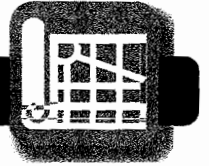


CITY HISTORIC MARKER NOMINATION



All Marker Applications must be submitted online via the Customer Self-Service (CSS) Portal.

INCOMPLETE AND/OR PAPER APPLICATIONS WILL NOT BE ACCEPTED.

By submitting this application to the City of McKinney, the applicant affirms:

- All submitted information for this application represents an accurate description and narrative of the history of the property.
- The McKinney Historic Marker does not confer landmark status.
- The marker is one component of eligibility for a Marker Level tax exemption within the HNIZ which is subject to a separate application process.
- The Marker will be mounted on the front façade of the approved building within thirty (30) calendar days of award of the Marker. The owner will purchase the marker from the city and install the plaque.
- It is understood that approval of this application by the Historic Preservation Officer and the Historic Preservation Advisory Board in no way constitutes approval of a building permit or other required City permit approvals.

II. General Property Information (Upload a pdf of this section to your application.)

Name of Building: The Wilson-Hauges-Brown Residence
Address of Building: 417 N. Waddill
Date of Construction: 1916 Check one: ☒ Known or ☐ Circa
Architect/Designer: UNKNOWN
Builder/Contractor: UNKNOWN
Architectural Period: CLASSICAL-CRAFT Architectural Style: CLASSICAL CRAFT
Is Building Location Original? ☒ Yes ☐ No (Specify Original location):

Parcel ID and Legal Description of Property

PROPERTY ID: 1133507 LEGAL DESCRIPTION: 0.46 ACRES GEO. ID: R-0035-011-002A-
LEGAL DES: WADDILL ADDITION, BLK. 11, LOT 2A O: BROWN, BRADLEY AND SHANNON

Building Use:

Original Uses

- | | |
|---|-------|
| ☐ Agriculture | _____ |
| ☐ Commerce | _____ |
| ☐ Education | _____ |
| ☐ Government | _____ |
| ☐ Healthcare | _____ |
| ☐ Industrial | _____ |
| ☐ Recreation | _____ |
| ☐ Religious | _____ |
| ☒ Residential | _____ |
| ☐ Social | _____ |

Adapted Uses

- | | |
|---|-------|
| ☐ Agriculture | _____ |
| ☐ Commerce | _____ |
| ☐ Education | _____ |
| ☐ Government | _____ |
| ☐ Healthcare | _____ |
| ☐ Industrial | _____ |
| ☐ Recreation | _____ |
| ☐ Religious | _____ |
| ☒ Residential | _____ |
| ☐ Social | _____ |

☐ Transportation _____

☐ Transportation _____

III. Architectural Description (Upload a pdf of this section to your application.)

a. Plan and Orientation

	Original	Current
Number of Stories	<u>1 1/2</u>	<u>1 1/2</u>
Orientation (N, S, E, W)	<u>E-W</u>	<u>E-W</u>
Floor Plan		
Open plan	☒	☒
L-plan	☐	☐
Modified L-plan	☐	☐
Center passage plan	☒	☐
2-room plan	☐	☐
T-plan	☐	☐
Shotgun plan	☐	☐
Asymmetrical plan	☐	☐
Other (specify)	☐	☐

b. Character Defining Architectural Features (Please check all that apply.)

Roof Form		
Gable	☒	☒
Hipped	☐	☐
Flat with Parapet	☐	☐
Gambrel	☐	☐
Mansard	☐	☐
Shed	☐	☐
Other (specify)	☒ <u>DECK</u>	☒ <u>MANSARD</u>
Windows		
Double Hung	☒	☒
Single Hung	☐	☐
1 over 1	☐	☐
3 over 1	☐	☐
4 over 1	☒	☒
4 over 4	☐	☐
Casement	☐	☐
Awning	☐	☒
Hopper	☐	☐
Arched	☐	☐
Fixed	☐	☐
Sliding	☐	☒
Other (specify)	☐	☐
Doors		
Single front	☒	☒
Double front	☐	☐
2 Front Doors	☐	☐
Solid Panel	☐	☐
Multiple Panel	☒ <u>ORIGINAL</u>	☒ <u>ORIGINAL</u>

Glass	☒	☒
Other	☐	☐
Decorative Elements		
Corbels	☒	☒
Brackets	☐	☐
Columns and post	☒	☒
Shutters	☐	☐
Porch(es)	☒ ORIGINAL	☒ RESTORED W/ PERGOLA REST.
Other	☐	☐

c. Materials (Please check all that apply.)

	Original	Current
Construction		
Frame	☐	☐
Solid Brick	☒	☒
Solid Stone	☐	☐
Concrete	☐	☐
Other (specify)	☒ PLASTER ON WD. LATH	☒ PLASTER ON WD LATH
Foundation		
Pier and Beam	☒	☒
Stone	☐	☐
Brick	☒	☒
Concrete	☒	☒
Concrete Masonry Units	☐	☐
Other (specify)	☒ BASEMENT CONCRETE ORIG.	☒ BASEMENT CONCRETE ORIG.
Exterior Wall Surface		
Siding (specify type)	☐	☐
Stucco	☒	☒
Stone	☐	☐
Brick	☒ TRIM	☒ TRIM/ORIGINAL
Wood Shingle	☐	☐
Other (specify)	☐	☐
Windows		
Wood Sash	☒	☒
Aluminum Sash	☐	☐
Steel Sash	☐	☐
Vinyl Sash	☐	☐
Other (specify)	☒ WOOD CASEMENT	☒ WOOD CASEMENT
Roof Materials		
Shingles (specify type)	☒ ASPHALT SHINGLES	☒ FIBERGLASS SHINGLES +
Tile (specify type)	☒ PARTIAL RETAINED ORIG.	☒ PARTIAL RETAINED ORIG (PARTIAL)
Slate	☐	☐
Metal (specify type)	☐	☐
Other	☐	☐

Primary Exterior Color
Secondary (Trim) Color
Additional Colors

LT. TAN STUCCO

LT. TAN STUCCO H.E.

IV. Supporting Documentation (Upload pdfs with this information to your application.) *SEE PHOTOS*

All written documentation should be double spaced, 12 point-font, justified.

A. Alterations

List any known changes or modifications made to the property throughout its history.

DAMAGES TO ORIGINAL STRUCTURE / RESTRUCTURE INTERIOR FRAMING DUE TO ROT/WATER DAM

B. Historical Figures/ Historical Information about individuals who are associated with the property.

List any historical figures associated with the property. Provide names and occupations.

*WILSON TITLE COMPANY, OLDEST CONTINUOUSLY OPERATING BUSINESS IN METROPLEX **

C. Property Ownership

Legal description of property with a location map as well as a list all known owners of the property. Include original owner and subsequent owners. A chart for this information is included in the "Historic Marker Application Reference Packet". *SEE PREVIOUS ATTACHED HISTORY*

D. Tenant History

List all known tenants of the property throughout its history. A chart for this information is included below.

ALL WILSON'S UNTIL 2022 → HANES → 2026 → BROWN → PRESENT (ATTACHED HISTORY)

E. Narrative History *

Attach a narrative explanation of the chronological and historical development of the property. (See attached example.) The above information should be included as part of your narrative. *(SEE ATTACHED HISTORY)*

F. Drawing, provide:

- A sketch of the current site plan. Include the proposed location of the historic plaque. *SEE SD-1 REV.*
- A sketch map indicating the nominated property and any related sites. *SEE SD-1 REV.*
- A sketch or drawing showing the current plan of the house. *SEE ATTACHED PLANS*
 - Sketches or drawings of the historic plan may be included as well. *SEE ATTACHED (REVISED)*
- Copies of Sanborn Maps™ showing the house's relationship to other homes and the footprint of the house.

ATTACHED

G. Photographs, provide:

- At least one historic photograph of the property. *SEE PREVIOUS SUBMITTAL*
- At least one current photograph of the property illustrating in its surrounding context. For example, photograph the streetscape in which the building is included. *ATTACHED STREET PHOTOS*
- At least one photograph of each side of the building. *ATTACHED PHOTOS*
- ✓ *Photographs of distinctive characteristics and architectural features* *ATTACHED PHOTOS OF EXTERIOR*
- ✓ Label each photograph with the property address and a sequential series of numbers,
 - For example, 222_N_Tennessee_1, 222_N_Tennessee_2, etc. ✓

H. Additional Information

Provide any additional information that supports the application. This may include copies of architectural drawings, letters, oral histories, newspaper/magazine articles, etc. *PREVIOUS PLAN SUBMITTALS*

I. References

Attach a list of the books, articles, Sanborn Maps™, newspapers, and other sources used in preparing this form. (See the "Historic Marker Application Reference Packet" for suggestions.) *WILSON OBITUARY DALLAS MORNING NEWS*

**SEE PREVIOUS SUBMITTAL ATTACHED HISTORY*

If not provided in APA or MLA format, each reference should list at least the *Title*, *Date*, *Source* (newspaper, deed, oral history) and *Publisher* if a printed source.

FREQUENTLY ASKED QUESTIONS (FAQs)



Q: Can I get a historic marker but not a tax exemption?

✓ **A:** Yes, Historic Markers may be applied for and awarded for a property without applying for a Historic Marker Level Exemption.

Q: Will my property be inspected every year?

✓ **A:** Yes, code inspection and the Director of Planning or their designee will inspect properties with an HNIZ Program Tax Exemption every year. Should the Director of Planning or their designee find that a property is in a state of disrepair and does not meet the intent and philosophy of the program, the owner shall be notified of the specific deficiencies in writing and shall have one year to cure the deficiencies from the date of such written notification. If the deficiencies are not remedied within one year, the City Council may suspend the HNIZ Program Incentive for the property.

Q: Do you have to hire someone to complete my application? *YES, JAMES WEST, ARCHITECT*

A: NO. This application can be completed by the homeowner. Please see the "Historic Marker Application Reference Packet" on our website for more information, suggested research, and sample forms. For examples of previously written narratives, please see the McKinneyTexas.org/HistoricMap. Click on properties with a blue dot to access previously approved narratives.

Please be sure to include everything required in the current application as some submission requirements have changed.

THE WILSON-HANES-BROWN RESIDENCE HISTORY

by James West

The Wilson House was built in 1916 by A. G. Wilson, owner of Wilson Title Company founded in ca 1860, the oldest continuously operating businesses in the Dallas metroplex, and home to a name sake family in McKinney's history. A family of surveyors and engineers and an architect the land title business was a natural progression in the family history. Five plus generations of the Wilson family have contributed unselfishly to the development, cultural and spiritual life in McKinney and beyond. Addison Wilson III, World War II decorated war hero and later Chief Executive officer of Wilson Title Company was born in the house in 1919(1.)

The house at 417 N. Waddill was built by Addison G. Wilson II in 1916. He operated the family Title Company until his death. After the death of Addison G. Wilson II, another son, Tom Wilson Senior, became the new owner who in turn passed the house on to his three children on his death. Tom Wilson, Jr, and his sister and brother sold the house to Mallory Hanes of McKinney in 2022. After extensive restoration Mallory Hanes sold the house in 2026 to Shannon and Brad Brown of McKinney.

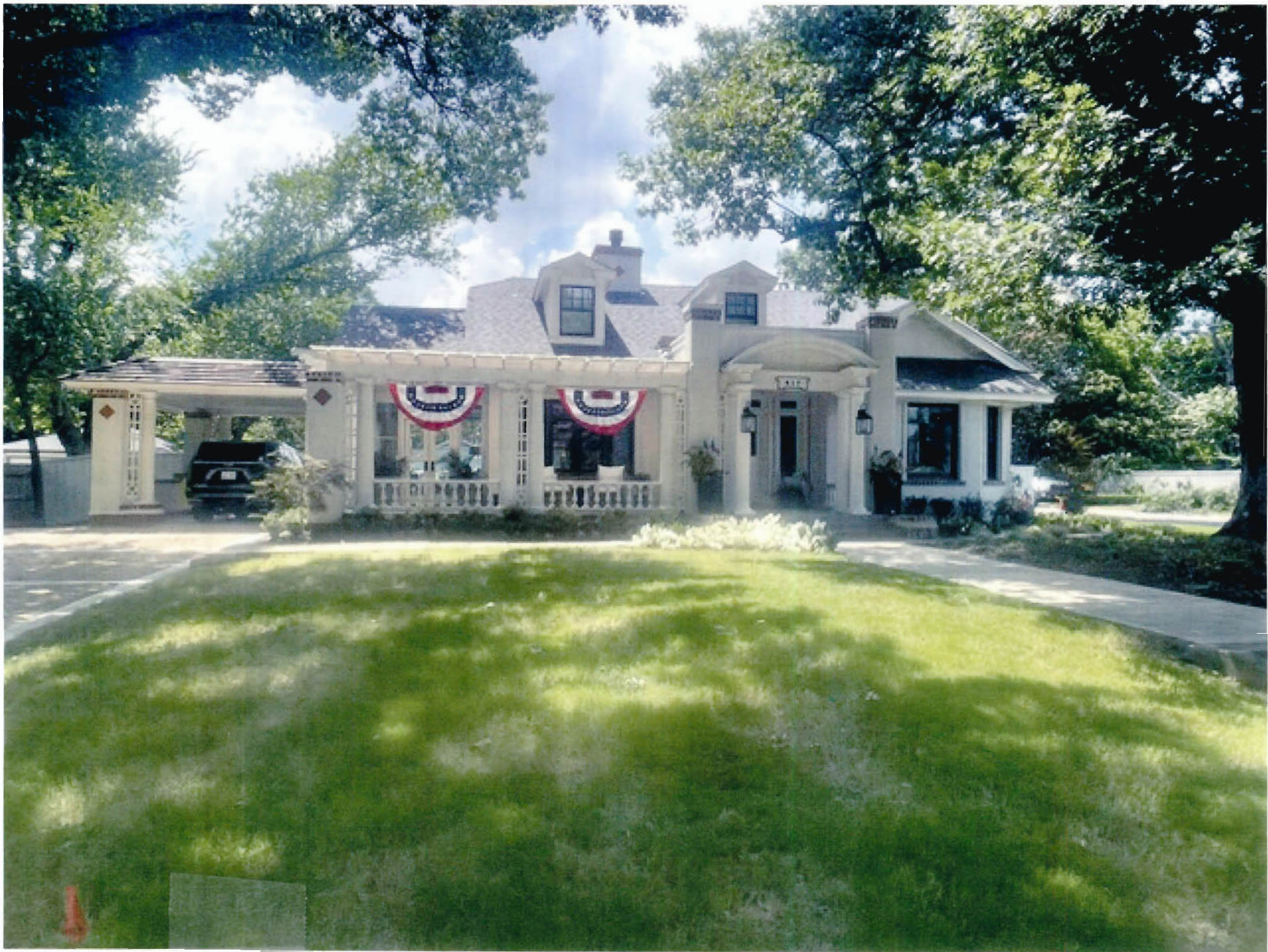
Built in 1916 in the Classical-Craftsman Style, 'story and a half' house has stucco finish on wood lath interior walls and stucco plaster exterior walls on exterior brick with exposed brick sills and trim. It has a low slope mansard roof with dormer windows on four elevations. The roof eaves have wood corbels with intermediate crown moldings. All windows are wood double hung windows with upper muntin bars with a 6 or more over one glazing pattern.

The original columns on the house are Doric order and have fluted column shafts at the entry porch with a side concrete deck pergola across the front facade. The original Porte Cochere remains on the south side of the house opening leading to a proposed 'auto court' beyond at the rear of the house.

The original fireplace mantle remains in the house and is relocated to the study. Hardwood floors are used throughout the first floor and the second floor as well first floor kitchen/living room ceiling spaces. Matching wood flooring and ceiling are proposed finishes in the proposed garage addition multipurpose room.

NOTES

(1.) DALLAS MORNING NEWS Addison G. Wilson, Obituaries
July 23, 2007



417 N. WADDILL EAST



HISTORIC MARKER







417 N. WADDILL SOUTH



417 N. WADDILL SOUTH



7 417 N. WADDILL WEST



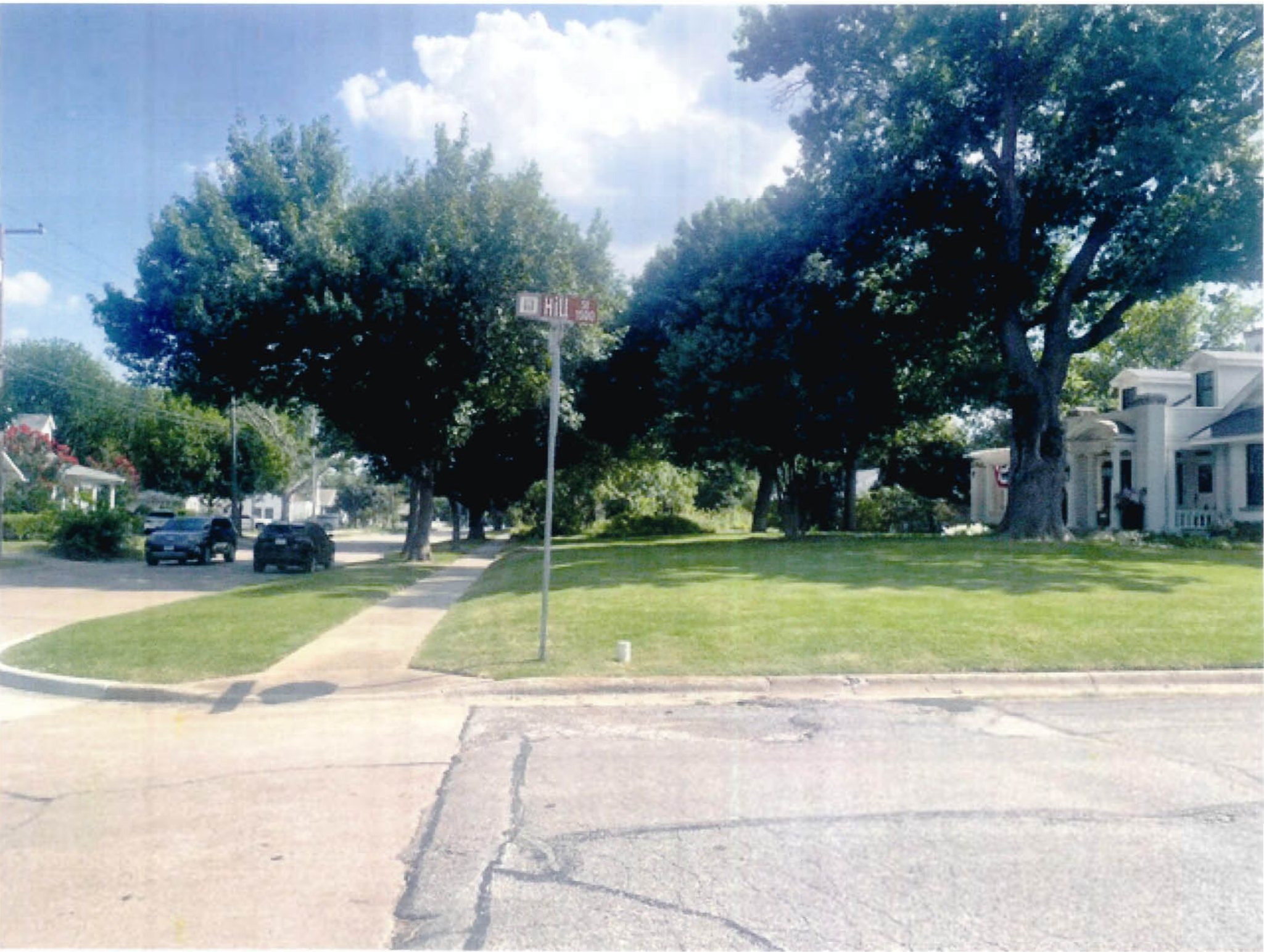
417 N. WADDILL WEST







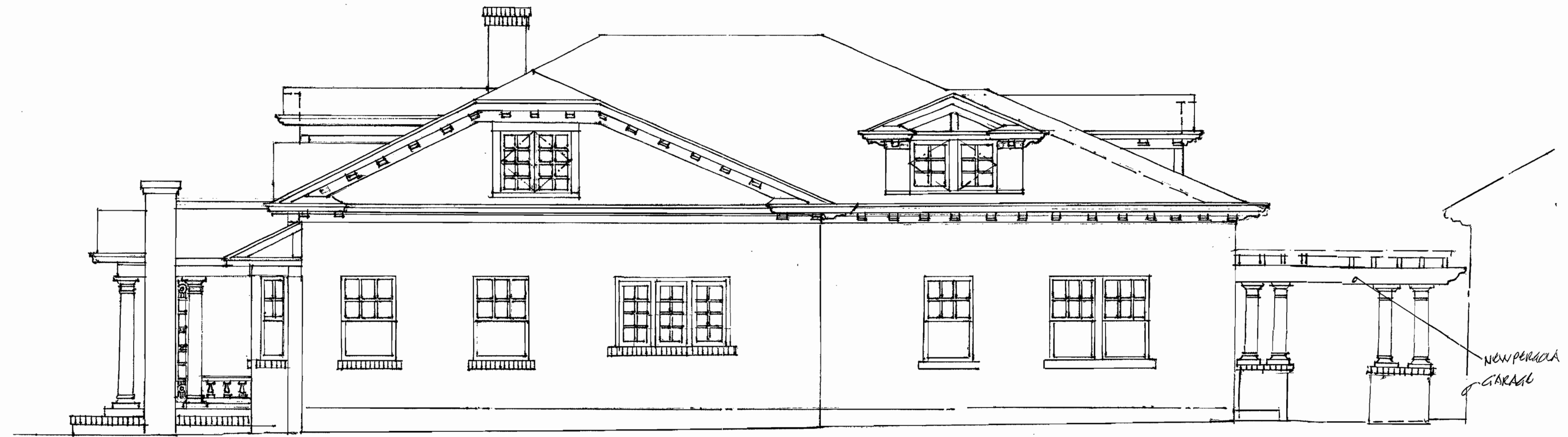
WADDILL STREET LOOKING WEST ON HILL STREET



W WADDILL STREET LOOKING SOUTH



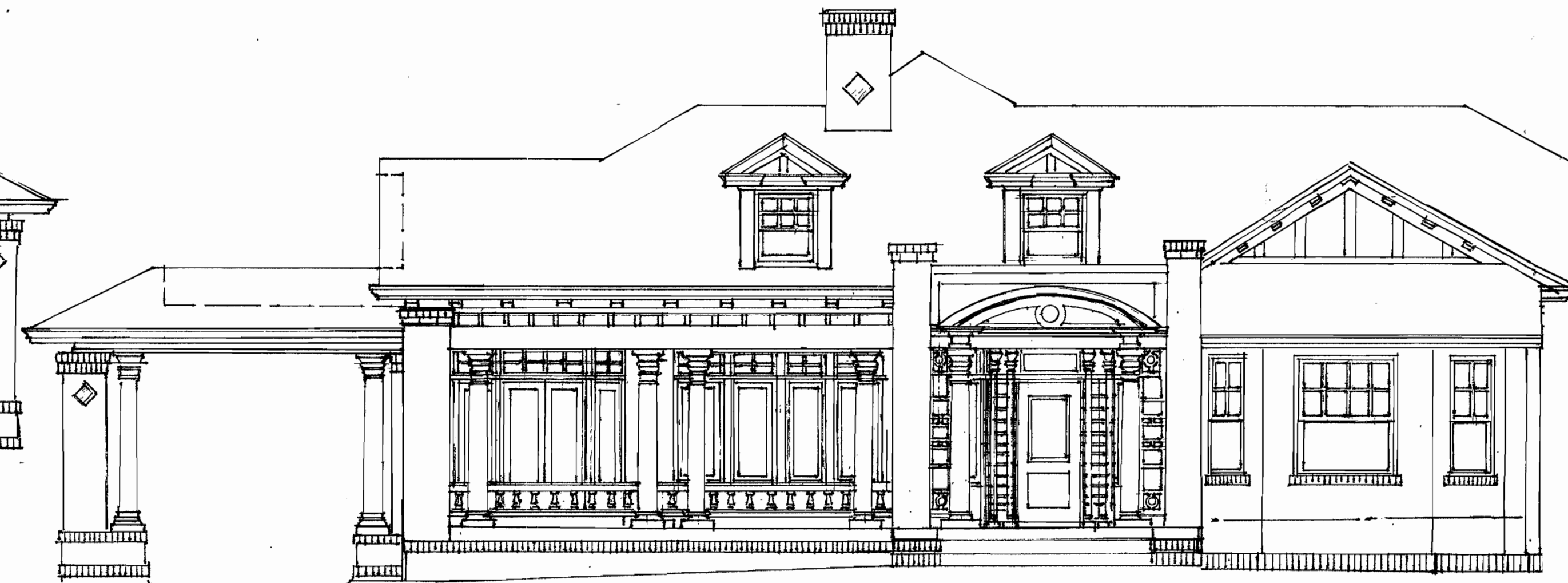
Add G. Wilson (right), chairman of the board of directors of the Central National Bank receives a beautifully prepared and framed certificate of appreciation for his fifty years of continuous faithful service to the bank. President A. H. Eubanks makes the presentation in behalf of the officers and directors of the bank. Also present for the "surprise" were Mrs. Wilson, their daughter and two sons and members of their families.



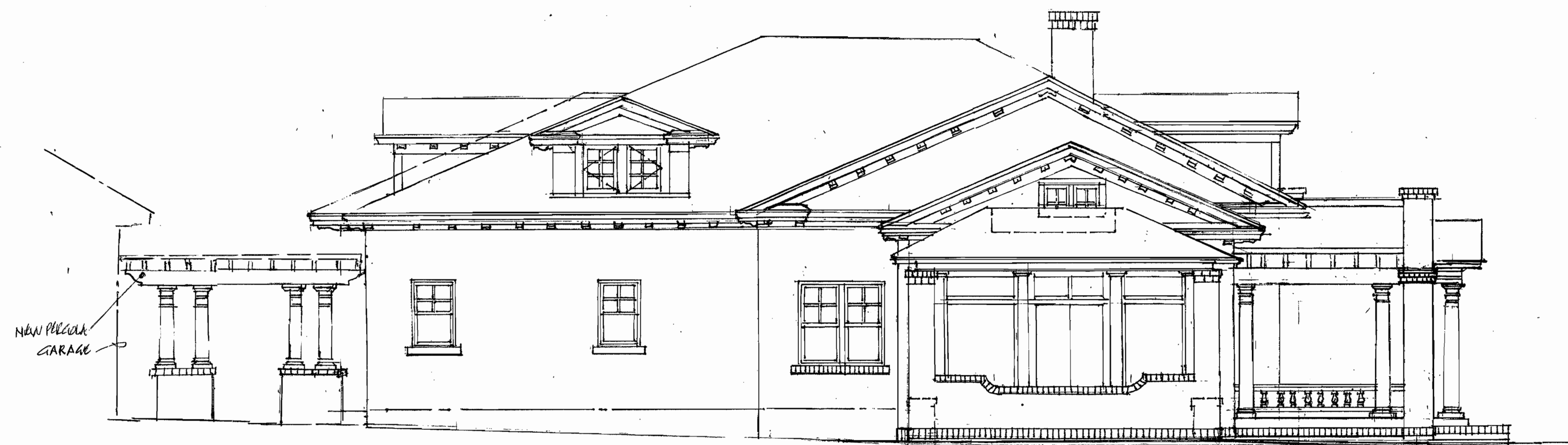
1 NORTH ELEVATION
1"=5'-0"



4 WEST ELEVATION
1"=5'-0"

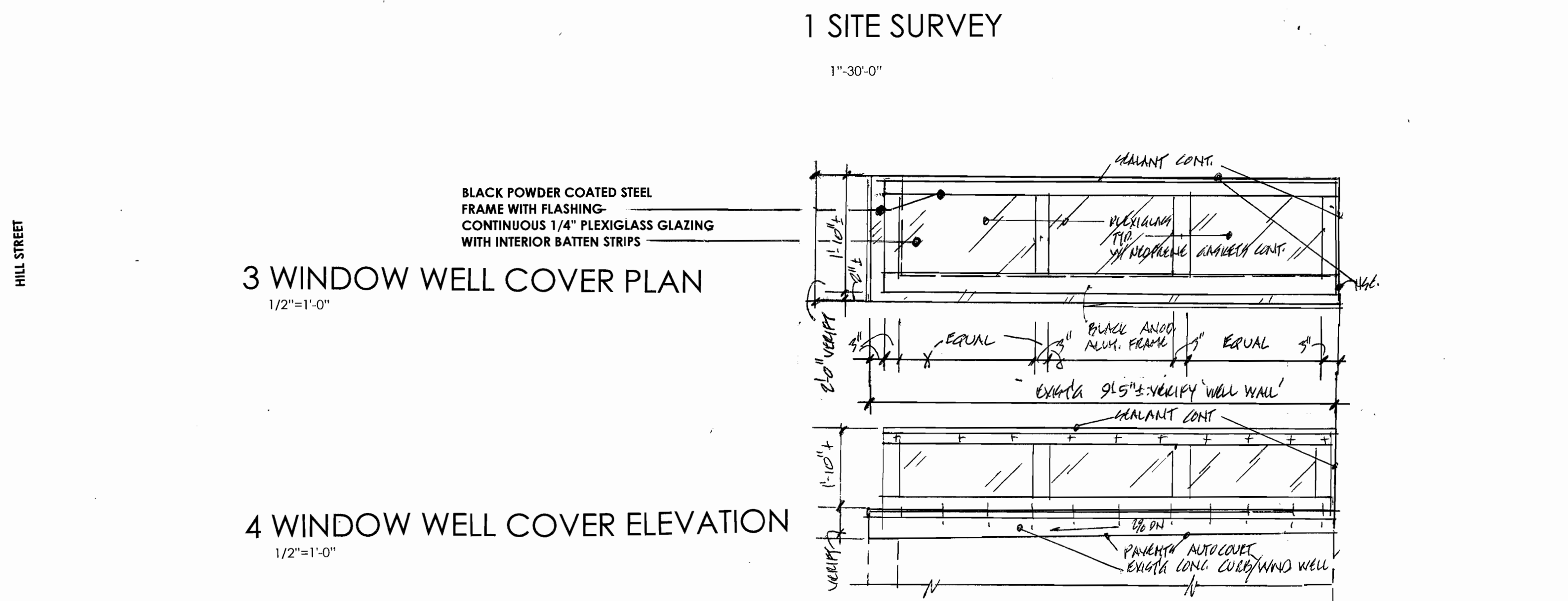
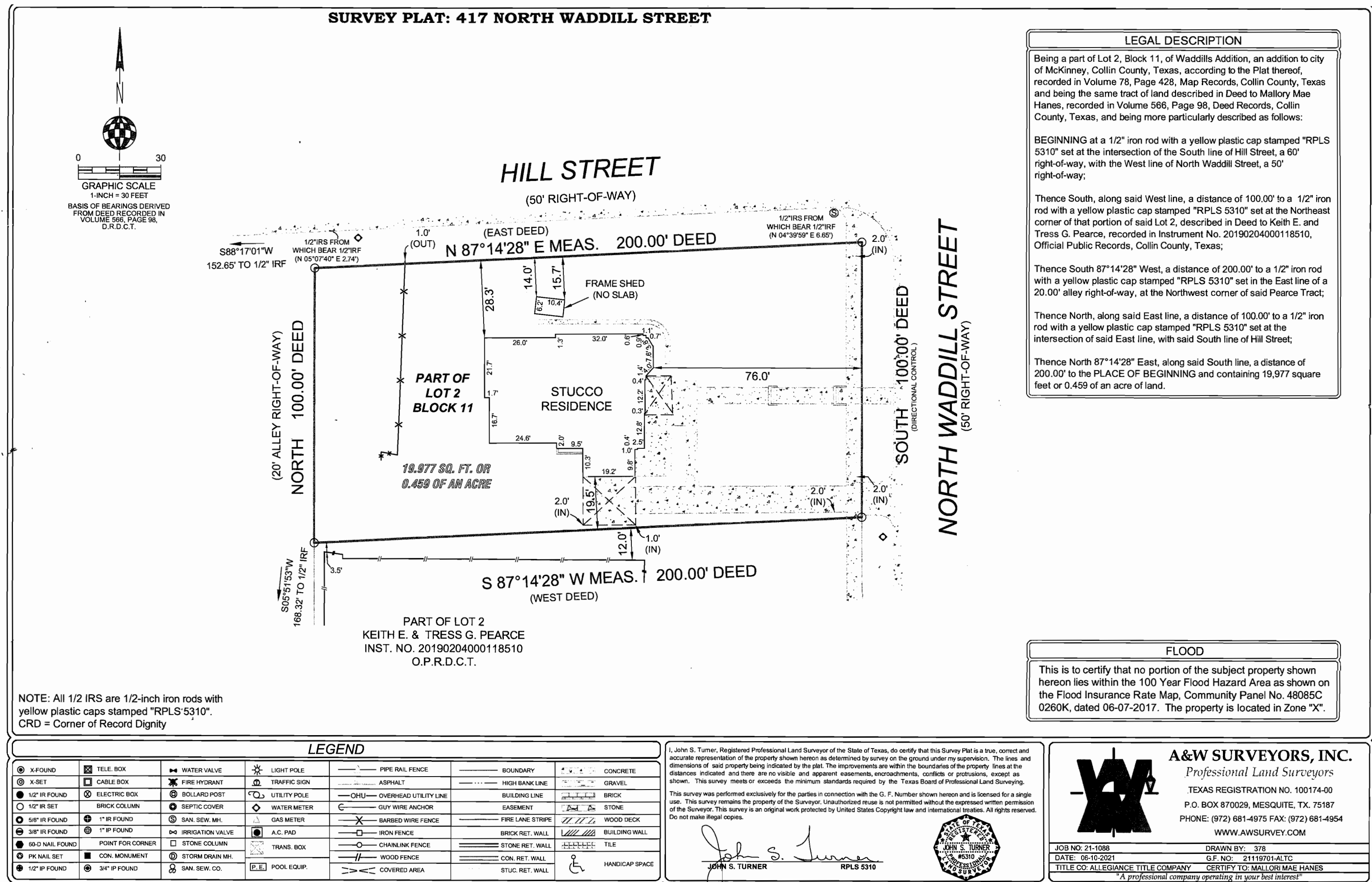
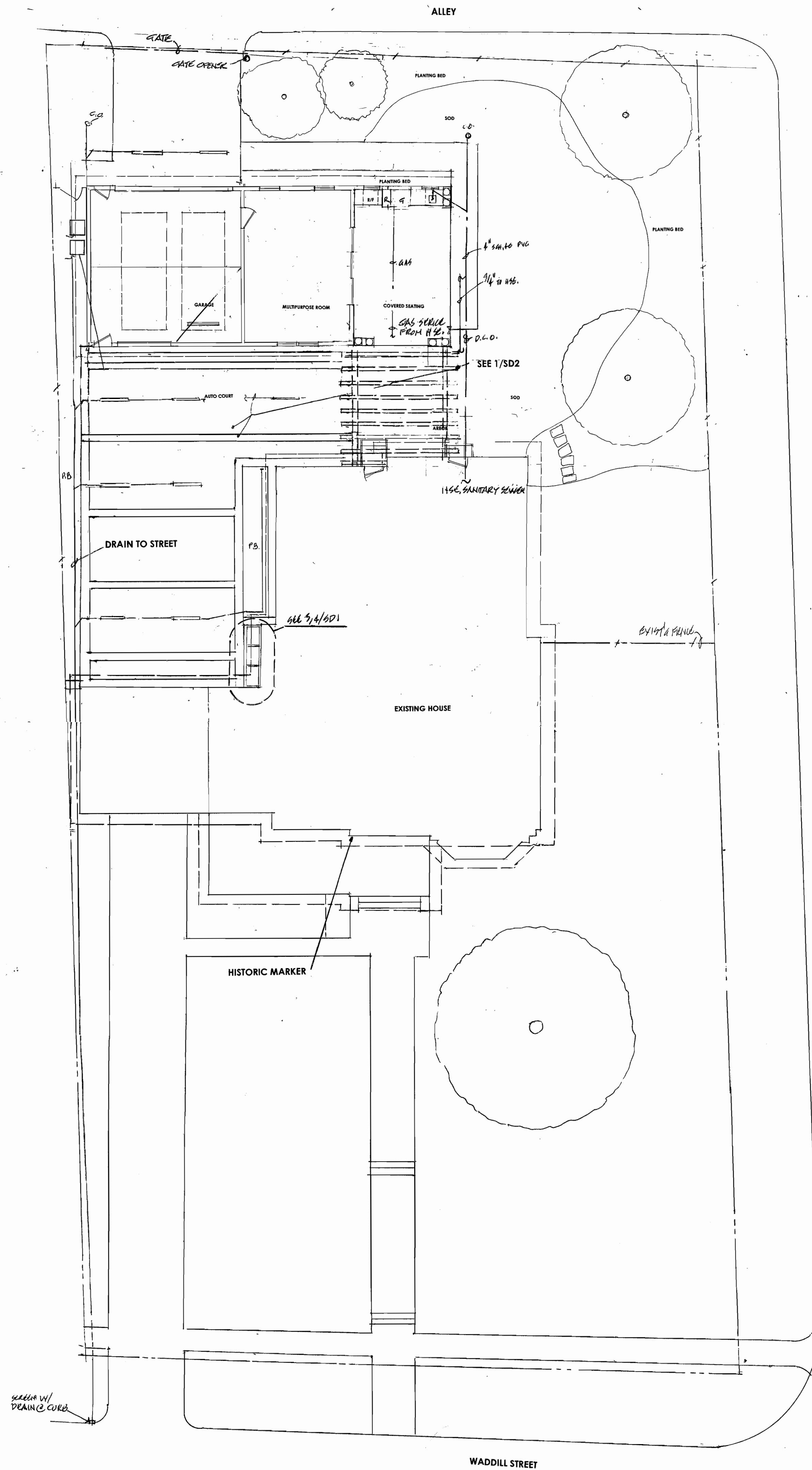


2 EAST ELEVATION



3 SOUTH ELEVATION

NOTE: EXISTING HOUSE ELEVATIONS



1 SITE PLAN
1"=10'-0"

TAC ARCHT & PLANNER
JAMES WEST, ARCHITECT
P.O. BOX 806
MCKINNEY, TEXAS 75070
214 675-1559
tao75070@tx.rr.com

SD1