

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, MICHAEL B. ARTHUR, do hereby certify that I prepared this plat from an actual on-the-ground survey of the above described property, and that the corner monuments shown hereon were found or were properly placed under my personal supervision in accordance with the Plotting Rules and Regulations of the City of McKinney, Collin County, Texas.

Michael B. Arthur
Registered Professional Land Surveyor
Texas Registration No. 5886



Date: _____

COUNTY OF COLLIN X
STATE OF TEXAS X

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared MICHAEL B. ARTHUR, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2008.

NOTARY PUBLIC in and for the State of Texas



NOTES:

C.M. = Controlling Monument; L.R.F. = Iron Rod Found; I.P.F. = Iron Pipe Found; Bearing: Bearings are based on an assumed direction of North along the westerly line of the tract of land described by deed recorded under G.C.F.#94-0025863, D.R.C.C.T.

2.) All lots comply with the minimum zoning requirements for the City of McKinney.

3.) C.M.F. = 1/2" Iron Rod With Cap Stamped "WPLS 5886" Found

4.) C.M. = Controlling Monument; L.R.F. = Iron Rod Found; I.P.F. = Iron Pipe Found

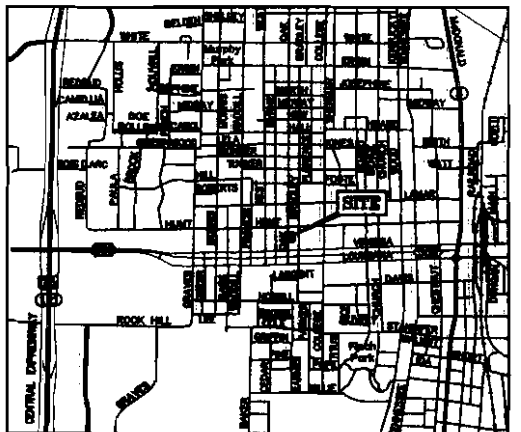
5. The purpose of this Amending Plat is to combine Wayne Goodall's two separate lots into one lot.

CERTIFICATE OF APPROVAL

"Approved and Accepted"

Mayor
City of McKinney, Texas

Date



Vicinity Map
(not to scale)

AMENDING PLAT
GOODALL ADDITION
LOT 1, BLOCK A

7,801 Sq. Ft. / 0.174 Acre
Being a Replat of Outlot No(s). 571B and 574B
Situated in the
T.T. Bradley Survey ~ Abstract No. 86
in the
City of McKinney, Collin County, Texas

Date: August, 2008

Scale: 1" = 20'

Surveyor
Wayne Goodall
807 N. Morris Street
McKinney, Texas 75069
(214) 318-1363

Reviewer
North Texas Surveying, LLC
1915 South McDowell St., Suite 110
McKinney, Texas 75069
(469) 424-2874
www.northtxsurveying.com

OWNER'S CERTIFICATE

COUNTY OF COLLIN X
STATE OF TEXAS X

BEFORE a tract of land situated in the T. T. Bradley Survey, Abstract No. 86, in the City of McKinney, Collin County, Texas, and being all of that 0.080 acre tract of land described by deed to Wayne Goodall, recorded under County Clerk's File No. 2007101001400170, of the Deed Records of Collin County, Texas (D.R.C.C.T.) and all of that 0.094 acre tract of land described by deed to Wayne Goodall, recorded under County Clerk's File No. 20070814001283280, D.R.C.C.T., said tract being more particularly described as follows:

BEFORE a 1/2" iron rod found for corner, said corner being the northwest corner of said 0.080 tract, same being the southwest corner of a tract of land described by deed to Leo E. Michaels recorded under Clerk's File No. 20070105000027180, D.R.C.C.T. and also being in the westerly monumented line of Oak Street North;

THENCE North 88°55'15" East, along the westerly line of said Michaels tract, a distance of 67.21' to a 5/8" iron pipe found for corner, said corner being in the westerly line of the REPLAT OF OUTLOT NO. 572, recorded in Cabinet F, Page 205, of the Map Records of Collin County, Texas (M.R.C.C.T.);

THENCE South 01°01'47" West, along said westerly line, a distance of 52.82' to a 1/2" iron rod found for corner, said corner being in the northerly line of said 0.094 acre tract and also being the southwesterly corner of Lot 2 of said REPLAT OF OUTLOT NO. 572;

THENCE North 88°46'00" East, along the common line between said 0.094 acre tract and Lot 2, a distance of 12.72' to a 1/2" iron rod found for the northeasterly corner of said 0.080 acre tract, same being the northwesterly corner of a tract of land, described by deed to Zedraah L. Henry, as recorded in Volume 5742, Page 82, D.R.C.C.T.;

THENCE South 00°12'15" East, along the common line between said 0.094 acre and Lynn tracts, a distance of 52.00' to a 1/2" iron rod with a yellow plastic cap stamped "WPLS 5886" found at the southwesterly corner of said 0.094 acre tract, same being the northeasterly corner of Outlot No. 574A;

THENCE South 88°30'42" West, along the southerly line of said 0.094 acre tract, a distance of 79.16' to a 1/2" iron rod with a yellow plastic cap stamped "WPLS 5886" found at the southwesterly corner of said 0.084 acre tract, same being the northwesterly corner of said Outlot No. 574A and also being in the monumented line of said Oak Street North;

THENCE NORTH, along said monumented line, a distance of 104.00' to the POINT OF BEGINNING and containing 0.174 of one acre of land, more or less.

COUNTY OF COLLIN X
STATE OF TEXAS X

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Wayne Goodall, is the sole owner of the above described property and does hereby adopt this plat designating the hereinabove described property as AMENDING PLAT, GOODALL ADDITION, LOT 1, BLOCK A, BEING A REPLAT OF OUTLOT NO(s). 571B AND 574B, an addition to the City of McKinney, Collin County, Texas, and does hereby dedicate to the public use forever, the streets, alleys and public use areas shown hereon; the easements, as shown, for mutual use and accommodation of the City of McKinney and all public utilities desiring to use or using same. All and any public utility and the City of McKinney shall have the right to remove and keep removed all or parts of any building, fence, shrub, tree or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of the respective systems on said easements; and the City of McKinney and all public utilities shall have the right to construct, reconstruct, inspect, repair, maintain and add to or remove all or parts of its respective systems without the necessity of, at anytime, procuring the permission of anyone. This plat is approved subject to all plotting ordinances, rules, regulations and resolutions of the City of McKinney.

WITNESS MY HAND at _____, Texas, this _____ day of _____, 2008.

Wayne Goodall

COUNTY OF COLLIN X
STATE OF TEXAS X

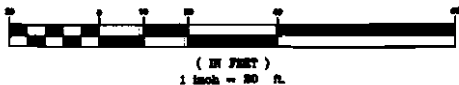
BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Wayne Goodall, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE on this, the _____ day of _____, 2008.

NOTARY PUBLIC in and for the State of Texas



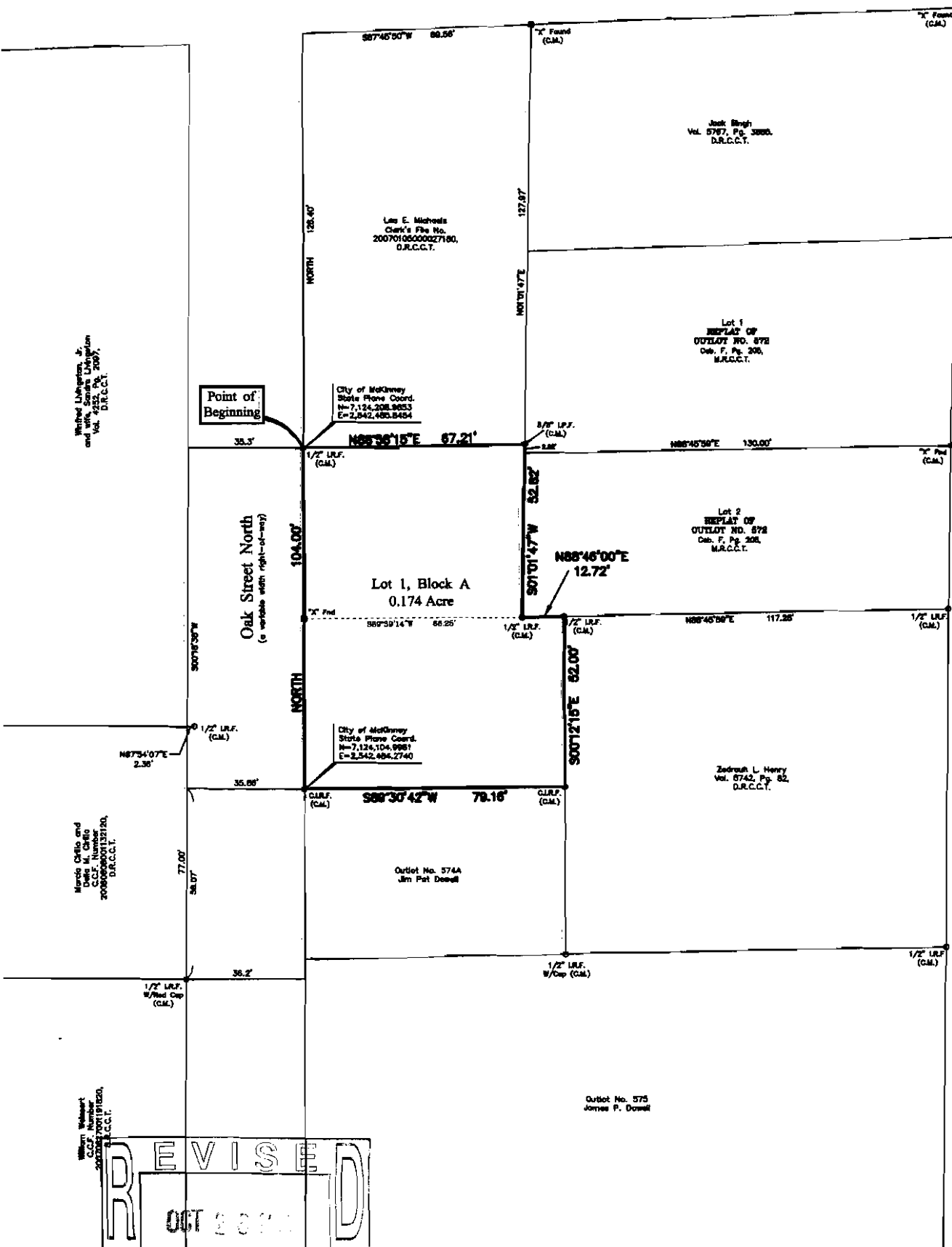
GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.

Bradley Street
(a called 40' right-of-way)

Hunt Street
(a called 40' right-of-way)



Wayne Goodall, Jr.
and wife, Sandra Livingston
Vol. 4252, Pg. 2089,
D.R.C.C.T.

Mario Chilo and
Dale M. Chilo
G.C.F.#94-0025863, D.R.C.C.T.

William Williams
G.C.F.#94-0025863, D.R.C.C.T.

