

ORDINANCE NO. 2006-09-104

AN ORDINANCE AMENDING PLANNED DEVELOPMENT DISTRICT ORDINANCE NO. 2005-0-017 AND NO. 2005-06-065, OF THE CODE OF ORDINANCES OF THE CITY OF MCKINNEY, TEXAS; SO THAT AN APPROXIMATELY 35 ACRE TRACT LOCATED AT THE SOUTHEAST CORNER OF VIRGINIA PARKWAY AND STONEBRIDGE DRIVE IS HEREBY REZONED FROM "PD" – PLANNED DEVELOPMENT DISTRICT TO "PD" – PLANNED DEVELOPMENT DISTRICT, IN ORDER TO MODIFY THE DEVELOPMENT STANDARDS; PROVIDING REGULATIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INJUNCTIVE RELIEF, PROVIDING FOR NO VESTED INTEREST; PROVIDING FOR THE PUBLICATION OF THE CAPTION OF THIS ORDINANCE; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

WHEREAS, the City of McKinney has considered the rezoning of an approximately 35 acre tract located on the southeast corner of Virginia Parkway and Stonebridge Drive, from "PD" – Planned Development District to "PD" – Planned Development District, in order to modify the development standards, and,

WHEREAS, after due notice of the requested rezoning as required by law, and the required public hearings held before the Planning and Zoning Commission and the City Council of the City of McKinney, Texas, the City Council is of the opinion that the change in zoning district should be made.

NOW THEREFORE BE IT HEREBY ORDAINED BY THE CITY COUNCIL OF THE CITY OF MCKINNEY, TEXAS:

Section 1. Ordinance Nos. 2005-02-017 and 2005-06-065 are hereby amended so that an approximately 35 acre tract located on the southeast corner of Virginia Parkway and Stonebridge Drive, which is more fully depicted on Exhibit "A" attached hereto, is hereby rezoned from "PD" – Planned Development District to "PD" – Planned Development District, in order to modify the development standards.

Section 2. Use and development of the subject property shall conform to the following regulations:

1. Tracts 1-8 (Exhibit B) shall develop in accordance with PD 2005-02-017 and Tract 9 (Exhibit B) shall develop in accordance with PD 2005-06-065, with the following exceptions:

R-2 and Town Center District

- a) The City Council may approve reductions to the required building setbacks and landscape buffer, and increase the maximum height for architectural enhancements only (cupolas, domes, spires, etc.) as part of site plan approval.

- b) Allow the use of a veterinarian office with an outdoor run on Lot 1R, Block B (Tract B) (Exhibit D) with

approval of a Specific Use Permit concurrently with site plan approval.

Town Center District

- a) Increase the maximum height for the Bell Tower to 128' on Tract E (Exhibit F).
- b) Provision 5(f)i of PD Ordinance 05-02-017 shall be amended as follows: All structures must comply with the City of McKinney Architectural Standards and the Design Guidelines included herein. The finish shall simulate the stone and installation of an authentic Croatian village (reference Exhibit B of PD 05-02-017).

Within the Town Center District, generalized elevations must be reviewed and approved by the City Council as part of the site plan approval process and such elevations shall be consistent with the approvals provided required in Section 3(b) hereinabove. Final building elevations shall be submitted and reviewed as part of the building permit application process. The Director of Planning shall have discretionary review of the final building elevations to ensure compliance with the generalized elevations, Exhibit B - Design Guidelines for the Harbor Market Village and the existing buildings within the development. If the Director of Planning finds the elevations to be compliant with these then they may be approved at the Staff level. If not, the building elevations shall be forwarded to City Council for review and approval.

Harbor District

- a) Eliminate the requirement for a 10' landscape buffer along the southwest side of the parking garage in Tract 8 (Exhibit C).
- b) Provide 24" x 24" irrigated landscape planters to screen the southwestern face of the parking garage sufficient enough to provide a vegetative screening effect, in accordance with building elevation A-0 (Exhibit F).
- c) Increase the maximum building height to 56' for Building #1 (the hotel) in Tract F (Exhibit C).
- d) Increase the maximum building height to 68' for Building #3 and Building #9 in Tract F (Exhibit C).
- e) Decrease the sidewalk width at the northwest corner from 8' to 5' at the intersection of Mediterranean Drive, Dalmatia Drive and the access drive for the parking garage in Tract F (Exhibit C).
- f) Eliminate the minimum building depth requirement for Building #3 in Tract F (Exhibit C).
- g) Reduce the number of loading spaces in Tract F (Exhibit C) to 2.

- h) Eliminate the requirement for the screening of the loading spaces in Tract F (Exhibit C).
- i) Eliminate the requirement that at least 10% of the site be in permanent landscape area and that at least 15% of the street yard be landscaped in Tract F (Exhibit C).
- j) With approval of a Specific Use Permit, concurrently with site plan approval, a boat may be allowed within Tract F, the harbor district, not to exceed 90' in height, in accordance with the attached harbor site plan (Exhibit C). The SUP can require provisions for maintenance of the boat, remedies to the lake associated with this development and the boat, and limit the use of the boat to establishments and restaurants that do not require a grease trap.

Villa District

- a) Allow a hotel on Lot 1, Block C, of the Villa District in Adriatica in Tract 9 (Exhibit C).

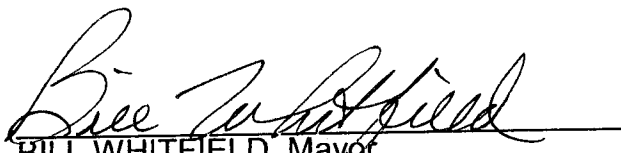
Section 3. If any section, subsection, paragraph, sentence, phrase or clause of this Ordinance shall be declared invalid for any reason whatsoever, such decision shall not affect the remaining portions of this Ordinance, which shall remain in full force and effect, and to this end, the provisions of this Ordinance are declared to be severable.

Section 4. It shall be unlawful for any person, firm or corporation to develop this property, or any portion thereof, in any manner other than is authorized by this Ordinance, and upon conviction therefore, shall be fined any sum not exceeding \$2,000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of McKinney to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

Section 5. That no developer or property owner shall acquire any vested interest in this Ordinance or specific regulations contained herein. The ordinance, and the subsequent site plans (if any) and regulations may be amended or repealed by the City Council of the City of McKinney, Texas, in the manner provided by law.

Section 6. The caption of this Ordinance shall be published one time in a newspaper having general circulation in the City of McKinney, and shall become effective upon such publication.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF MCKINNEY, TEXAS, ON THIS 5TH DAY OF SEPTEMBER, 2006.

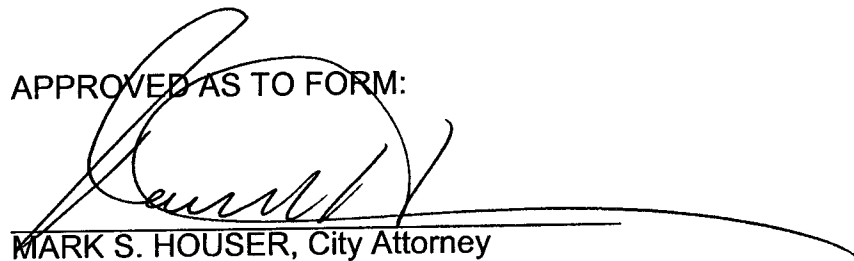

 BILL WHITFIELD, Mayor

CORRECTLY ENROLLED:

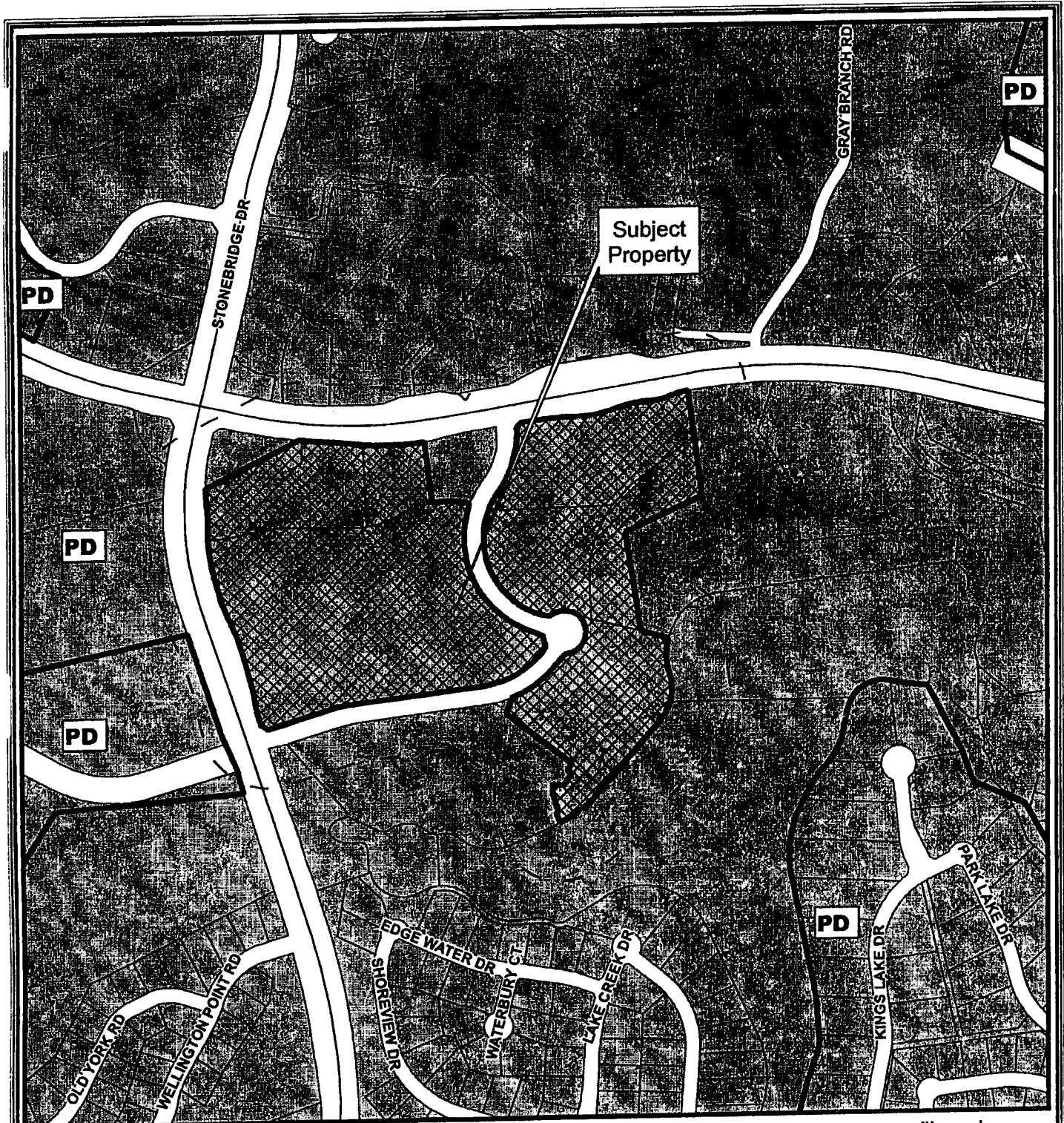


SANDY HART, CMC, City Secretary
BEVERLY COVINGTON, CMC, Deputy City Secretary

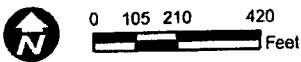
APPROVED AS TO FORM:



MARK S. HOUSER, City Attorney



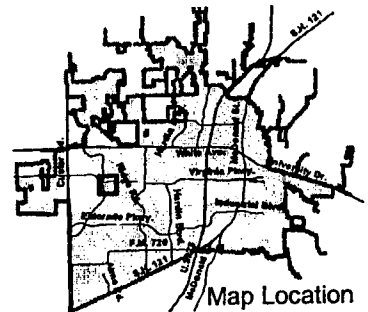
S:\MCKG\GIS\Project\2006\06-230Z.mxd



Notification Case

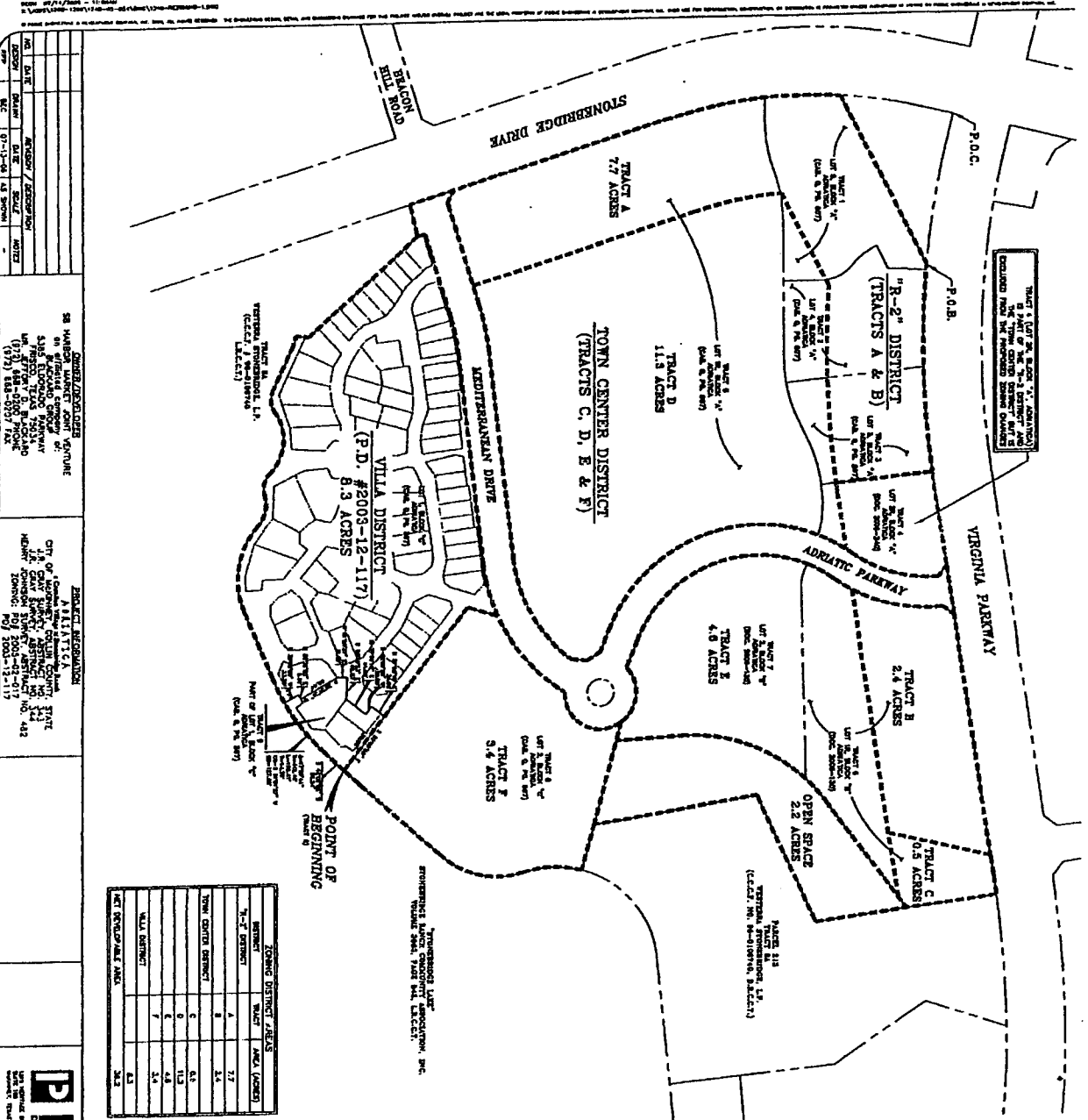
Notice Case #: 06-230Z
 R-8795-00C-0010-1; R-8795-00A-0030-1
 R-8795-00A-001R-1; R-8795-00A-0040-1
 R-8795-00A-0050-1; R-8795-00C-0010-1
 R-8795-00B-001R-1; R-8795-00B-0020-1
 R-8795-00B-00B1-1

- - - 200' Notification Buffer



DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. It is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, omissions or errors.

EXHIBIT "A"



ZONING DISTRICT AREAS		
TRACT	ACRES	AREA (SQ. FT.)
TRACT A	27.7	1,200,000
TRACT B	2.4	100,000
TRACT C	0.5	20,000
TRACT D	11.8	500,000
TRACT E	4.0	170,000
TRACT F	3.4	140,000
OPEN SPACE	2.2	90,000
TOTAL TRACTS	50.0	2,120,000

NO.	DATE	REVISION / DESCRIPTION
1	07-17-06	AS SHOWN

GENERAL CONTRACTOR
 28 HANBORN LUMBER COMPANY
 3425 E. STONERIDGE DRIVE
 WILSON, TEXAS 75794
 (972) 884-1007

CITY OF ARLINGTON
 118 GRAY SURVEY ABSTRACT NO. 343
 ZONING: PD 2008-12-117

Ppogue
 ENGINEERS & ARCHITECTS, INC.
 1000 W. HICKORY STREET
 ARLINGTON, TEXAS 76010

ZONING EXHIBIT
 SEC. VIRGINIA PARKWAY @ STONERIDGE DRIVE Z0.01
 J.R. GRAY SURVEY, ABSTRACT NO. 343
 CITY OF MCKINNEY, TEXAS

REVISIONS
 JUL 14 2006
 PLANNING
EXHIBIT "B"

CONTRACT:
 This contract is made this 17th day of July, 2006, between the City of Arlington, Texas, and Ppogue Engineers & Architects, Inc., for the preparation of a zoning exhibit for the proposed development of the property described in the above-captioned abstract. The City of Arlington, Texas, is hereinafter referred to as the "City" and Ppogue Engineers & Architects, Inc., is hereinafter referred to as the "Contractor".

ARTICLE I: SCOPE OF WORK
 The Contractor shall prepare and submit to the City a zoning exhibit for the proposed development of the property described in the above-captioned abstract. The zoning exhibit shall include a site plan, a plat map, and a zoning map. The Contractor shall also prepare and submit to the City a zoning ordinance that conforms to the zoning exhibit. The Contractor shall be responsible for all costs associated with the preparation and submission of the zoning exhibit and zoning ordinance.

ARTICLE II: TERM OF CONTRACT
 This contract shall remain in effect until the zoning exhibit and zoning ordinance have been approved by the City. The Contractor shall be responsible for all costs associated with the preparation and submission of the zoning exhibit and zoning ordinance.

ARTICLE III: ASSIGNMENT
 The Contractor shall assign to the City all rights, title, and interest in and to the zoning exhibit and zoning ordinance prepared and submitted to the City under this contract.

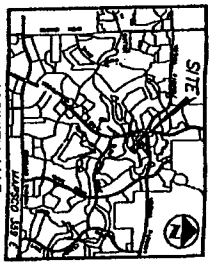
ARTICLE IV: TERMINATION
 This contract may be terminated by the City at any time without cause. The Contractor shall be responsible for all costs associated with the preparation and submission of the zoning exhibit and zoning ordinance.

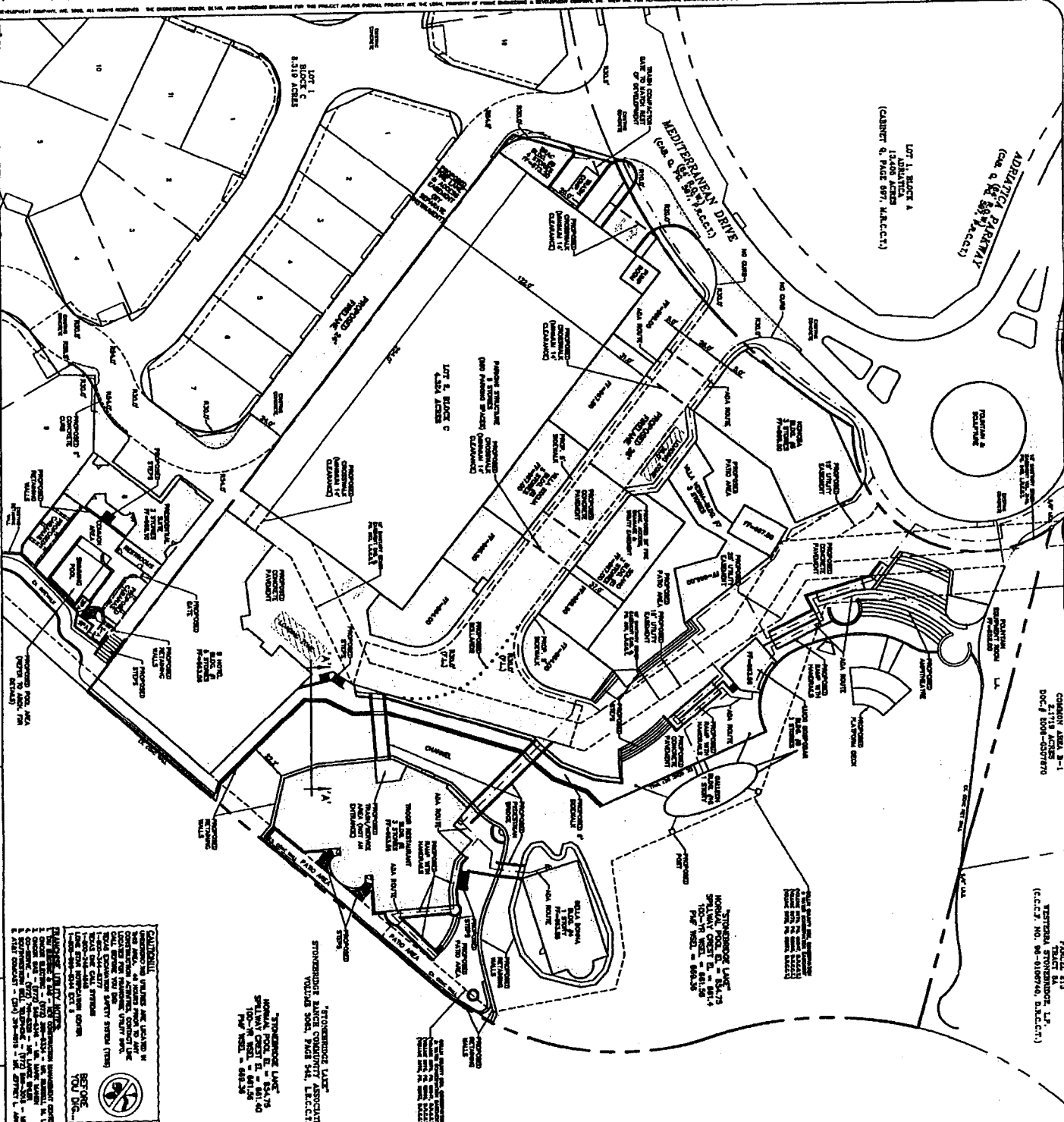
ARTICLE V: ENTIRE AGREEMENT
 This contract constitutes the entire agreement between the City and the Contractor. No oral or written agreements, understandings, or negotiations shall be binding on either party.

ARTICLE VI: GOVERNING LAW
 This contract shall be governed by the laws of the State of Texas.

ARTICLE VII: SIGNATURES
 Witness my hand and the seal of the City of Arlington, Texas, this 17th day of July, 2006.

ARTICLE VIII: WITNESSES
 I, the undersigned, being a duly qualified and authorized officer of the City of Arlington, Texas, do hereby certify that the foregoing is a true and correct copy of the contract as the same appears in the files of the City of Arlington, Texas.





NO.	DATE	DESCRIPTION
1	07-13-01	AS SHOWN

DESIGNER / DEVELOPER
 58 HARBOR LARKER COURT VENTURE
 401 BLACKBARD DRIVE
 SUITE 401
 BLACKBARD DRIVE
 HENRY COUNTY, TEXAS 75825
 (972) 540-0304 PHONE
 (972) 540-0309 FAX

PROJECT INFORMATION
 A UNIT AT
 CITY OF HARBOR LARKER VENTURE
 401 BLACKBARD DRIVE
 SUITE 401
 HENRY COUNTY, TEXAS 75825
 ZONING: PDJ 2003-02-017

THESE PLANS ARE THE PROPERTY OF POEGUE ENGINEERING & DEVELOPMENT COMPANY, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF POEGUE ENGINEERING & DEVELOPMENT COMPANY, INC.

POEGUE
 ENGINEERING & DEVELOPMENT COMPANY, INC.
 1919 JAMES STREET
 SUITE 100
 DALLAS, TEXAS 75201
 (214) 760-0000
 www.poegue.com

SITE PLAN
 HARBOR DISTRICT AT ADRATICA
 LOT 2R, BLOCK C, ADRATICA
 J.R. GRAY SURVEY, ABSTRACT NO. 343
 CITY OF MCKINNEY, TEXAS
 SHEET NO. C1.01

CONTRACTOR: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HARBOR LARKER VENTURE AND THE CITY OF MCKINNEY, TEXAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HARBOR LARKER VENTURE AND THE CITY OF MCKINNEY, TEXAS.

TEMPORARY LOT:
 TEMPORARY LOT, 1.5 ACRES
 TEMPORARY LOT, 1.5 ACRES
 TEMPORARY LOT, 1.5 ACRES

CROSS SECTION 'A-A'
 SECTION THROUGH THE LOT TO SHOW THE RELATIONSHIP BETWEEN THE LOT AND THE ADJACENT LOT.

PROJECT LOCATION / DESCRIPTION:
 THE PROJECT IS LOCATED AT THE CORNER OF MEDFORD DRIVE AND ADRATICA PARKWAY IN THE HARBOR DISTRICT OF MCKINNEY, TEXAS. THE PROJECT IS A MIXED-USE DEVELOPMENT INCLUDING RESIDENTIAL, COMMERCIAL, AND OFFICE SPACE.

SITE DATA SUMMARY TABLE

NO.	DESCRIPTION	AMOUNT
1	TOTAL LOT AREA (SQ. FEET)	183,547
2	TOTAL BUILDING AREA (SQ. FEET)	183,547
3	TOTAL PARKING SPACES	3,118
4	TOTAL DRIVEWAYS	37
5	TOTAL DRIVEWAY WIDTH (FEET)	27.5
6	TOTAL DRIVEWAY LENGTH (FEET)	27.5
7	TOTAL DRIVEWAY AREA (SQ. FEET)	1.5
8	TOTAL DRIVEWAY PERCENTAGE	0.82%
9	TOTAL DRIVEWAY WIDTH (FEET)	1.5
10	TOTAL DRIVEWAY LENGTH (FEET)	1.5
11	TOTAL DRIVEWAY AREA (SQ. FEET)	1.5
12	TOTAL DRIVEWAY PERCENTAGE	0.82%

BLDG #1 - 8 HOTEL

BLDG #1 - 8 HOTEL	183,547	3,118
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BLDG #2 - ROOM RESTAURANT

BLDG #2 - ROOM RESTAURANT	183,547	3,118
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BLDG #3 - MALL HOTEL

BLDG #3 - MALL HOTEL	183,547	3,118
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BLDG #4 - MALL HOTEL

BLDG #4 - MALL HOTEL	183,547	3,118
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BLDG #5 - MALL HOTEL

BLDG #5 - MALL HOTEL	183,547	3,118
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BLDG #6 - MALL HOTEL

BLDG #6 - MALL HOTEL	183,547	3,118
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BLDG #7 - MALL HOTEL

BLDG #7 - MALL HOTEL	183,547	3,118
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BLDG #8 - MALL HOTEL

BLDG #8 - MALL HOTEL	183,547	3,118
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BLDG #9 - MALL HOTEL

BLDG #9 - MALL HOTEL	183,547	3,118
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BLDG #10 - MALL HOTEL

BLDG #10 - MALL HOTEL	183,547	3,118
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BLDG #11 - MALL HOTEL

BLDG #11 - MALL HOTEL	183,547	3,118
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BLDG #12 - MALL HOTEL

BLDG #12 - MALL HOTEL	183,547	3,118
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BLDG #13 - MALL HOTEL

BLDG #13 - MALL HOTEL	183,547	3,118
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BLDG #14 - MALL HOTEL

BLDG #14 - MALL HOTEL	183,547	3,118
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BLDG #15 - MALL HOTEL

BLDG #15 - MALL HOTEL	183,547	3,118
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BLDG #16 - MALL HOTEL

BLDG #16 - MALL HOTEL	183,547	3,118
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BLDG #17 - MALL HOTEL

BLDG #17 - MALL HOTEL	183,547	3,118
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BLDG #18 - MALL HOTEL

BLDG #18 - MALL HOTEL	183,547	3,118
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BLDG #19 - MALL HOTEL

BLDG #19 - MALL HOTEL	183,547	3,118
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BLDG #20 - MALL HOTEL

BLDG #20 - MALL HOTEL	183,547	3,118
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BLDG #21 - MALL HOTEL

BLDG #21 - MALL HOTEL	183,547	3,118
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BLDG #22 - MALL HOTEL

BLDG #22 - MALL HOTEL	183,547	3,118
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BLDG #23 - MALL HOTEL

BLDG #23 - MALL HOTEL	183,547	3,118
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BLDG #24 - MALL HOTEL

BLDG #24 - MALL HOTEL	183,547	3,118
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BLDG #25 - MALL HOTEL

BLDG #25 - MALL HOTEL	183,547	3,118
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BLDG #26 - MALL HOTEL

BLDG #26 - MALL HOTEL	183,547	3,118
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BLDG #27 - MALL HOTEL

BLDG #27 - MALL HOTEL	183,547	3,118
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BLDG #28 - MALL HOTEL

BLDG #28 - MALL HOTEL	183,547	3,118
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BLDG #29 - MALL HOTEL

BLDG #29 - MALL HOTEL	183,547	3,118
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BLDG #30 - MALL HOTEL

BLDG #30 - MALL HOTEL	183,547	3,118
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BLDG #31 - MALL HOTEL

BLDG #31 - MALL HOTEL	183,547	3,118
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BLDG #32 - MALL HOTEL

BLDG #32 - MALL HOTEL	183,547	3,118
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BLDG #33 - MALL HOTEL

BLDG #33 - MALL HOTEL	183,547	3,118
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BLDG #34 - MALL HOTEL

BLDG #34 - MALL HOTEL	183,547	3,118
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BLDG #35 - MALL HOTEL

BLDG #35 - MALL HOTEL	183,547	3,118
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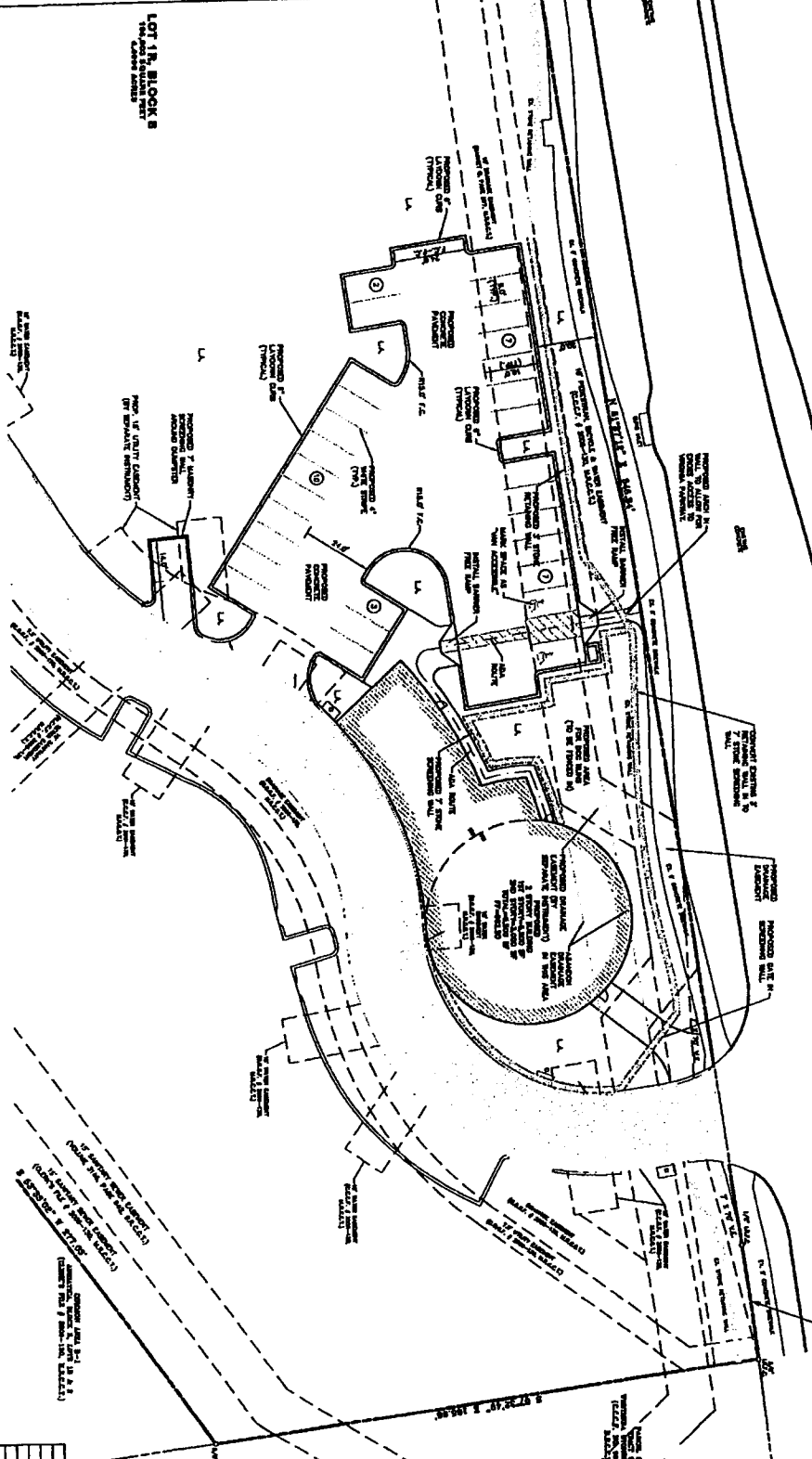


LEGEND

- 1. BUILDING FOOTPRINT
- 2. WALL THICKNESS
- 3. WINDOW THICKNESS
- 4. DOOR THICKNESS
- 5. DRIVEWAY THICKNESS
- 6. DRIVEWAY WIDTH
- 7. DRIVEWAY LENGTH
- 8. DRIVEWAY AREA
- 9. DRIVEWAY PERCENTAGE
- 10. DRIVEWAY WIDTH (FEET)
- 11. DRIVEWAY LENGTH (FEET)
- 12. DRIVEWAY AREA (SQ. FEET)
- 13. DRIVEWAY PERCENTAGE

NO.	DATE	REVISION / DESCRIPTION
1	06/17/2006	ISSUED FOR PERMITTING
2	08/22/2006	REVISED PER CITY COMMENTS
3	09/14/2006	REVISED PER CITY COMMENTS
4	10/11/2006	REVISED PER CITY COMMENTS
5	11/08/2006	REVISED PER CITY COMMENTS
6	12/06/2006	REVISED PER CITY COMMENTS
7	01/03/2007	REVISED PER CITY COMMENTS
8	02/01/2007	REVISED PER CITY COMMENTS
9	03/01/2007	REVISED PER CITY COMMENTS
10	04/01/2007	REVISED PER CITY COMMENTS

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
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 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.



TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
 ZONING: PDV 2003-02-017

PROJECT INFORMATION
 OWNER/DESIGNER: HARBOR MARKET JOINT VENTURE
 401 ADVANCE PARKWAY
 HOUSTON, TEXAS 77059
 (972) 340-0309 FAX

PROJECT INFORMATION
 ARCHITECT: TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
 ZONING: PDV 2003-02-017

The applicant is required to pay the fee for the preparation of the site plan and to provide a copy of the site plan to the City of Gray, Texas, for review and approval. The fee for the preparation of the site plan is \$1,000.00. The fee for the review and approval of the site plan is \$500.00. The total fee for the preparation and review of the site plan is \$1,500.00.

CONTRACTOR:
 HARBOR MARKET JOINT VENTURE
 401 ADVANCE PARKWAY
 HOUSTON, TEXAS 77059
 (972) 340-0309 FAX

PROJECT INFORMATION:
 ARCHITECT: TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
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PROJECT INFORMATION:
 ARCHITECT: TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
 ZONING: PDV 2003-02-017

PROJECT INFORMATION:
 ARCHITECT: TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
 ZONING: PDV 2003-02-017

PROJECT INFORMATION:
 ARCHITECT: TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
 ZONING: PDV 2003-02-017

PROJECT INFORMATION:
 ARCHITECT: TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 PROPOSED USE: VETERINARY CLINIC
 ZONING: PDV 2003-02-017

SITE DATA SUMMARY TABLE

ITEM	DESCRIPTION	AMOUNT
TOTAL LOT AREA	10.00 ACRES	435,600 SQ. FT.
TOTAL BUILDING AREA	150,000 SQ. FT.	150,000 SQ. FT.
TOTAL PARKING SPACES	100	100
TOTAL VEHICLE SPACES	100	100
TOTAL TRUCK SPACES	0	0
TOTAL BIKE SPACES	0	0
TOTAL TRAMPOLINE SPACES	0	0
TOTAL SWIMMING POOL SPACES	0	0
TOTAL PLAY SPACES	0	0
TOTAL TOTAL SPACES	100	100

EXHIBIT "D"
 SITE PLAN
 TERA KASTEL AT ADRIATICA
 BLOCK B, LOT 1R, ADRIATICA
 CITY OF GRAY SURVEY, ABSTRACT NO. 343
 CITY OF MCKINNEY, TEXAS

CITY OF MCKINNEY SITE PLAN NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
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 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

PROJECT LOCATION / DESCRIPTION:
 PROJECT LOCATION: TERA KASTEL AT ADRIATICA
 PROJECT DESCRIPTION: VETERINARY CLINIC
 PROJECT ADDRESS: BLOCK B, LOT 1R, ADRIATICA
 PROJECT CITY: MCKINNEY, TEXAS

REVISIONS:
 1. REVISED PER CITY COMMENTS
 2. REVISED PER CITY COMMENTS
 3. REVISED PER CITY COMMENTS
 4. REVISED PER CITY COMMENTS
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REVISIONS:
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REVISIONS:
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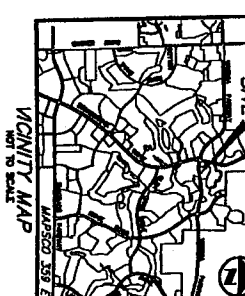
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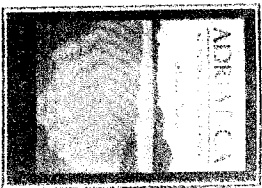
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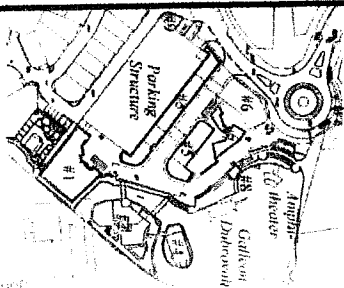
PLANNING
 JUN 27 2006
 REVISIONS



53 HARBOUR MARKET NORTH VENTURE
 IN BETHLEHEM COMPANY, PA.

BLACKBARD GROUP
 410 Ashburton Park Ave.
 Philadelphia, PA 19106
 Phone (610) 526-0000
 Fax (610) 526-0000

**HARBOR BUILDING
 ELEVATION STUDY**

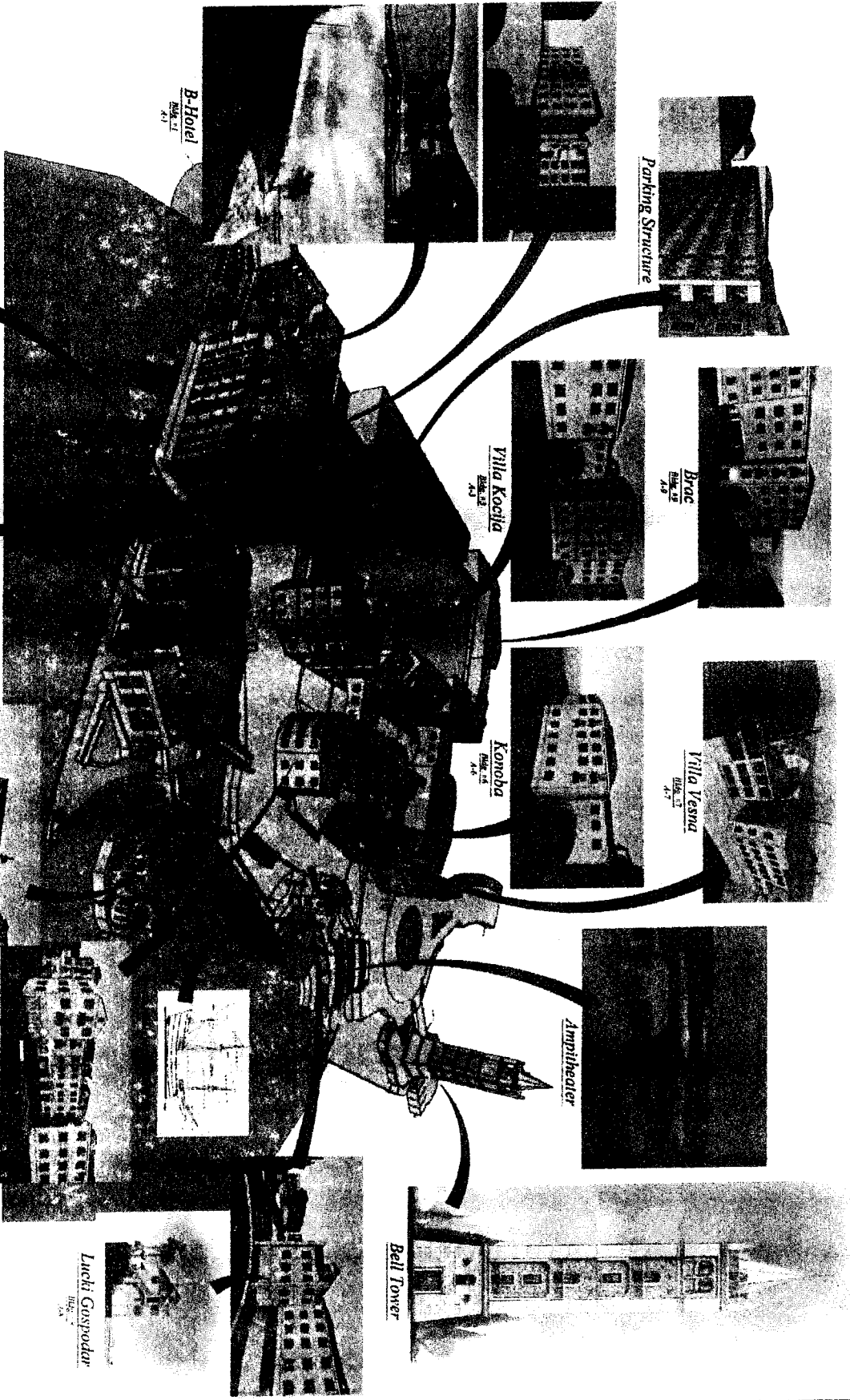


KEY PLAN

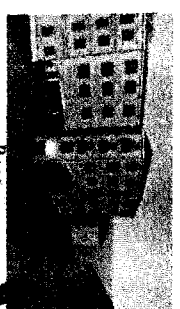
THIS ELEVATION STUDY IS A PRELIMINARY STUDY OF THE BUILDING ELEVATIONS FOR THE HARBOUR MARKET NORTH VENTURE. THE STUDY IS BASED ON THE KEY PLAN AND THE ARCHITECTURAL PROGRAM. THE STUDY IS SUBJECT TO CHANGE AND IS NOT A FINAL DESIGN. THE STUDY IS FOR INFORMATIONAL PURPOSES ONLY.

A-0

EXHIBIT "F"



Parking Structure



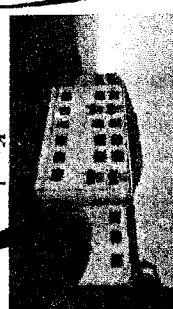
Bryce



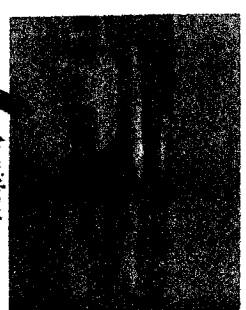
Villa Kocila



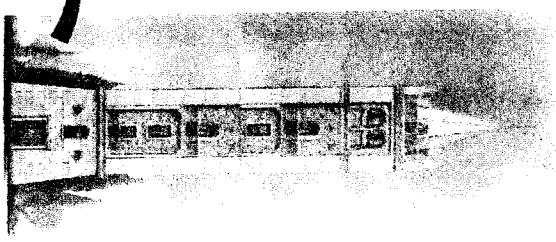
Villa Venna



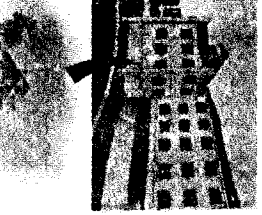
Komaba



Amphitheater



Bell Tower



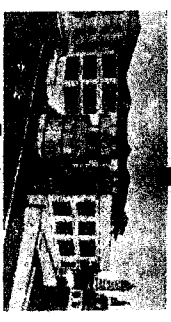
Luchi Gospodar



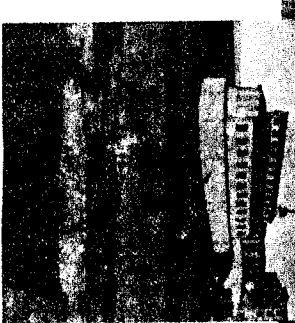
B-Hotel



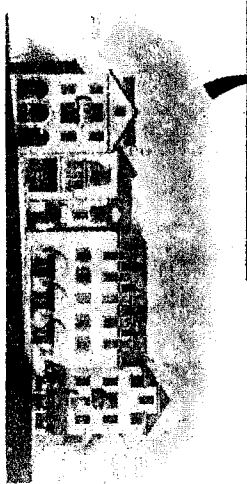
Harbor



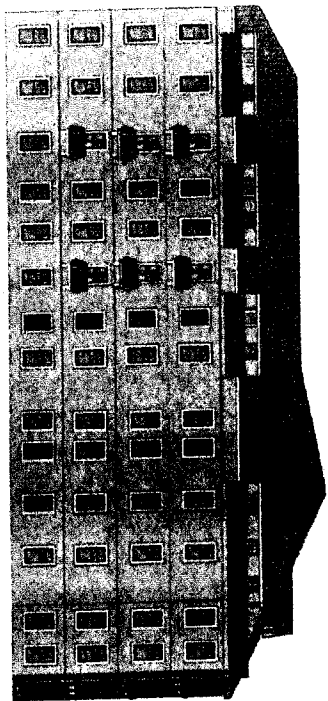
Troje



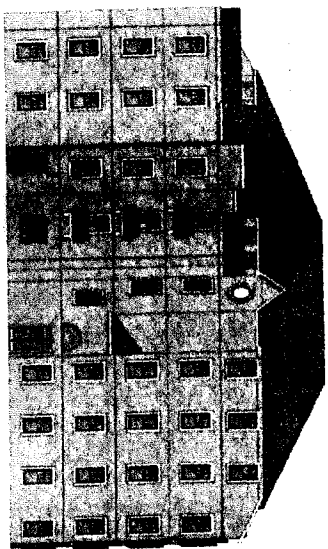
Chapel



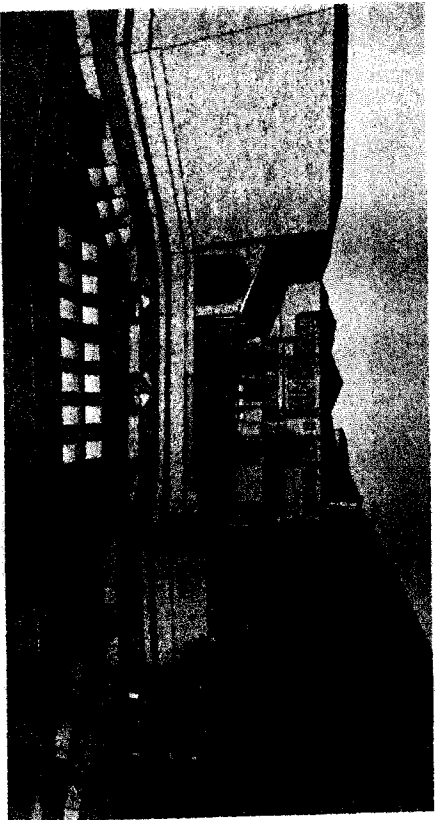
Solano



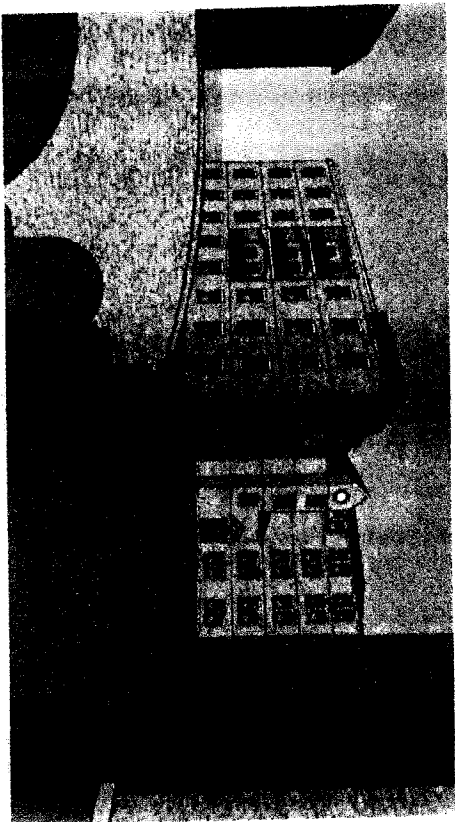
04 South Elevation
SCALE: 1/8" = 1'-0"



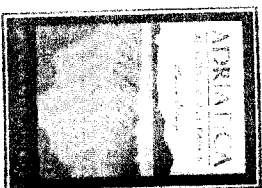
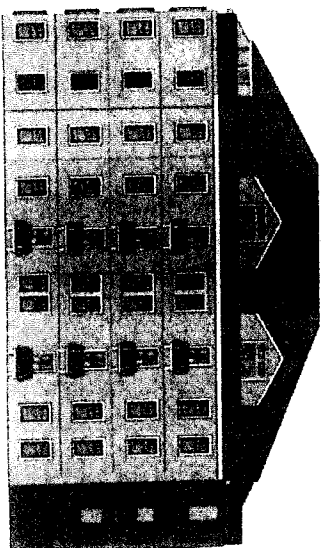
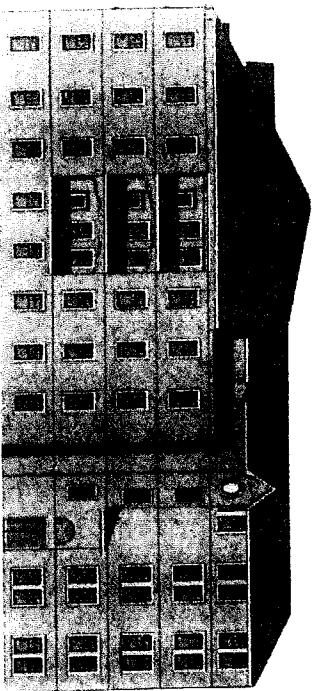
03 West Elevation
SCALE: 1/8" = 1'-0"



02 North Elevation
SCALE: 1/8" = 1'-0"



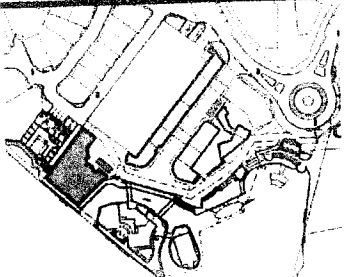
01 East Elevation
SCALE: 1/8" = 1'-0"



SHARON MARKET FRONT VENTURE
an affiliate company of

BLACKLARD GROUP
401 Marine Parkway
Rockaway, Texas 75080
Phone: (713) 460-0004
Fax: (713) 460-9330

B-Hotel
at
ADRIATICA
McKinney, Texas
BUILDING #1



KEY PLAN

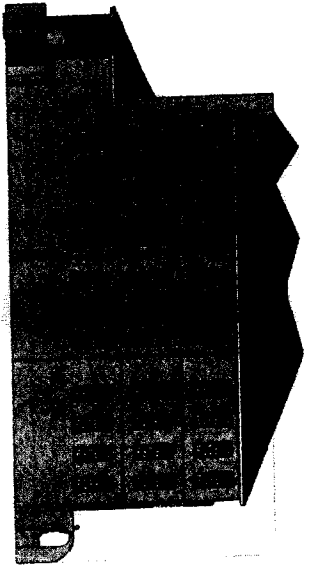
N.T.S.

This is a plan view of the site showing the location of the building and the parking area. The building is located on the east side of the site, and the parking area is located to the west. The site is bounded by McKinney Street to the north and south, and by the railroad tracks to the east and west. The building is shown in a hatched pattern, and the parking area is shown in a cross-hatched pattern. The site is shown in a perspective view, and the building and parking area are shown in a three-dimensional view. The site is shown in a perspective view, and the building and parking area are shown in a three-dimensional view.

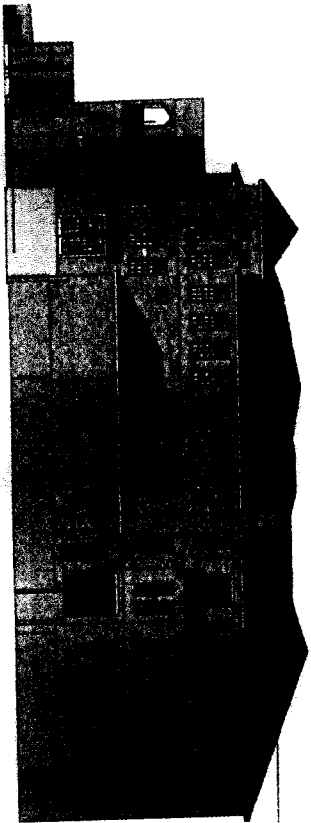
A-1

DATE: 01.11.93

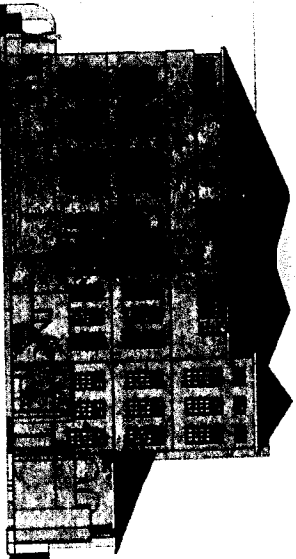
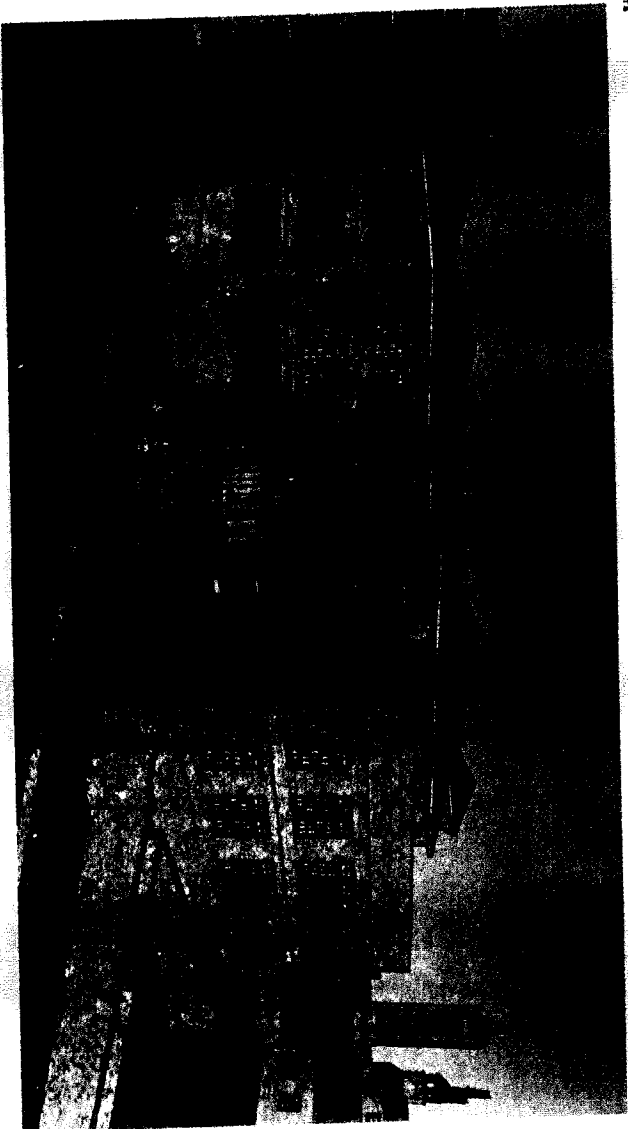
EXHIBIT "F"



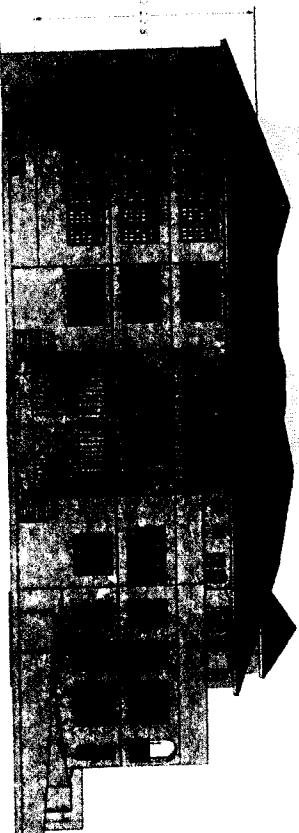
04 **West Elevation**
SCALE: 1/8" = 1'-0"



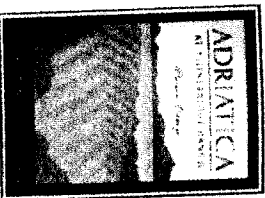
03 **North Elevation**
SCALE: 1/8" = 1'-0"



02 **East Elevation**
SCALE: 1/8" = 1'-0"



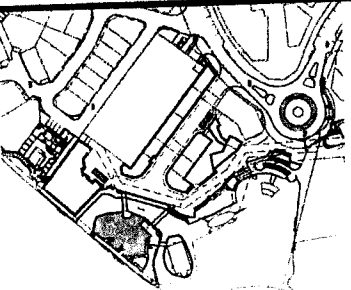
01 **South Elevation**
SCALE: 1/8" = 1'-0"



50 BLAUER MARKET JUNCT VENTURE
an affiliated company of:

BLACKARD GROUP
401 Adams Parkway
McKinney, Texas 75070
Phone (972) 340-0000
Fax (972) 340-0009

TROGIR
at
ADRIATICA
McKinney, Texas
BUILDING #2



KEY PLAN

N.T.S.

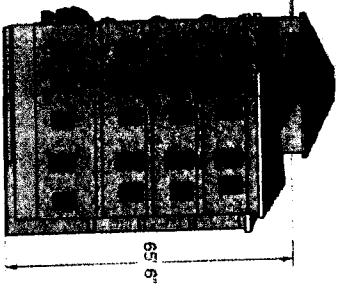
These elevations are for illustrative use in determining building zoning.
Architectural features will be subject to change and are not intended to be construed as a contract or agreement, including the owner's promise of approval.
Dimensions and floor area are indicated only to be approximate and are not intended to be construed as a contract or agreement.
The building footprint, ground building and tree locations are to be determined by the owner and are not intended to be construed as a contract or agreement.
Site and parking dimensions, driveway and deck locations are to be determined by the owner and are not intended to be construed as a contract or agreement.
Dimensions shown are subject to the standards of the City of McKinney Planning Department.

A-2

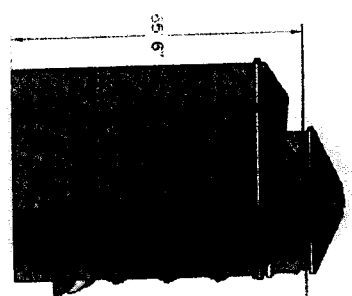
Author: Blackard Group
Date: July 17, 2006

JUL 17 2006

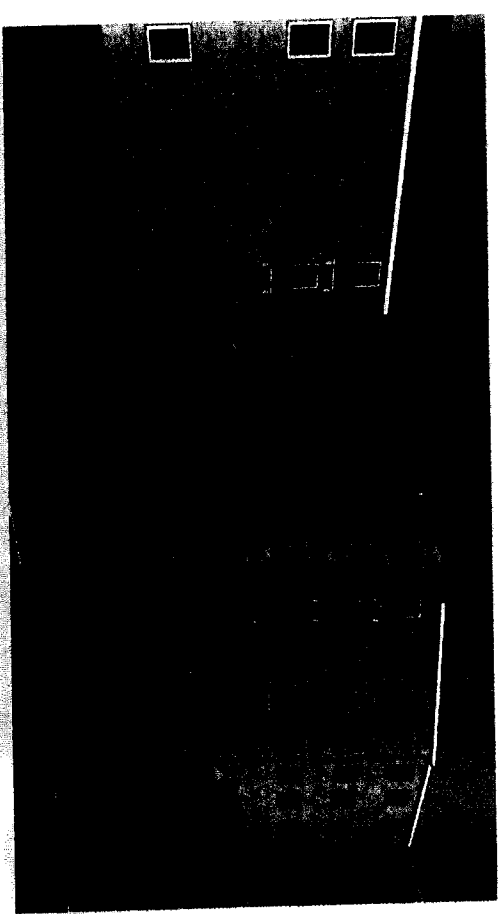
PLANNING



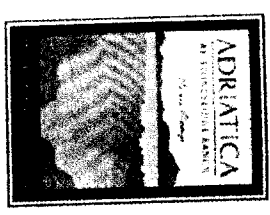
03 West Elevation
SCALE: 1/8" = 1'-0"



02 East Elevation
SCALE: 1/8" = 1'-0"



01 North Elevation
SCALE: 1/8" = 1'-0"

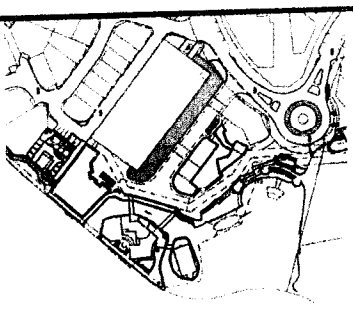


50 HILARIO MARKET NORTH SUITE 100
an official company of

BLACKCARD GROUP

401 Atlantic Building
Houston, Texas 77002
Phone: (713) 540-0004
Fax: (713) 540-0005

Villa Koojia
at
ADRIATICA
McKinney, Texas
BUILDING #3



KEY PLAN

N18

These annotations are for conceptual use to determine zoning meeting.

Architectural features will be added or modified to meet zoning by providing the name of ADRIATICA.

Median and curb side and station are to be determined in consultation with future consultants. Some drawings will be omitted.

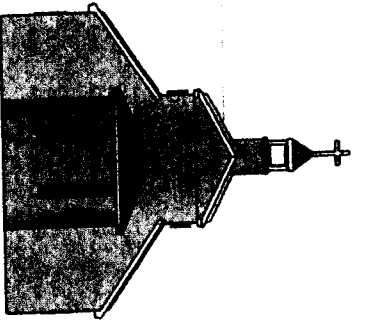
Final zoning meeting review by ADRIATICA and Blackcard Group. All drawings are subject to the approval of the City of Houston Planning Department.

ADRIATICA ARCHITECTURAL FIRM
401 Atlantic Building
Houston, Texas 77002
Phone: (713) 540-0004
Fax: (713) 540-0005

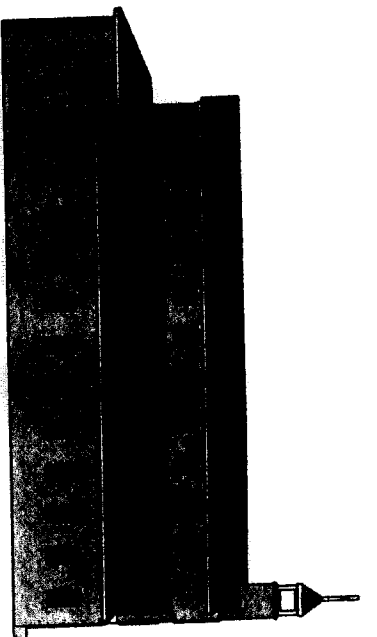
A-3

JUL 17 2008
PLANNING

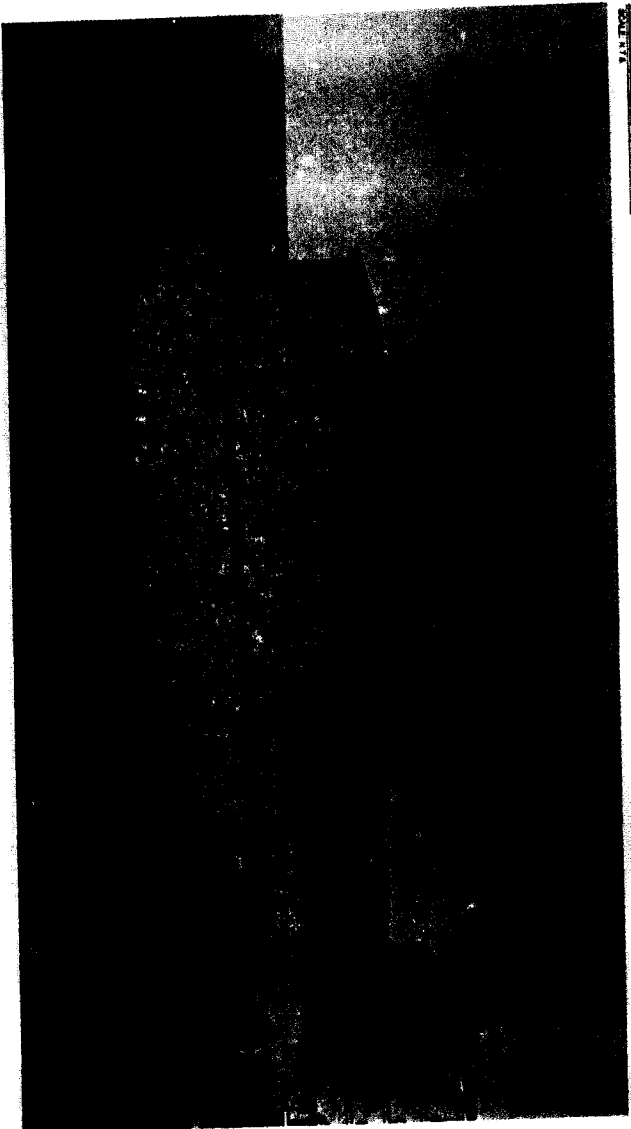
EXHIBIT 'F'



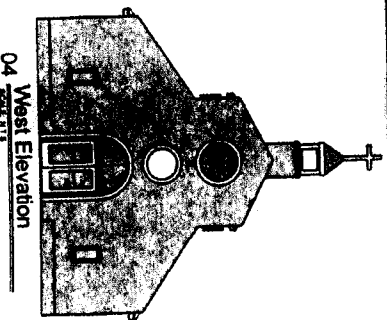
03 East Elevation
SCALE: 1/8" = 1'-0"



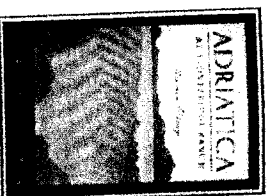
01 North Elevation
SCALE: 1/8" = 1'-0"



02 South Elevation
SCALE: 1/8" = 1'-0"



04 West Elevation
SCALE: 1/8" = 1'-0"

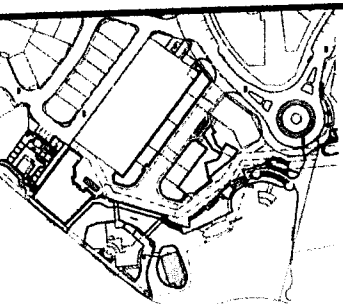


88 BLAUEN MARKET STREET, VENTNOR
PHILADELPHIA, PA 19122

BLACKLAND GROUP
401 Adams Parkway
McKeesport, Texas 75067
Phone: (972) 540-0304
Fax: (972) 540-0309

CHAPEL
at
ADRIATICA
McKeesport, Texas

BUILDING #4



KEY PLAN

N.T.S.

These drawings are prepared for the use of the contractor and are not to be used for any other purpose. The contractor is responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The architect is not responsible for the contractor's actions or omissions.

Final cost projections, drawings, change orders, and other documents are subject to the approval of the City of Blowing Rock, North Carolina.

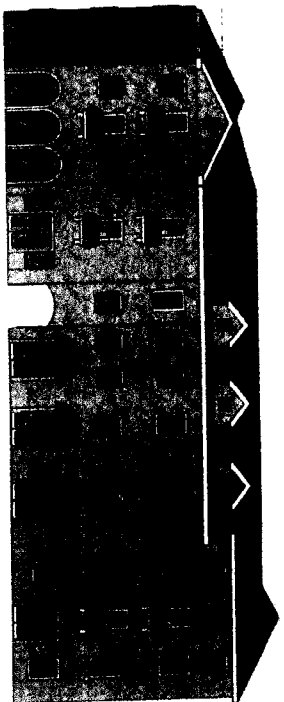
A-4

DATE: 6/20/06
BY: [Signature]

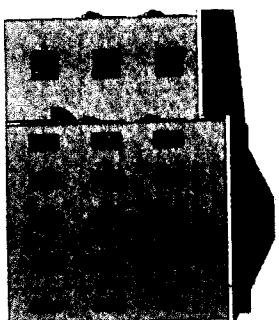
JUL 7 2006

PLANNING

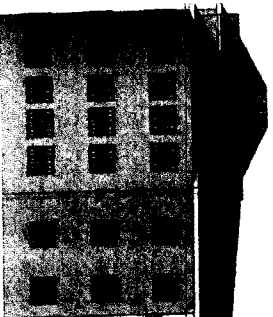
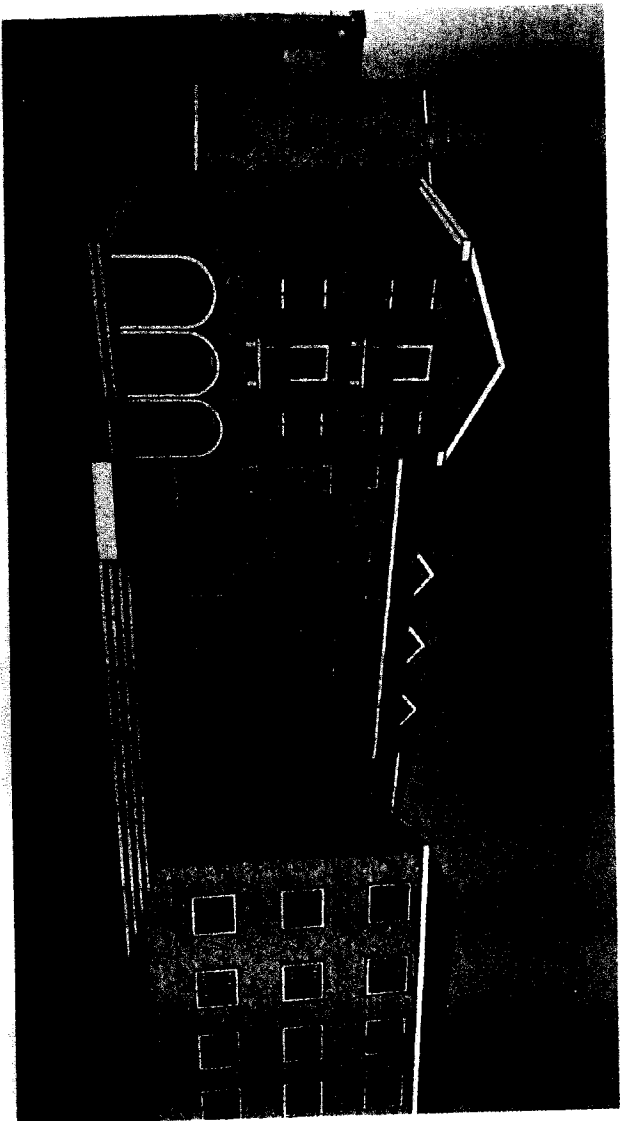
EXHIBIT "P"



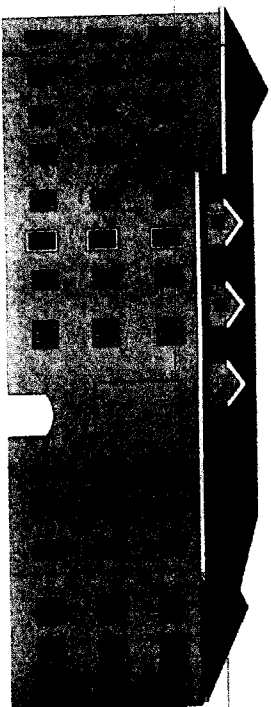
04 North Elevation
SCALE 1/8" = 1'-0"



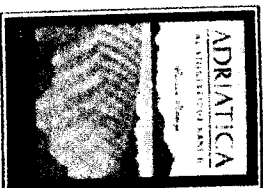
03 West Elevation
SCALE 1/8" = 1'-0"



02 East Elevation
SCALE 1/8" = 1'-0"



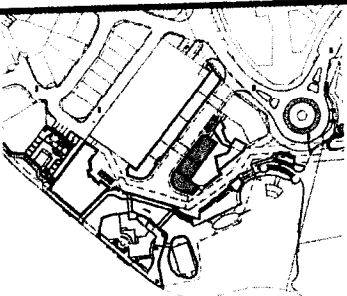
01 South Elevation
SCALE 1/8" = 1'-0"



2010000 MARKET FRONT VENTURE
10000 MARKET FRONT VENTURE
10000 MARKET FRONT VENTURE

BLACKCARD GROUP
401 Adair Parkway
McKinney, Texas 75070
Phone (972) 340-0304
Fax (972) 340-0305

SOLANO
at
ADRIATICA
McKinney, Texas
BUILDING #5



KEY PLAN

N.T.S.

These elevations are for conceptual use to determine building massing. Final elevations will be based on the final architectural drawings. The elevations are not to be used for construction or other purposes without the approval of the architect. The elevations are subject to the design of the City of McKinney planning department.

A-5

Upper Design

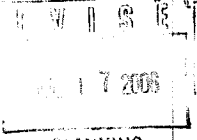
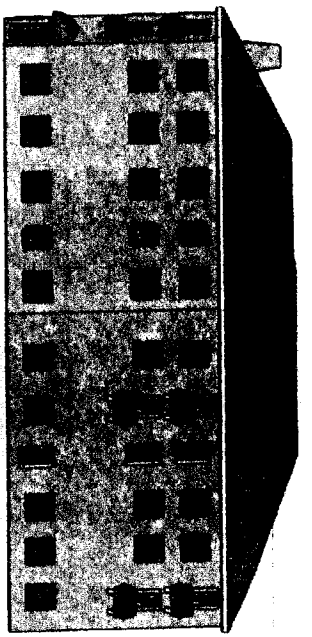
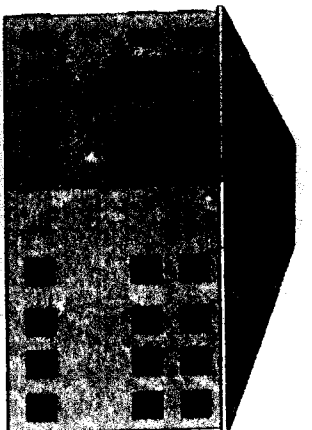


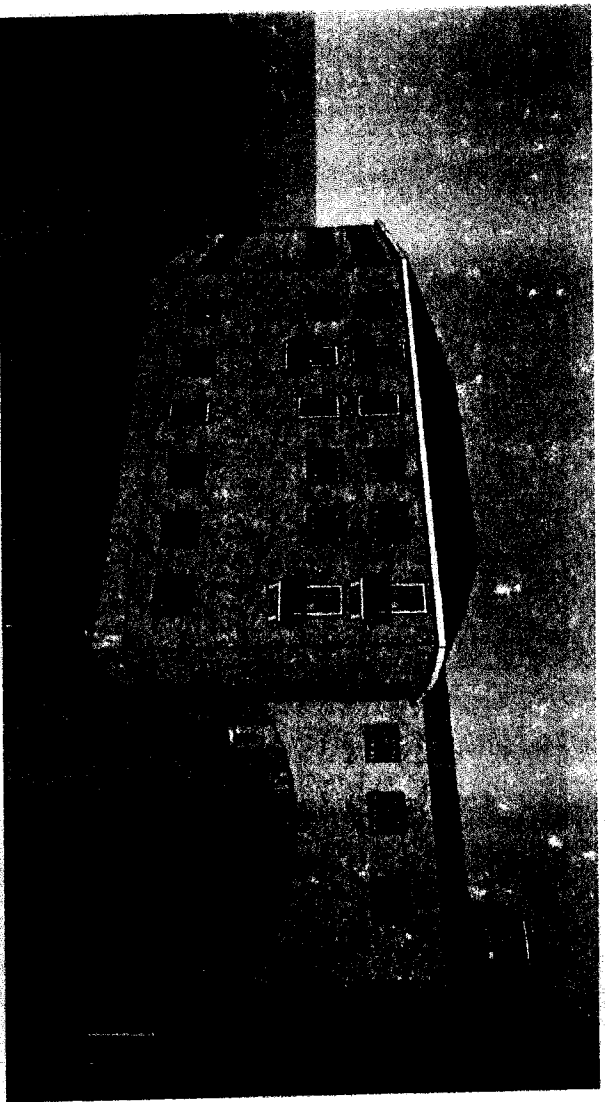
EXHIBIT 'F'



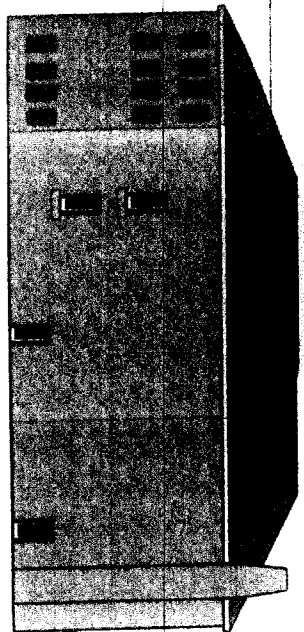
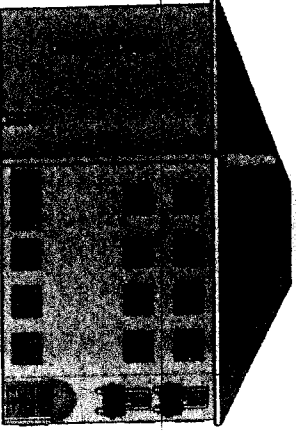
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SCALE 1/4" = 1'-0"



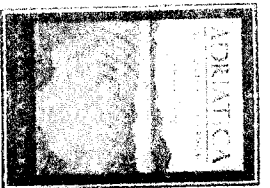
03 South Elevation
SCALE 1/4" = 1'-0"



02 North Elevation
SCALE 1/4" = 1'-0"



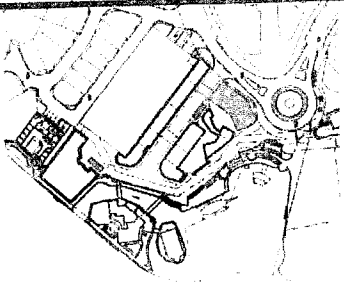
01 East Elevation
SCALE 1/4" = 1'-0"



SEASIDE MARKET PARTNERSHIP
an affiliated company of

BLACKARD GROUP
201 Adelaide Parkway
McKinney, Texas 75069
Tel: (972) 569-9200

KONOBA
at
ADRIATICA
McKinney, Texas
BUILDING #3



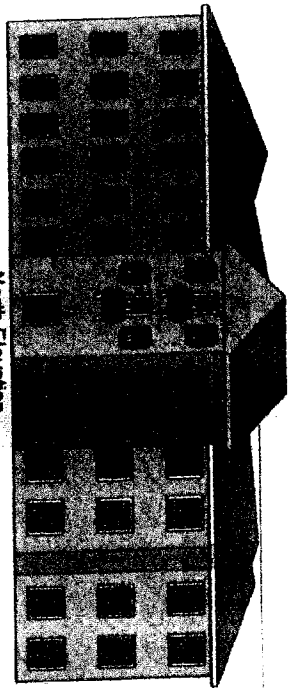
KEY PLAN

N 15

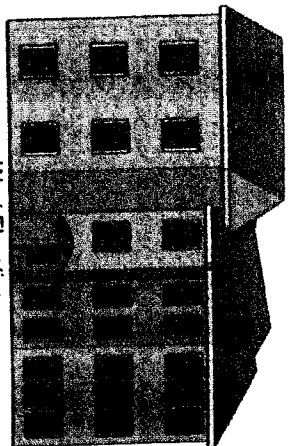
This elevation set for concrete use is prepared for framing.
All details shown are for concrete use. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/4 inch.
All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/4 inch.
The design shown is a general representation of the design shown in the drawing set.

A-6

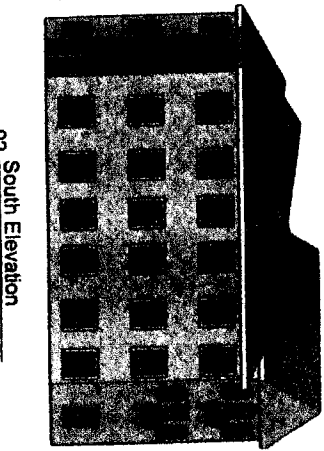
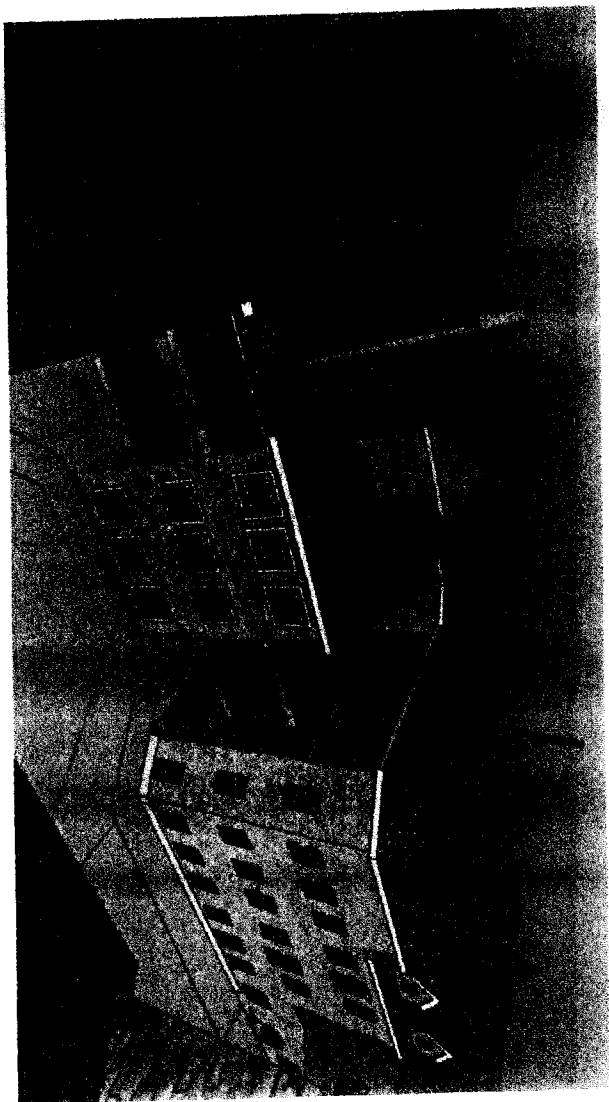
EXHIBIT "F"



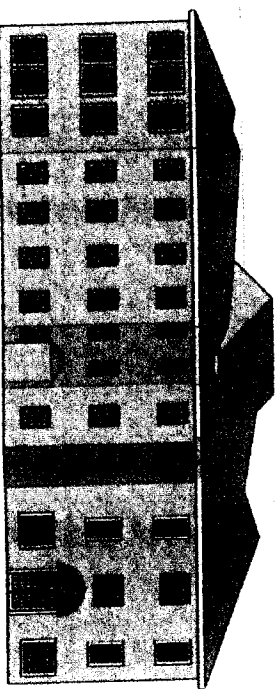
04 North Elevation
ELEVATION



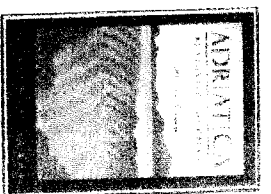
03 West Elevation
ELEVATION



02 South Elevation
ELEVATION



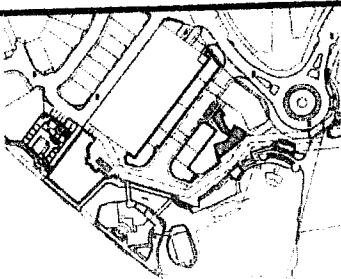
01 East Elevation
ELEVATION



33 RAVEN MARKET BOULEVARD
MCKINNEY, TEXAS 75069
PH: (972) 546-0105

BLACKARD GROUP
401 Adams Parkway
McKinney, Texas 75070
Phone: (972) 546-0105
Fax: (972) 546-0105

VILLA VESNA
at
ADRIAATICA
McKinney, Texas
BUILDING #7

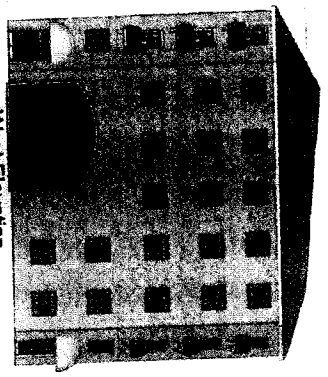


KEY PLAN
SITE

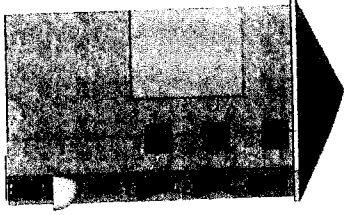
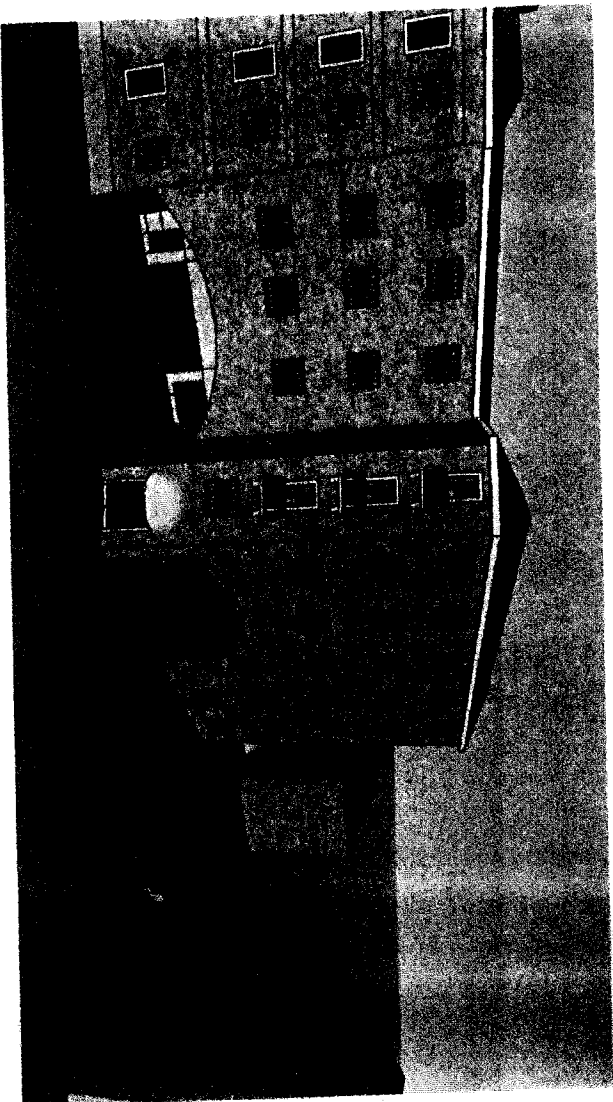
This plan shows the location of the building on the site. The building is located on the east side of the site, adjacent to the parking area. The site is bounded by Adams Parkway to the north, McKinney Parkway to the south, and the existing building to the west. The building is shown in a shaded area, and the parking area is shown in a hatched area. The site is shown in a white area. The plan is a key plan, and it is not to scale. The plan is for information only, and it is not intended to be used for construction purposes. The plan is subject to change without notice. The plan is the property of Adriaatica Architecture, and it is not to be reproduced or distributed without the written consent of Adriaatica Architecture.

A-7

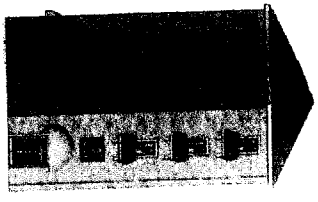
EXHIBIT "F"



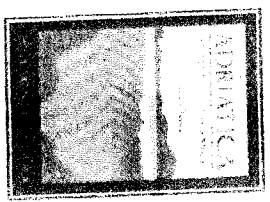
03 West Elevation
SCALE: 1/8" = 1'-0"



02 North Elevation
SCALE: 1/8" = 1'-0"



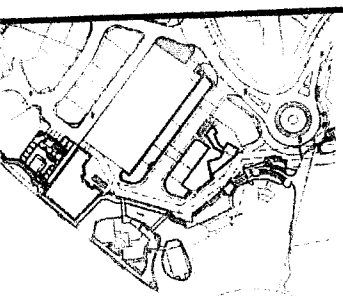
01 South Elevation
SCALE: 1/8" = 1'-0"



55 S. HARBOUR MARKET FRONT TOWER BEE
A-9 (Official Company of)

BLACKARD GROUP
401 Adams Parkway
McKinney, Texas 75069
Phone (972) 340-0104
Fax (972) 340-0109

BRAC
at
ADRIATICA
McKinney, Texas
BUILDING #9



KEY PLAN
N.T.S.

These drawings are for general reference only. They are not to be used for construction purposes. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall be responsible for the design and construction of the building. The contractor shall be responsible for the construction of the building. The architect shall be responsible for the design and construction of the building. The contractor shall be responsible for the construction of the building.

A-9
Drawing No. A-9

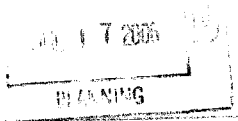


EXHIBIT 'F'