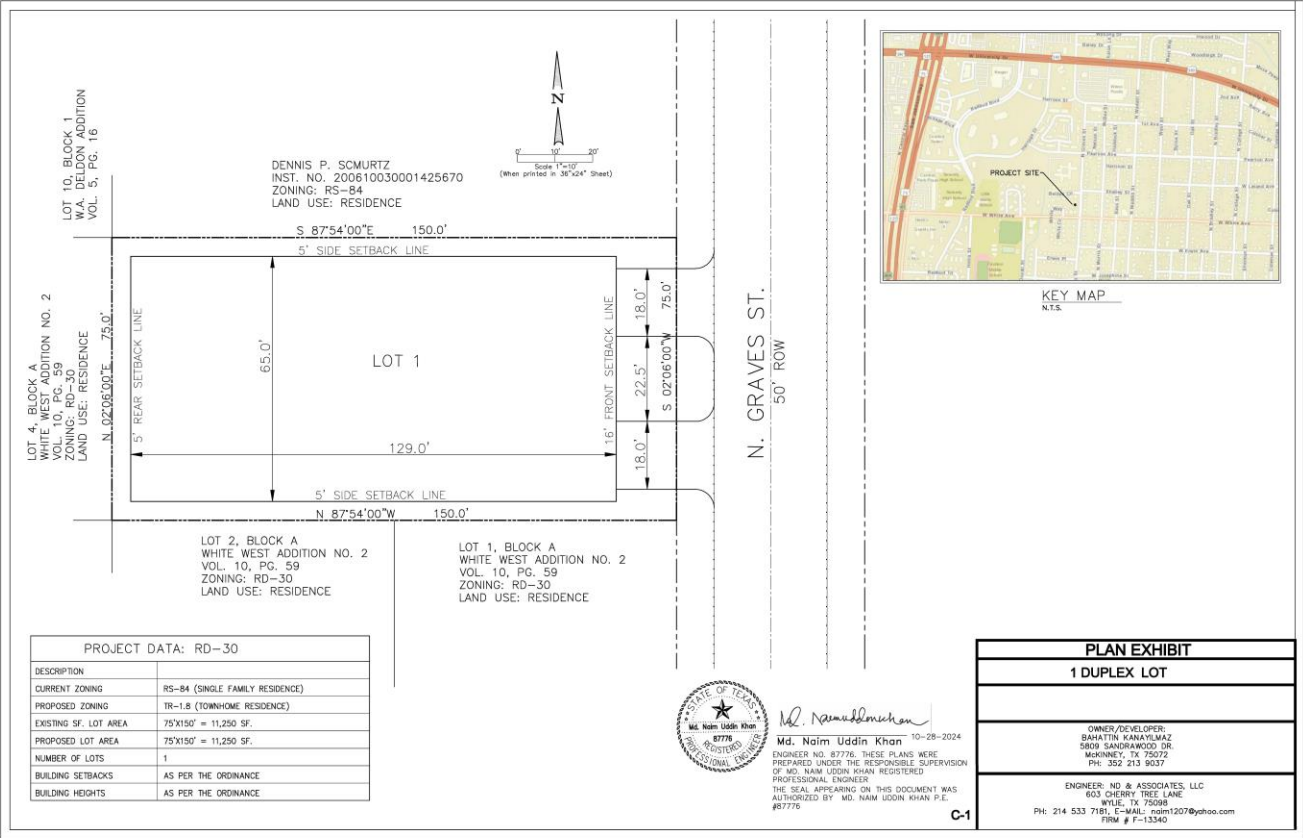
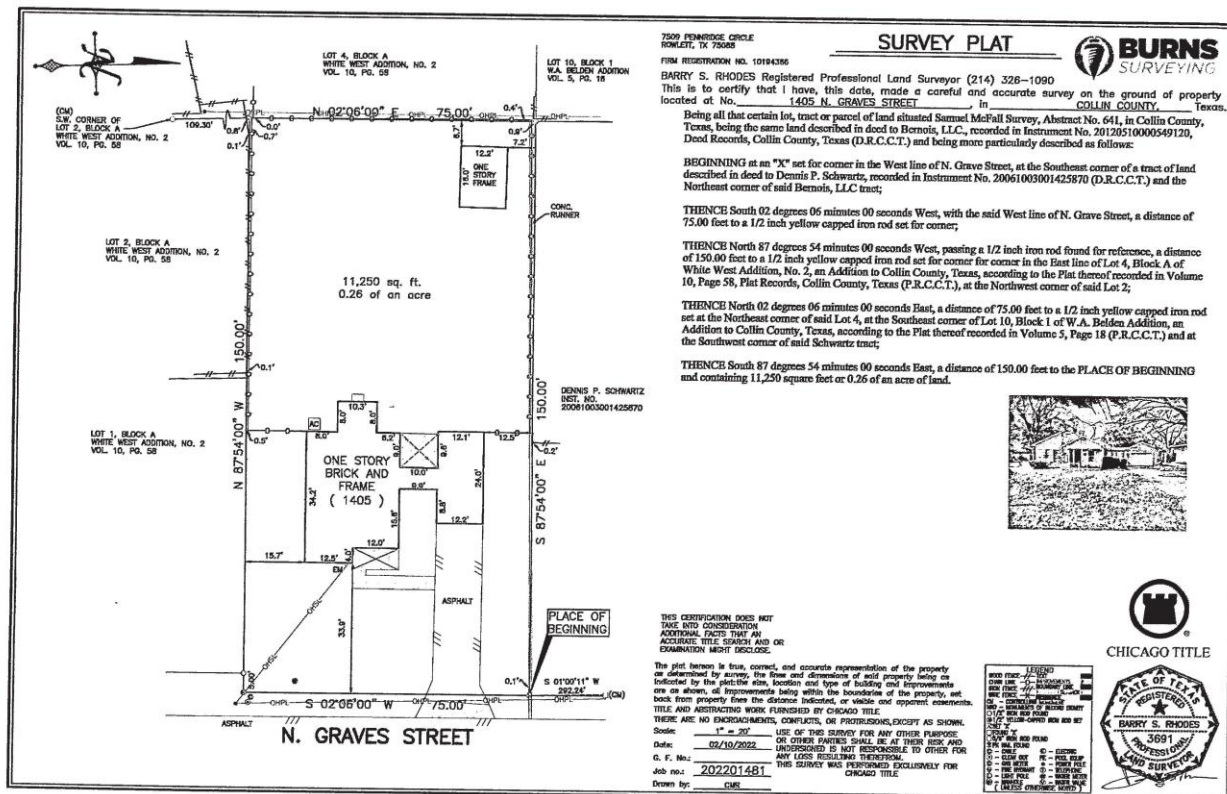


CASE NO. ZONE2024-0095 – Graves St. RS-84 to TR1.8
PROPOSED RES. DISTRICT TR1.8 (Townhomes)



1405 N. Graves St.
McKenney, Tx 75069
Collin County



Development Code:

I. TR1.8 – Townhome Residential

1. Purpose

The purpose of the TR1.8 zoning district is to accommodate high-density townhome residential development. This district is generally appropriate within the following placetype(s) in the ONE McKinney 2040 Comprehensive Plan: Urban Living, Mixed-Use Center, Entertainment Center, Transit-Ready Development, Historic Town Center – Residential, and Historic Town Center – Mix. The Townhome Residential zoning district may also be appropriate in the Suburban Living placetype in unique circumstances.

2. Standards

Table 2-8: TR1.8 Dimensional Standards [4]

Lot Dimensions (minimum) [1] [2] [3]		
A	Lot area (sq ft)	1,800
B	Lot width (ft)	22 [2]
C	Lot depth (ft)	80
Building Setbacks (minimum)		
D	Front (ft)	20 [5]
E	Rear (ft)	5 [5]
F	Side interior (ft)	5 [1]
	Side corner lot (ft)	15 [5]
Height (maximum)		
	Height (ft)	35

Other Key Standards

Special Setback Requirements & Encroachments for Residential Lots	\$204DD
Height Measurements and Exceptions	\$204EE
Table of Uses	\$205B
Use Definitions and Use-Specific Standards	\$205C
Landscaping	\$206A
Screening	\$206C
Vehicle Parking and Loading	\$206E
Building Separation (minimum)	
Building separation	10 feet

Notes

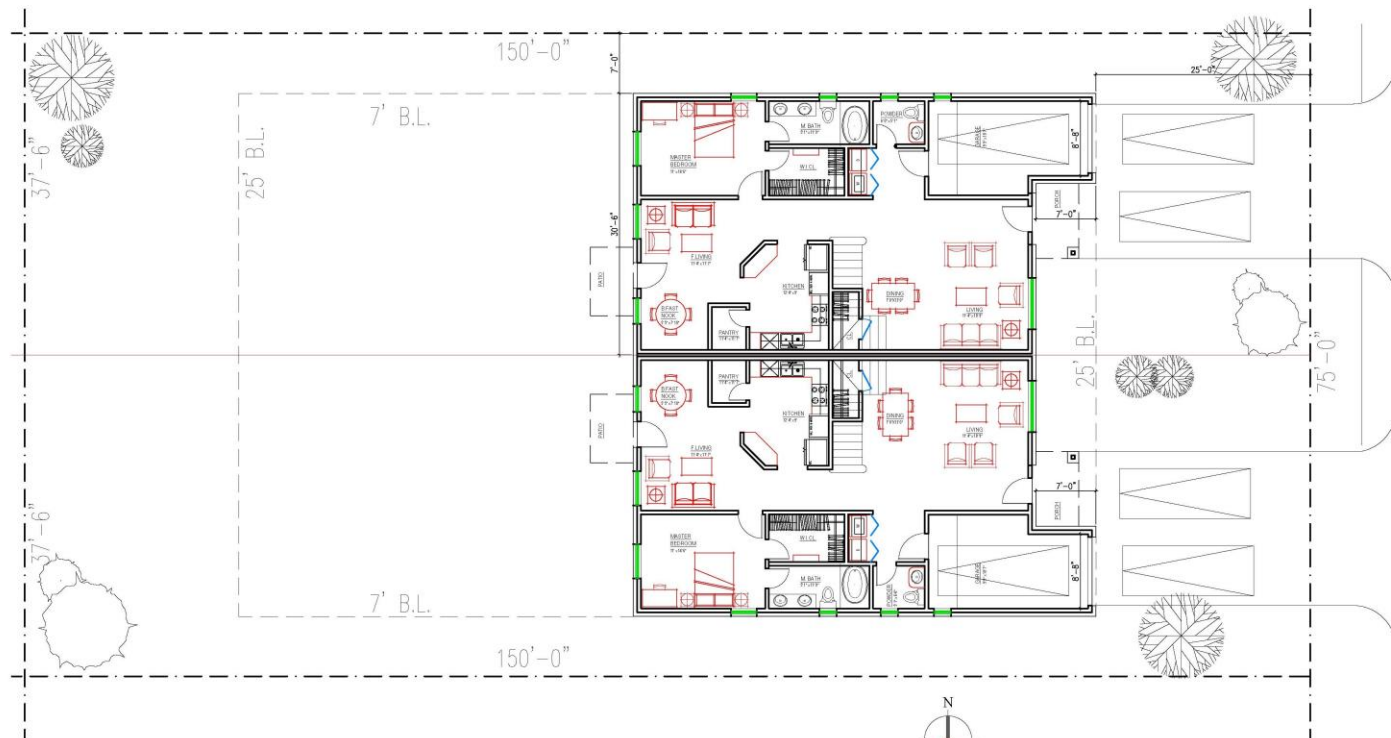
- [1] Setback may be reduced to zero feet, so long as, a minimum building separation of ten feet shall be maintained between buildings. If a zero-lot line product is to be constructed, this condition shall be applied on a block-by-block basis. The desired zero lot line side of each lot indented to accommodate such a residential product shall be indicated on a setback exhibit associated with an approved plat.
- [2] Lots less than 50 feet in width shall be accessed via alleys abutting the rear of the lot, as required by the Engineering Design Manual.
- [3] This district allows for meeting two of three minimum lot dimensions: area, width, or depth.
- [4] If detached single-family residential dwellings are constructed within these zoning districts, these dwellings shall adhere to the dimensional standards governing the "RS" Single-Family Residential district.
- [5] A minimum driveway length of 20 feet shall be provided from the garage door to the street or alley right-of-way line, as required by the Engineering Design Manual. The driveway length may be reduced if a variance is granted by the Director of Engineering and the number of required spaces is provided in an offsite common area or approved on-street parking per Table 2-39: Minimum Vehicle Parking and Stacking Requirements.



Figure 2-6: TR1.8 District Dimensional Standards

Sample Plan:

1 ST FLOOR



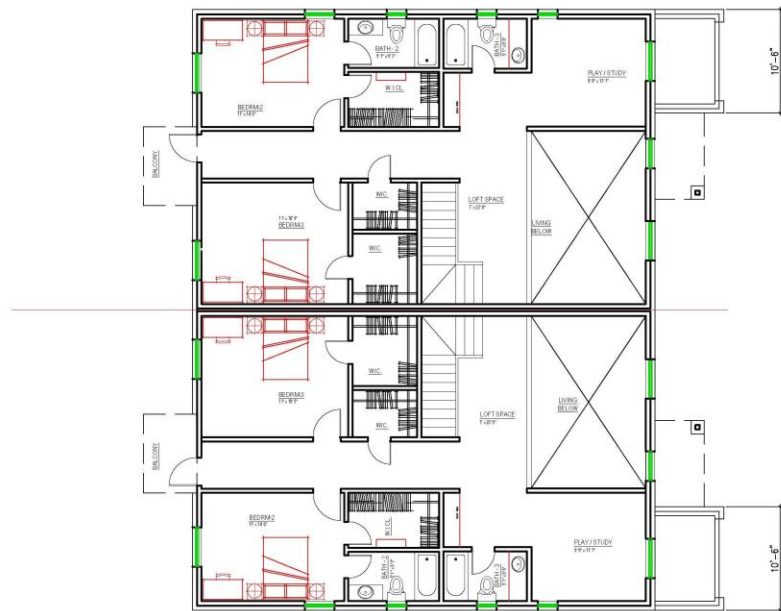
1ST FLOOR PLAN

MB / 1 1/2 B
1,276 sf + GARAGE 204 SF.

2,434 sf. TOTAL AREA + GARAGE 204 sf.

Sample Plan:

2 ND FLOOR



2ND FLOOR PLAN

2B / 2B

1,158 sf