

SCALE 1" = 60'

LEGEND

- EXISTING FIRE HYDRANT
- EXISTING 12-FT LIGHT POLE
- EXISTING MOUNTAIN VIEW FENCE W/COLUMNS
- EXISTING STONE WALL & COLUMN
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING WATER MAIN
- EXISTING WATER METER BOX & SERVICE
- EXISTING STORM DRAIN LINE & WILET
- EXISTING BRICK FENCES

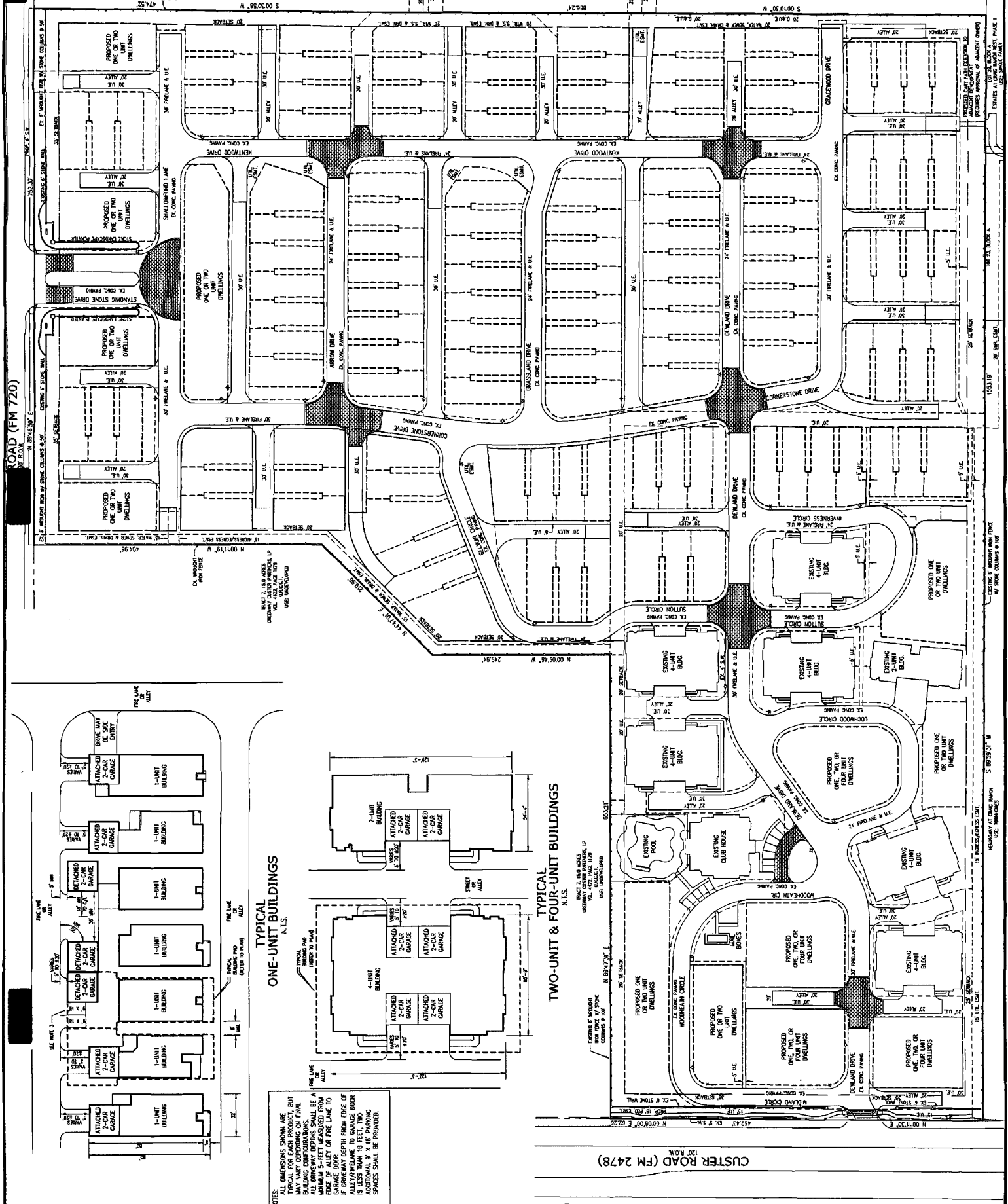
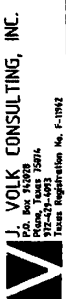
EXHIBIT B

REVISED  
OCT - 8 2010  
PLANNING

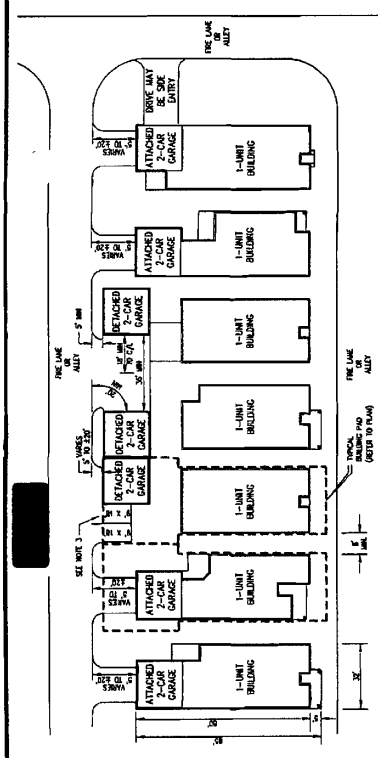
CASE 10-112Z  
ZONING EXHIBIT  
THE RETREAT  
AT CRAIG RANCH  
(FORMERLY "WELLSTONE AT CRAIG RANCH")

WELLSTONE AT CRAIG RANCH  
LOT 1, BLOCK A  
CITY OF MCKINNEY, TEXAS  
33.89 ACRES

OWNER/APPLICANT:  
COLLIN CR WELLNESS COMMUNITIES, LLC  
P.O. BOX 3128, MCKINNEY, TEXAS 75070  
972-540-2076  
SEPTEMBER 27, 2010  
REVISED: OCTOBER 8, 2010



TYPICAL  
ONE-UNIT BUILDINGS  
N.E.S.



- NOTES
1. ALL DIMENSIONS SHOWN ARE TYPICAL FOR EACH PRODUCT, BUT MAY VARY DEPENDING ON FINAL MANUFACTURER'S SPECIFICATIONS.
  2. ALL DRIVEWAY DEPTHS SHALL BE A MINIMUM 5'-FEET MEASURED FROM EDGE OF ALLEY OR FIRE LANE TO CURB OF DRIVEWAY TO GARAGE DOOR IS LESS THAN 10 FEET, TWO 5'-FEET DRIVEWAY SPACES SHALL BE PROVIDED.
  3. IF DRIVEWAY DEPTH FROM EDGE OF ALLEY/FIRELANE TO GARAGE DOOR IS LESS THAN 10 FEET, TWO 5'-FEET DRIVEWAY SPACES SHALL BE PROVIDED.

TYPICAL  
TWO-UNIT & FOUR-UNIT BUILDINGS  
N.E.S.

