.

STATE OF TEXAS §

COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared Michael J. Lynd Jr., known to me to be the person whose name is subscribed to the foregoing instruments, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the _____ day of _____, 20_____.

NOTARY PUBLIC in and for the STATE OF TEXAS

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of McKinney, Texas.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Kimley-Horn and Associates, Inc.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Phone 972-335-3580
Fax 972-335-3779

PRELIMINARY
THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

STATE OF TEXAS §

COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 20_____.

Notary Public, State of Texas

NOTICE: All proposed lots situated in whole or in part within the City's corporate limits comply with the minimum size requirements of the governing zoning district and the requirements of the Subdivision Ordinance.

PRELIMINARY-FINAL REPLAT MERIDIAN AT GATEWAY

BEING A REPLAT OF LOT 2R1, BLOCK A OF THE GREENS OF
MCKINNEY, SECTION 3, RECORDED IN VOL. 2008, PAGE 194,
PLAT RECORDS, COLLIN COUNTY, TEXAS
AND

BEING 64.025 ACRES SITUATED IN THE WILLIAM HEMPHILL
SURVEY, ABSTRACT NO. 449 AND THE JOAB BUTLER
SURVEY, ABSTRACT NO. 68
CITY OF MCKINNEY, COLLIN COUNTY, TEXAS

183 RESIDENTIAL LOTS

4 COMMON AREAS

1 REMAINDER LOT

Kimley»Horn

5750 Genesis Court, Suite 200 Frisco, Texas 75034 FIRM # 10193822 Tel. No. (972) 335-3580 Fax No. (972) 335-3779

| Scale | Drawn by | Checked by | Date | Project No. | Sheet No. |
|-------|----------|------------|-----------|-------------|-----------|
| N/A | APS | KHA | JULY 2017 | 067125006 | 6 OF 6 |

PRELIMINARY FINAL REPLAT FOR REVIEW PURPOSES ONLY

THIS DOCUMENT SHALL NOT BE RECORDED
FOR ANY PURPOSE AND SHALL NOT BE USED
OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT.

OWNER:
MCKINNEY FAIRWAYS, LLC
C/O LYND RESIDENTIAL PROPERTIES
8000 IH-10 West, Suite 1200
San Antonio, Texas 78230
Tel. No. (210) 733-6125
Fax No. (210) 733-6178
Contact: Samuel Kasparck

APPLICANT:
WILBOW CORPORATION
4131 N. Central Expressway, Suite 990
Dallas, Texas 75204
Tel. No. (972) 865-1343
Contact: Jennifer Rabon, VP Development

ENGINEER:
KIMLEY-HORN AND ASSOC. INC.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Tel. No. (972) 335-3580
Fax No. (972) 335-3779
Contact: Craig Mallan, PE