

CITY OF MCKINNEY, TX

PLANNING DEPARTMENT SUBMITTAL APPLICATION

APPLICANT

NAME DAVID McGINNIS
 COMPANY GRAYSON-COLLIN ELECTRIC COOPERATIVE, Inc.
 ADDRESS 1096 N. WACO
 CITY VAN ALSTYNE STATE TX ZIP 75495
 PHONE (903) 482-7115
 FAX () N/A
 E-MAIL ADDRESS dmcginnis@gcec.net

OWNER (If Different From Applicant)

NAME _____
 COMPANY _____
 ADDRESS _____
 CITY _____ STATE _____ ZIP _____
 PHONE () _____
 FAX () _____
 E-MAIL ADDRESS _____

APPLICATION TYPE* (CHECK ONE)

*Please complete a new application for each action you request.

- | | | |
|--|--|---|
| ☐ Site Plan Review | ☐ Preliminary-Final Plat/Replat** | ☒ Specific Use Permit |
| ☐ Annexation | ☐ Record Plat | ☐ General Development Plan |
| ☐ Straight (Re)Zoning Request | ☐ Minor Plat/Replat** | ☐ Concept Plan |
| ☐ PD (Re)Zoning Request | ☐ Amending Plat | ☐ Other |
| | ☐ Conveyance Plat | |

**If the action requested above is a replat, is it a RESIDENTIAL REPLAT? ☐ Yes ☒ No

PROPERTY INFORMATION

STREET ADDRESS OR LOCATION OF PROPERTY *[use directional (N, S, E or W) information when possible]*
4400 SH 121 SB

Are there deed restrictions pertaining to intended use of property? If yes, attach a copy of any covenants or restrictions governing this property.
 YES ☐ NO ☒

COLLIN CAD ACCOUNT NUMBER(S):

* Please attach an additional sheet if you have more than 5 account numbers to list in either row.

Property(s) Long #

Property(s) Short #

R-6719-000-0010-1

and/or 2118531

R-

R-

LEGAL DESCRIPTION

Survey _____ Abstract A0719 Addition Name* JONATHAN PHILLIPS SURVEY

Lot TRACT 1 Block _____ Total Number of Acres 3.87

*ATTACH METES AND BOUNDS DESCRIPTION FOR UNPLATTED PROPERTY AND ALL ZONING CASES.

I CERTIFY THAT I AM THE LEGAL OWNER OF THE ABOVE REFERENCED PROPERTY AND THAT TO THE BEST OF MY KNOWLEDGE THIS IS A TRUE DESCRIPTION OF THE PROPERTY UPON WHICH I HAVE REQUESTED THE ABOVE CHECKED ACTION. I UNDERSTAND THAT I AM FULLY RESPONSIBLE FOR THE CORRECTNESS OF THE LEGAL DESCRIPTION GIVEN.

APPLICANT'S SIGNATURE _____ DATE _____

OWNER'S SIGNATURE _____ DATE _____

SPECIFIC USE PERMIT LETTER OF INTENT REQUIREMENTS

SPECIFIC USE PERMIT (SUP) REQUESTS:

- Define acreage of subject property
- Describe in detail the location of the property [Example: approximately (distance) feet South of (street name), approximately (distance) feet North of (street name), approximately (distance) feet East of (street name), and/or approximately (distance) feet West of (street name).]
- Specify the existing zoning district
- Define the reason(s) why the applicant is requesting approval of a specific use permit on the subject property and information regarding the business requesting the SUP.
- Provide detailed justification and/or supporting documentation as to why the specific use permit is appropriate on the subject property
- Describe any other special considerations or unique characteristics of subject property
- Requested Planning & Zoning Commission and City Council consideration dates
- The Letter of Intent must provide the signature and contact information of the owner or applicant.

SPECIFIC USE PERMIT (SUP) REQUESTS:

- Define acreage of subject property 3.87+/-
- Describe in detail the location of the property 4400 Block of SH 121 SB
- Specify the existing zoning district PD – Planned Development
- Define the reason(s) why the applicant is requesting approval of a specific use permit on the subject property and information regarding the business requesting the SUP.
 - A. Proximity to Existing Electrical Transmission line
 - B. Proximity to Existing Feeder Circuits under SH 121
 - C. Support from Property Developer (to sell the property to GCEC for Substation). The substation will be surrounded by businesses, apartments (nearly completed and ready for occupancy; see attached drawing) and existing old growth trees.
 - D. Safe; Adequate; Reliable and Economical power for customers
 - E. GCEC currently serves approximately 5600 customers within the City of McKinney
 - F. The site is a drainage area for Sloan creek – Substation would have minimal impact
 - G. GCEC has contract with McKinney ISD to provide electrical service to proposed McKinney ISD new football stadium less than 1000 yards away from
 - H. This area is already a centralized area for utilities. City of McKinney has water supply to the north, ONCOR has substation to the West.
 - I. The substation is set back approximately 220 feet from the northern curb of S.H. 121. The 220 feet is more than adequate for the proposed commercial development.
 - J. The property also has several existing easements for existing and future water and sanitary sewer. There is also an 80'x75' easement for sanitary sewer lift station in the south east corner of the property that is located directly next to S.H. 121.
- Provide detailed justification and/or supporting documentation as to why the specific use permit is appropriate on the subject property
 - A. Map showing existing transmission line and feeder circuits
 - B. Sloan creek drainage and FEMA flood map
 - C. Plat showing football stadium development
 - D. Map showing existing uses of land in this area by other utility providers
- Describe any other special considerations or unique characteristics of subject property
 - A. The Sloan Creek drainage area runs across the proposed site.
 - B. Existing transmission line is easily accessible to tap for the substation
- Requested Planning & Zoning Commission and City Council consideration dates

Planning & Zoning Commission:
Apply for a Board or Commission Overview. The commission reviews and considers submitted site plans and plats, makes recommendations to City Council on zoning ordinance amendments, Comprehensive Plan amendments, specific use permits and rezoning requests. Meetings 6 p.m. 2nd & 4th Tuesdays every month @ Council Chambers 222 N. Tennessee St. McKinney, TX 75069
The McKinney City Council holds regular meetings the first and third Tuesday of the month at 6 p.m. Work Sessions are conducted on the 1st, 3rd, & 4th Mondays every month at 5:30 p.m. Regular meetings and work sessions are held in the Council Chambers at: City Hall 222 N. Tennessee St. McKinney, TX 75069
- The Letter of Intent must provide the signature and contact information of the owner or applicant.

McKinney Ranch Pkwy

Proposed GCEC Hwy 121 Sub

ONCOR MCKINNEY SOUTH SUBSTATION

McKinney South 25kV Meter Point

Texas 121 Access Rd

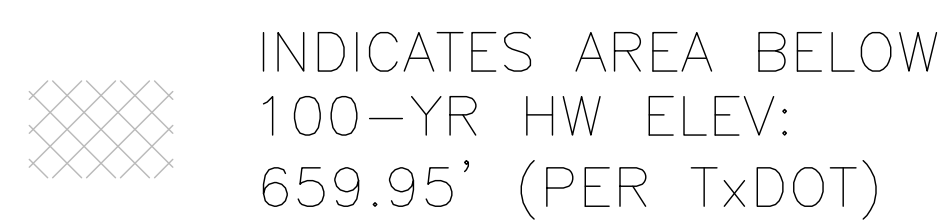
Sam Rayburn Tollway

S Central Expy

121

399

75



HWY 121 SUBSTATION
 138KV-24.9KV
 xxxx STATE HWY 121 MCKINNEY, TX 75xxx1
 PRELIM. SUBSTATION LAYOUT

**GRAYSON-COLLIN
ELECTRIC COOPERATIVE, INC.**
1096 N. WACO
VAN ALSTYNE, TEXAS

NO.	DATE	REVISION	DFT	ENG	APV

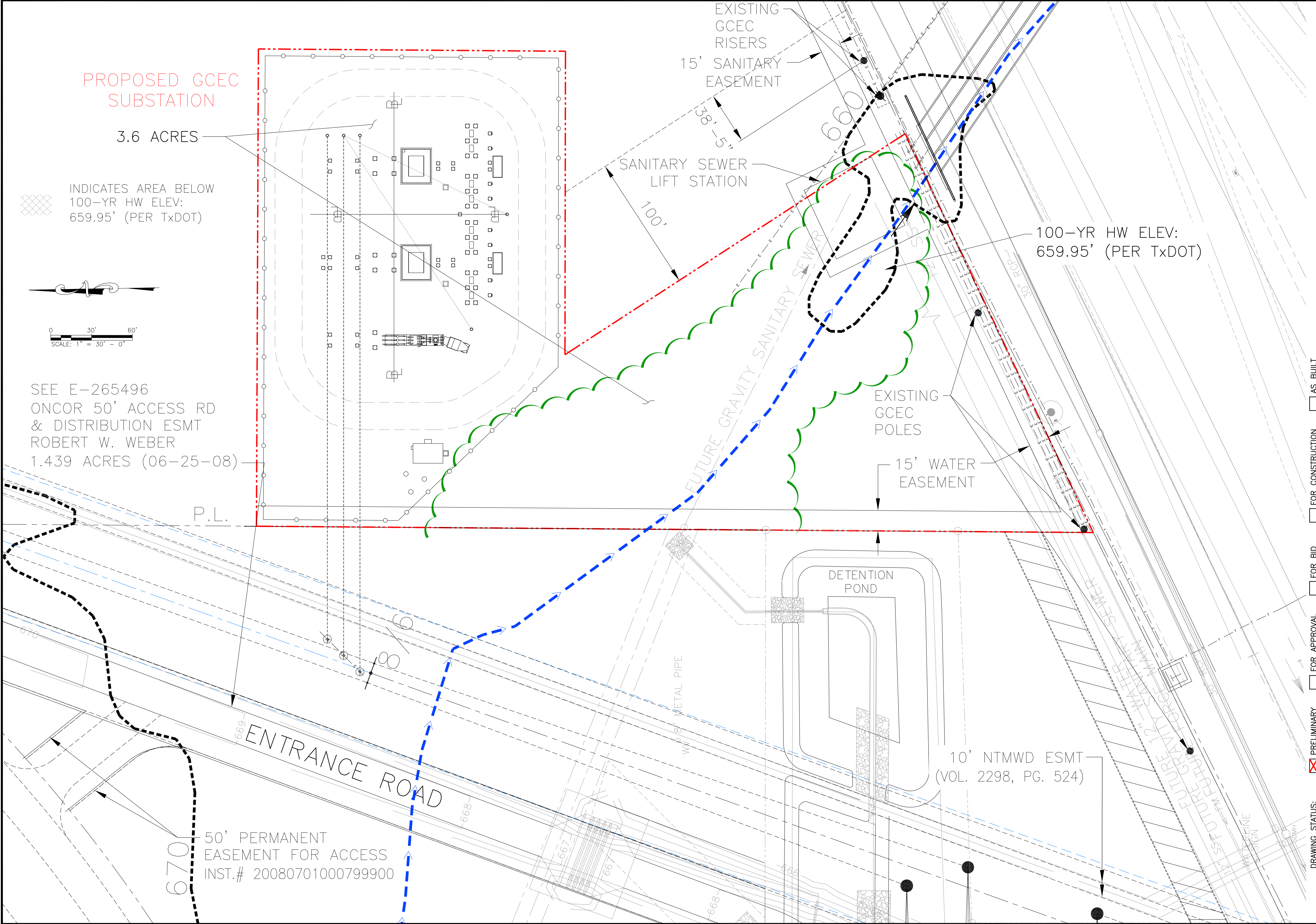
SEI-
SCARBOROUGH
ENGINEERING, INC.

CONSULTING ENGINEERS

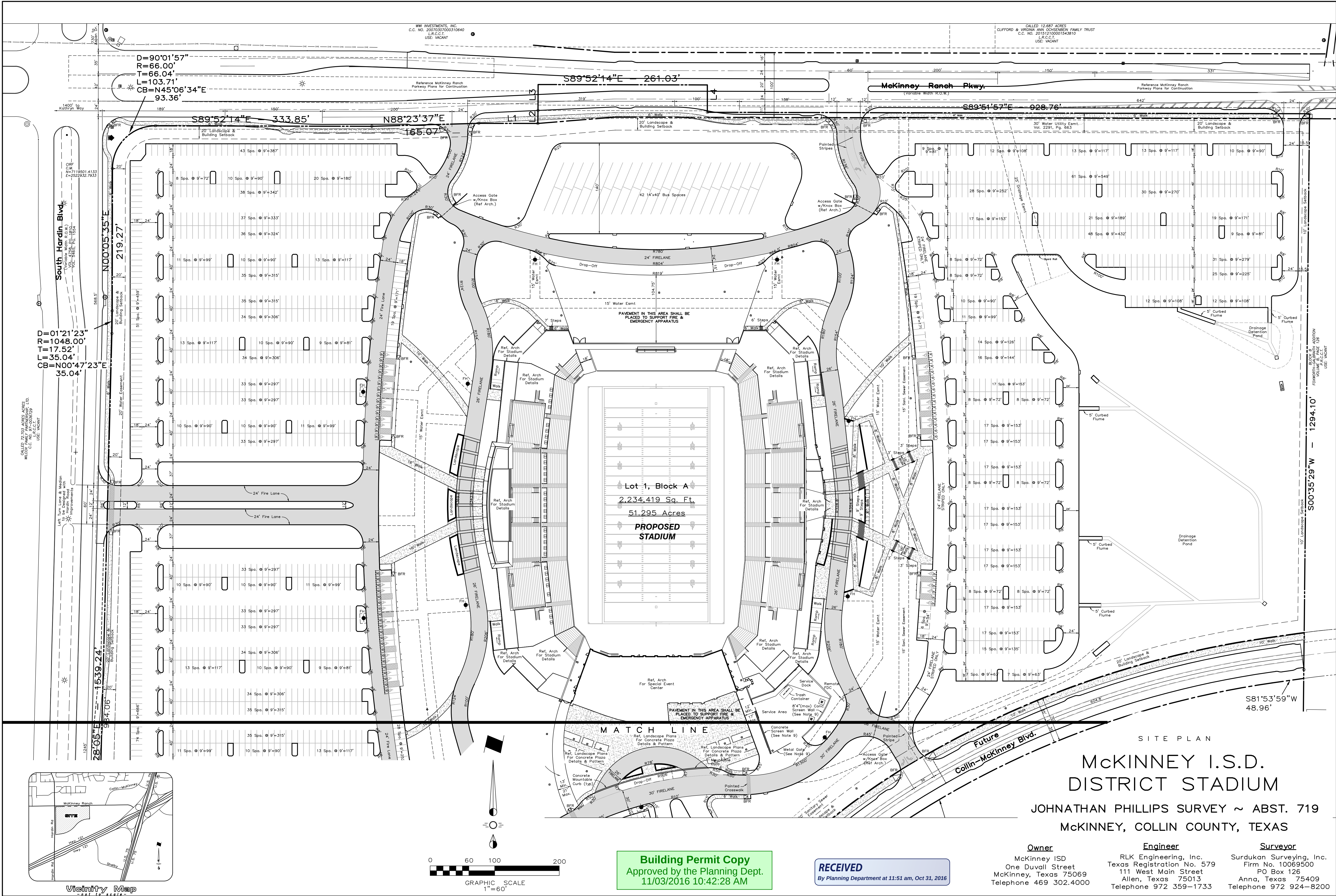
2400 SCOTT AVENUE
FORT WORTH, TX 76103
www.seitexas.com

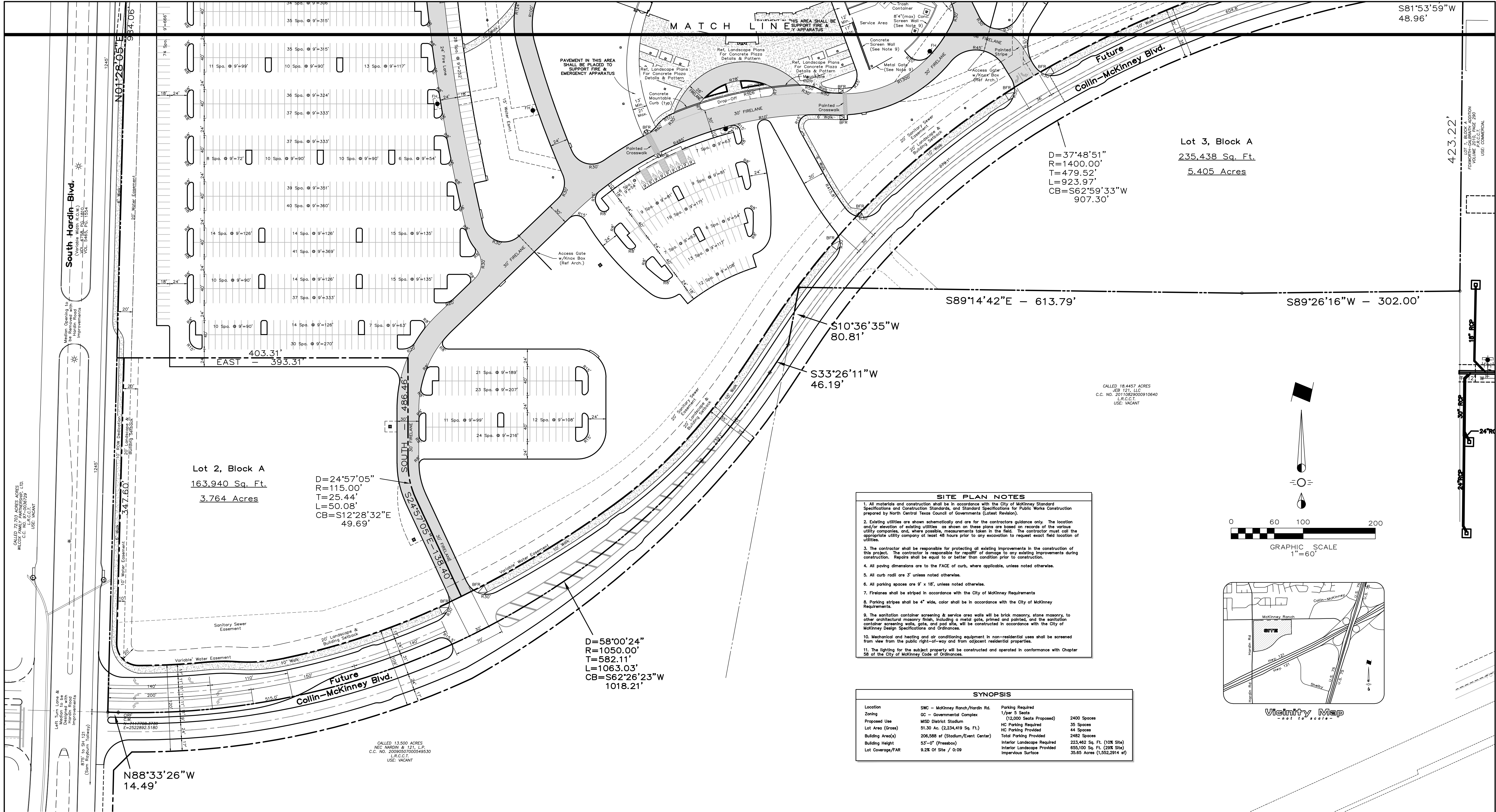
TX: F-1592
(817) 451-6687
FAX (817) 451-0476
sei@seitexas.com

N:\GEO\Hwy 121 Substation 100616\Drawings - AutoCAD\Hwy121SUB - layout.dwg sheet 2, 12/19/2016 4:28:33 PM



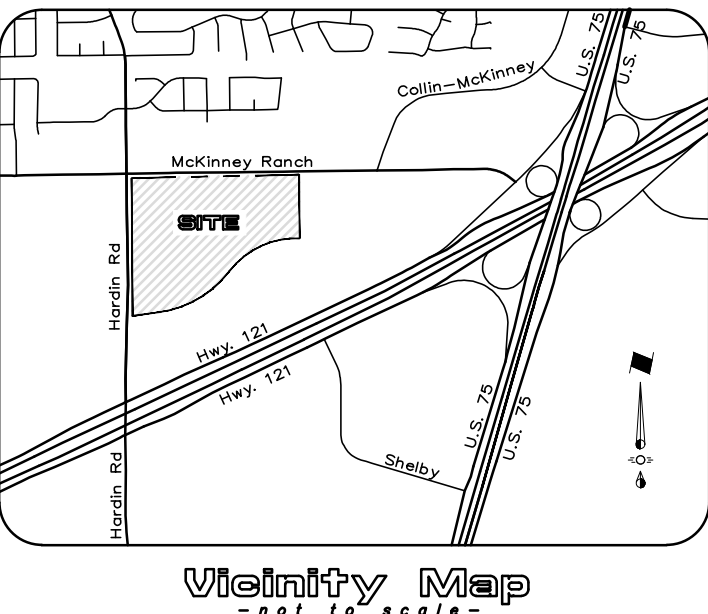
DRAWING STATUS:		☒ PRELIMINARY	☐ FOR APPROVAL	☐ FOR BID	☐ FOR CONSTRUCTION	☐ AS BUILT
ENGINEERING: JDS						
APPROVED: JDS						
DRAFTING: SEI						
SCALE: AS NOTED						
FILE: HWY121SUB						
DATE: 10/31/16						
SHEET 2 OF 2						
REV. 0						
Hwy 121 SUBSTATION		GRAYSON-COLLIN ELECTRIC COOPERATIVE, INC.				
138KV-24.9KV		1096 N. WACO				
XXXX STATE HWY 121		VAN ALSTYNE, TEXAS				
MCKINNEY, TX 75xxx1						
PRELIM. SUBSTATION LAYOUT						
SCARBOROUGH ENGINEERING, INC.		CONSULTING ENGINEERS				
2400 SOUTH AVENUE		TX. F-1992				
FOW. ST. TX 76003		(817) 451-6887				
www.scarbrough.com		sc@carbrough.com				





- SITE PLAN NOTES**
1. All materials and construction shall be in accordance with the City of McKinney Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
 2. Existing utilities are shown schematically and are for the contractor's guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
 3. The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repair of damages to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
 4. All paving dimensions are to the FACE of curb, where applicable, unless noted otherwise.
 5. All curb radii are 3' unless noted otherwise.
 6. All parking spaces are 9' x 18', unless noted otherwise.
 7. Firelanes shall be striped in accordance with the City of McKinney Requirements.
 8. Parking stripes shall be 4" wide, color shall be in accordance with the City of McKinney Requirements.
 9. The sanitation container screening & service area walls will be brick masonry, stone masonry, or other architectural masonry finish, including a metal gate, primed and painted, and the sanitation container screening walls, gate, and pad site, will be constructed in accordance with the City of McKinney Design Specifications and Ordinances.
 10. Mechanical and heating and air conditioning equipment in non-residential uses shall be screened from view from the public right-of-way and from adjacent residential properties.
 11. The lighting for the subject property will be constructed and operated in conformance with Chapter 58 of the City of McKinney Code of Ordinances.

SYNOPSIS			
Location	SWC - McKinney Ranch/Hardin Rd.	Parking Required	1/for 5 Seats
Zoning	GC - Governmental Complex	HC Parking Required	(12,000 Seats Proposed)
Proposed Use	MSD District Stadium	HC Parking Provided	35 Spaces
Lot Area (Gross)	51.30 Ac. (2,234,419 Sq. Ft.)	Total Parking Provided	44 Spaces
Building Area(s)	206,588 sq. ft. (Stadium/Event Center)	Interior Landscape Required	2482 Spaces
Building Height	53'-0" (Pressbox)	Interior Landscape Provided	223,462 Sq. Ft. (10% Site)
Lot Coverage/FAR	9.2% Of Site / 0.09	Impervious Surface	655,100 Sq. Ft. (29% Site)
			33.65 Acres (1,552,2814 sq. ft.)



SITE PLAN

McKINNEY I.S.D. DISTRICT STADIUM

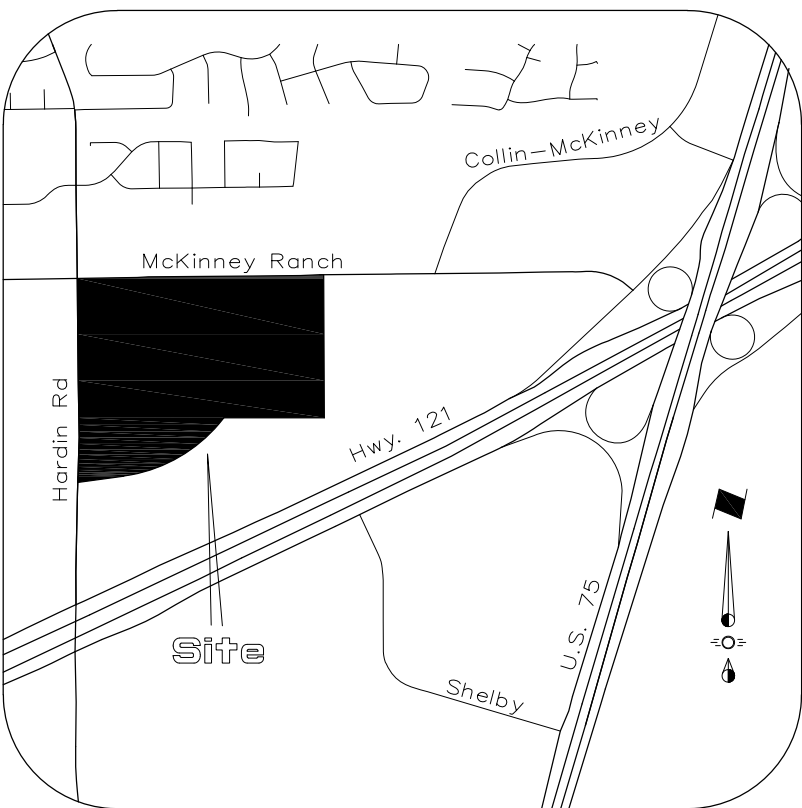
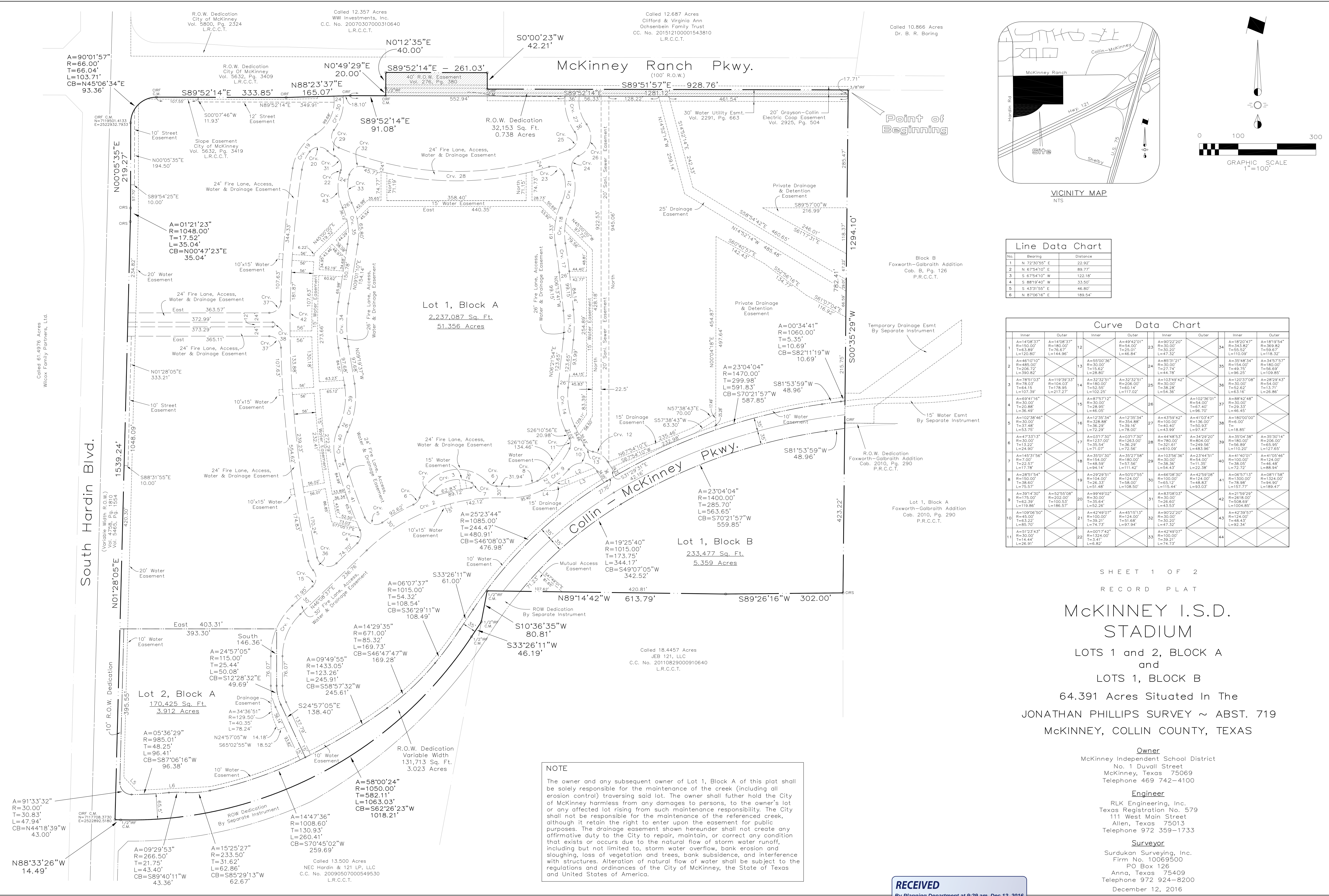
JOHNATHAN PHILLIPS SURVEY ~ ABST. 719
McKINNEY, COLLIN COUNTY, TEXAS

Building Permit Copy
Approved by the Planning Dept.
11/03/2016 10:42:35 AM

Owner
McKinney ISD
One Duval Street
McKinney, Texas 75069
Telephone 469 302.4000

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdukan Surveying, Inc.
Firm No. 10069500
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200



VICINITY MAP
NTS

Line Data Chart		
No.	Bearing	Distance
1	N 72°30'55" E	22.92'
2	N 67°54'10" E	89.77'
3	S 67°54'10" W	122.18'
4	S 88°19'40" W	33.50'
5	S 43°31'55" E	46.80'
6	N 87°06'16" E	189.54'

Curve Data Chart											
	Inner	Outer	Inner	Outer	Inner	Outer	Inner	Outer	Inner	Outer	
1	A=14°08'37" R=150.00' T=63.89' L=120.80'	A=14°08'37" R=180.00' T=76.67' L=144.96'	A=49°42'01" R=54.00' T=25.01' L=46.84'	A=90°22'20" R=30.00' T=30.20' L=47.32'	A=85°31'21" R=30.00' T=27.74' L=44.78'	A=35°48'34" R=154.00' T=49.75' L=109.85'	A=18°20'47" R=343.85' T=55.52' L=110.09'	A=18°19'54" R=369.82' T=56.67' L=118.32'	A=18°19'54" R=369.82' T=56.67' L=118.32'	A=18°19'54" R=369.82' T=56.67' L=118.32'	
2	A=48°10'10" R=485.00' T=208.72' L=300.82'	A=119°39'39" R=180.00' T=104.03' L=107.39'	A=32°32'51" R=206.00' T=60.14' L=102.25'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	
3	A=78°51'03" R=78.03' T=64.15' L=107.39'	A=119°39'39" R=180.00' T=104.03' L=107.39'	A=32°32'51" R=206.00' T=60.14' L=102.25'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	A=103°49'42" R=30.00' T=38.28' L=54.36'	
4	A=69°41'16" R=30.00' T=20.88' L=36.40'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
5	A=47°33'13" R=30.00' T=37.48' L=24.90'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
6	A=145°31'58" R=7.00' T=22.57' L=17.78'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
7	A=28°51'54" R=150.00' T=38.60' L=75.57'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
8	A=39°14'30" R=175.00' T=62.39' L=85.70'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
9	A=109°06'50" R=45.00' T=63.22' L=85.70'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
10	A=51°23'43" R=30.00' T=14.44' L=26.91'	A=102°35'34" R=328.88' T=36.29' L=53.75'	A=12°35'34" R=328.88' T=36.29' L=53.75'	A=43°59'42" R=100.00' T=40.40' L=43.99'	A=41°03'47" R=136.00' T=50.93' L=97.47'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	A=180°00'00" R=6.00' T=18.85' L=18.85'	
11	A=14°08'37" R=150.00' T=63.89' L=120.80'	A=14°08'37" R=180.00' T=76.67' L=144.96'	A=49°42'01" R=54.00' T=25.01' L=46.84'	A=90°22'20" R=30.00' T=30.20' L=47.32'	A=85°31'21" R=30.00' T=27.74' L=44.78'	A=35°48'34" R=154.00' T=49.75' L=109.85'	A=18°20'47" R=343.85' T=55.52' L=110.09'	A=18°19'54" R=369.82' T=56.67' L=118.32'	A=18°19'54" R=369.82' T=56.67' L=118.32'	A=18°19'54" R=369.82' T=56.67' L=118.32'	

SHEET 1 OF 2
RECORD PLAT

McKINNEY I.S.D. STADIUM

LOTS 1 and 2, BLOCK A
and
LOTS 1, BLOCK B
64.391 Acres Situated In The
JONATHAN PHILLIPS SURVEY ~ ABST. 719
McKINNEY, COLLIN COUNTY, TEXAS

Owner
McKinney Independent School District
No. 1 Duvall Street
McKinney, Texas 75069
Telephone 469 742-4100

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdakan Surveying, Inc.
Firm No. 10069500
P.O. Box 126
Anna, Texas 75409
Telephone 972 924-8200
December 12, 2016

RECEIVED
By Planning Department at 9:29 am, Dec 12, 2016