

LEGEND

CONCRETE PAVEMENT 7"-4000 P.S.I. - #4 REBARS @ 18" O.C.E.W.	
CONCRETE PAVEMENT (HEAVY DUTY) 8"-4000 P.S.I. - #4 REBARS @ 18" O.C.E.W.	
CONCRETE PAVEMENT (PARKING) 5"-3600 P.S.I. - #3 REBARS @ 24" O.C.E.W.	
PROPERTY LINE	
EXISTING CURB	
PROPOSED CURB	
PROPOSED FIRE LANE	
DENOTES BLUE PLACARD ADA STALLS	
EXISTING WATER	
PROPOSED FIRE HYDRANT	
EXISTING SANITARY SEWER	
PROPOSED RETAINING WALL	
PROPOSED CARPORT	
PARKING COUNT	

- CITY NOTES**
- SANITATION CONTAINER SCREENING WALLS WILL BE BRICK MASONRY, STONE, MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S DESIGN SPECIFICATIONS.
 - MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES, (ROOF MOUNTED)
 - LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.

SITE DATA TABLE
SITE2024-0086

SITE INFORMATION		PD	
LAND USE	MULTIFAMILY		
TOTAL GROSS AREA	13.597 AC	592,274 SQ. FT.	
ROW DEDICATION	0.054 AC	2,354 SQ. FT.	
TOTAL NET AREA	13.543 AC	589,920 SQ. FT.	
TOTAL UNITS	325 UNITS		
MAXIMUM DENSITY	24 UNITS/TOTAL NET AREA		
PROPOSED DENSITY	23.998 UNITS/TOTAL NET AREA		
BUILDING FOOTPRINT	144,848 SQ. FEET		
BUILDING AREA	463,078 SQ. FEET		
LOT COVERAGE	0.25 %		
TOTAL FLOOR AREA RATIO	0.78 F.A.R.		

PARKING

REQUIRED	FACTOR	
1 BEDROOM UNITS	225 1.5	338
2 BEDROOM UNITS	92 2.0	184
3 BEDROOM UNITS	8 2.5	20
TOTAL		542

ENCLOSED AND COVERED PARKING SPACES PER VARIANCE APPLICATION

ENCLOSED PARKING REQUIRED (30% OF 325 UNITS)	98
COVERED PARKING REQUIRED (20% OF 325 UNITS)	65

PARKING PROVIDED

SURFACE PARKING (ADA, VAN, ETC)	216
COVERED PARKING SPACES (CARPORT PARKING)	102
TANDEM PARKING	112
ENCLOSED PARKING SPACES (TUCK UNDER GARAGES)	112
TOTAL PROVIDED	542

BUILDING DATA

BLDG. #	UNITS	BUILDING FOOTPRINT (SF.)	BUILDING AREA (SF.)	HT. (FT.)
BLDG. #1	30	12,005	41,847	50 FT
BLDG. #2	30	12,005	41,847	50 FT
BLDG. #3	25	12,005	35,856	46 FT
BLDG. #4	25	12,005	35,856	44 FT
BLDG. #5	137	64,359	200,033	50 FT
BLDG. #6	48	18,564	66,083	45 FT
BLDG. #7	30	13,905	41,556	40 FT
TOTAL	325	144,848 SF	463,078 SF	

AMENITY SQUARE FOOTAGES

AMENITY TYPE	(SF)
Pool	1406
4 Grills	450
3 EV Charging Stations	486
Fitness Center	1000
Business Center	750
Total	4092

BUILDING HEIGHT LIMIT (FT)

HARDIN AVERAGE GRADE	650.4
MODERA (ROAD A) AVERAGE GRADE	631.5
MCNAUGHTON AVERAGE GRADE	643.8
COMBINED STREET AVERAGE GRADE	641.9
MAXIMUM BUILDING HEIGHT (641.9+50.0)	691.9

*Average Grade based on elevation at ROW Line

BGE, Inc.
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Fort Worth, TX 76102
Tel: 972-887-6130 • www.bgeinc.com
TBPE Registration No. F-1046
Contact: Javier D. Jaramillo, P.E.
Tel: 469-621-3140
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DEVELOPER
MILL CREEK
RESIDENTIAL TRUST LLC
Mill Creek Residential
5910 N Central Expy, Dallas, TX 75206
Tel: 561-998-4465
www.millcreekplaces.com

SITE PLAN (SITE 2024-0086)
MODERA RIDGELINE
13.597 ACRES ± SITUATED IN THE MEREDITH HART SURVEY,
PART OF BLOOMDALE 140, I.P., ABSTRACT NO. 371 AND
PART OF LOT 1, BLOCK A
13.597 ACRES
CITY OF MCKINNEY,
COLLIN COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
BGE, INC.
TEXAS REGISTERED ENGINEERING FIRM F-1046
JAVIER D. JARAMILLO, P.E.
TEXAS REGISTRATION NO. 91007
JANUARY 17, 2025

CAUTION !!
CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

CAUTION !!
CONTACT: 1-800-DIG-TESS
48 HOURS PRIOR TO CONSTRUCTION

REVISIONS

REV NO.	DATE	DESCRIPTION

DRAWN BY: CAA
CHECKED BY: JJ
DATE: 01/08/24
PROJECT NUMBER: 13668-00

SHEET NO.
C-1.0

BGE, INC. 0:\0013668-00\LD-NTXA\01_SHTS\C-1.0 SITE PLAN (SITE 2024-0086).dwg Jun 17, 2025 - 9:43am jaramillo



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PROPOSED DRAINAGE AREA MAP

MODERA RIDGELINE
 13.597 ACRES ± SITUATED IN THE MEREDITH HART SURVEY,
 PART OF BLOODDALE 140, L.P., ABSTRACT NO. 371 AND
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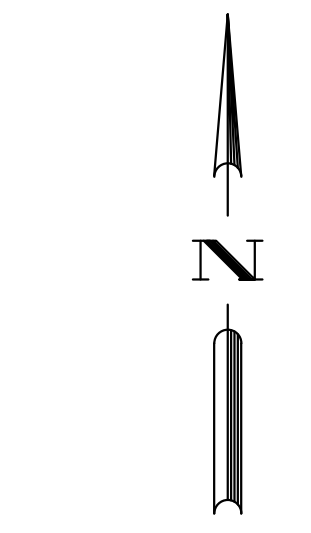
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SHEET NO.

C-4.2



0 25' 50' 100'
 SCALE: 1" = 50'

LEGEND	
DRAINAGE AREA	---
DRAINAGE AREA NUMBER	XX
DRAINAGE AREA IN ACRES	XXXX
SURFACE DRAINAGE FLOW DIRECTION	←
ROOF DRAINAGE FLOW DIRECTION	↖
DRAINAGE DESIGN POINTS	XX

DEV. 2024-00014 DRAINAGE AREA
 Q=CIA
 C=0.85
 A=14.07 ACRES
 I=9.20 IN/HR
 Q-TOTAL = 110.03 CFS

AREA ACRES	C	PROPOSED CONDITIONS							COLLECTION POINT	
		T ₁ MIN	I ₁₀ IN/HR	Q ₁₀ CFS	I ₂ IN/HR	Q ₂ CFS	I ₁₀₀ IN/HR	Q ₁₀₀ CFS		
A1	0.22	0.85	10.00	6.54	1.22	7.55	1.41	9.20	1.72	Roof Drainage
A2	0.29	0.85	10.00	6.54	1.61	7.55	1.86	9.20	2.27	Roof Drainage
A3	1.18	0.85	10.00	6.54	6.56	7.55	7.57	9.20	9.23	Grate Inlet
A4	0.60	0.85	10.00	6.54	3.34	7.55	3.85	9.20	4.69	Grate Inlet
A5	0.87	0.85	10.00	6.54	4.84	7.55	5.58	9.20	6.80	15' Curb Inlet
A6	0.29	0.85	10.00	6.54	1.61	7.55	1.86	9.20	2.27	10' Curb Inlet
A7	0.84	0.85	10.00	6.54	4.67	7.55	5.39	9.20	6.57	10' Curb Inlet
A8	0.46	0.85	10.00	6.54	2.56	7.55	2.95	9.20	3.60	10' Curb Inlet
A9	0.62	0.85	10.00	6.54	3.45	7.55	3.98	9.20	4.85	Grate Inlet
A10	0.76	0.85	10.00	6.54	4.22	7.55	4.88	9.20	5.94	Courtyard Grate Inlet
A11	0.55	0.85	10.00	6.54	3.06	7.55	3.53	9.20	4.30	10' Curb Inlet
A12	1.46	0.85	10.00	6.54	8.12	7.55	9.37	9.20	11.42	Grate Inlet
A13	0.29	0.85	10.00	6.54	1.61	7.55	1.86	9.20	2.27	10' Curb Inlet
A14	1.05	0.85	10.00	6.54	5.84	7.55	6.74	9.20	8.21	10' Curb Inlet
A15	0.15	0.85	10.00	6.54	0.83	7.55	0.96	9.20	1.17	Roof Drainage
A16	0.65	0.85	10.00	6.54	3.61	7.55	4.17	9.20	5.08	10' Curb Inlet
R1	0.13	0.85	10.00	6.54	0.72	7.55	0.83	9.20	1.02	Roof Drainage Building 1
R2	0.15	0.85	10.00	6.54	0.83	7.55	0.96	9.20	1.17	Roof Drainage Building 2
R3	0.14	0.85	10.00	6.54	0.78	7.55	0.90	9.20	1.09	Roof Drainage Building 3
R4	0.15	0.85	10.00	6.54	0.83	7.55	0.96	9.20	1.17	Roof Drainage Building 4
R6	0.23	0.85	10.00	6.54	1.28	7.55	1.48	9.20	1.80	Roof Drainage Building 6
R7	0.15	0.85	10.00	6.54	0.83	7.55	0.96	9.20	1.17	Roof Drainage Building 7
DP#1 SUBTOTAL	11.23				57.15	65.97		80.39		36" STORM DRAIN STUBOUT BY BLOODDALE TOWNHOMES 140 (DEV2024-00014)
OS-A1	0.20	0.85	10.00	6.54	1.11	7.55	1.28	9.20	1.56	Modera Lane
OS-A2	1.79	0.85	10.00	6.54	9.95	7.55	11.49	9.20	14.00	McNaughton Drive
OS-A3	0.37	0.85	10.00	6.54	2.06	7.55	2.37	9.20	2.89	Offsite Alley
OS-A4	0.48	0.85	10.00	6.54	2.67	7.55	3.08	9.20	3.75	Existing 15' Inlet B2
OS-A5	0.48	0.85	10.00	6.54	2.67	7.55	3.08	9.20	3.75	Existing 15' Inlet B1
Offsite	3.32				15.79	18.23		22.21		
TOTAL	14.55				72.93	84.20		102.60		

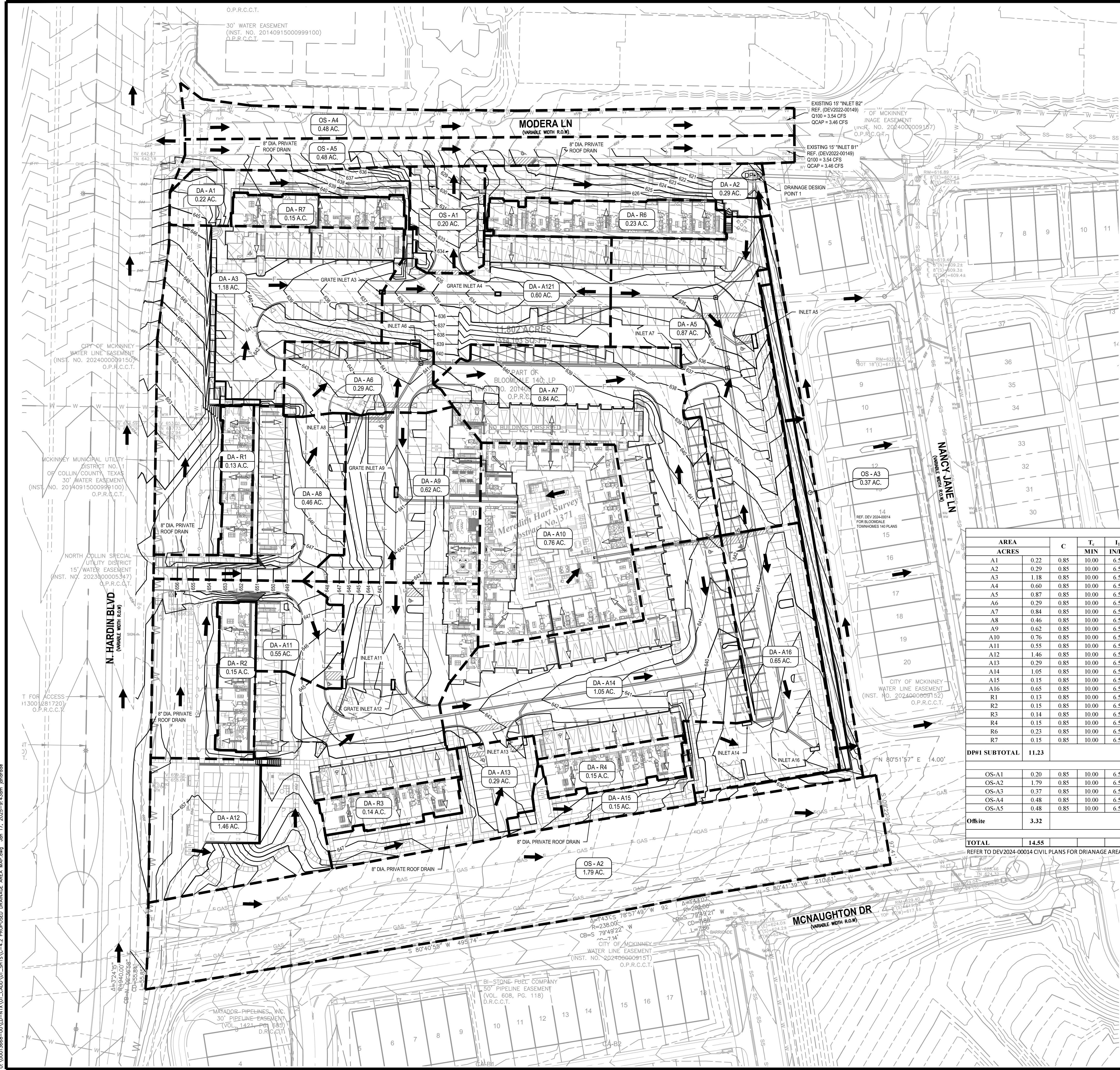
REFER TO DEV2024-00014 CIVIL PLANS FOR DRAINAGE AREA MAP

BENCHMARKS

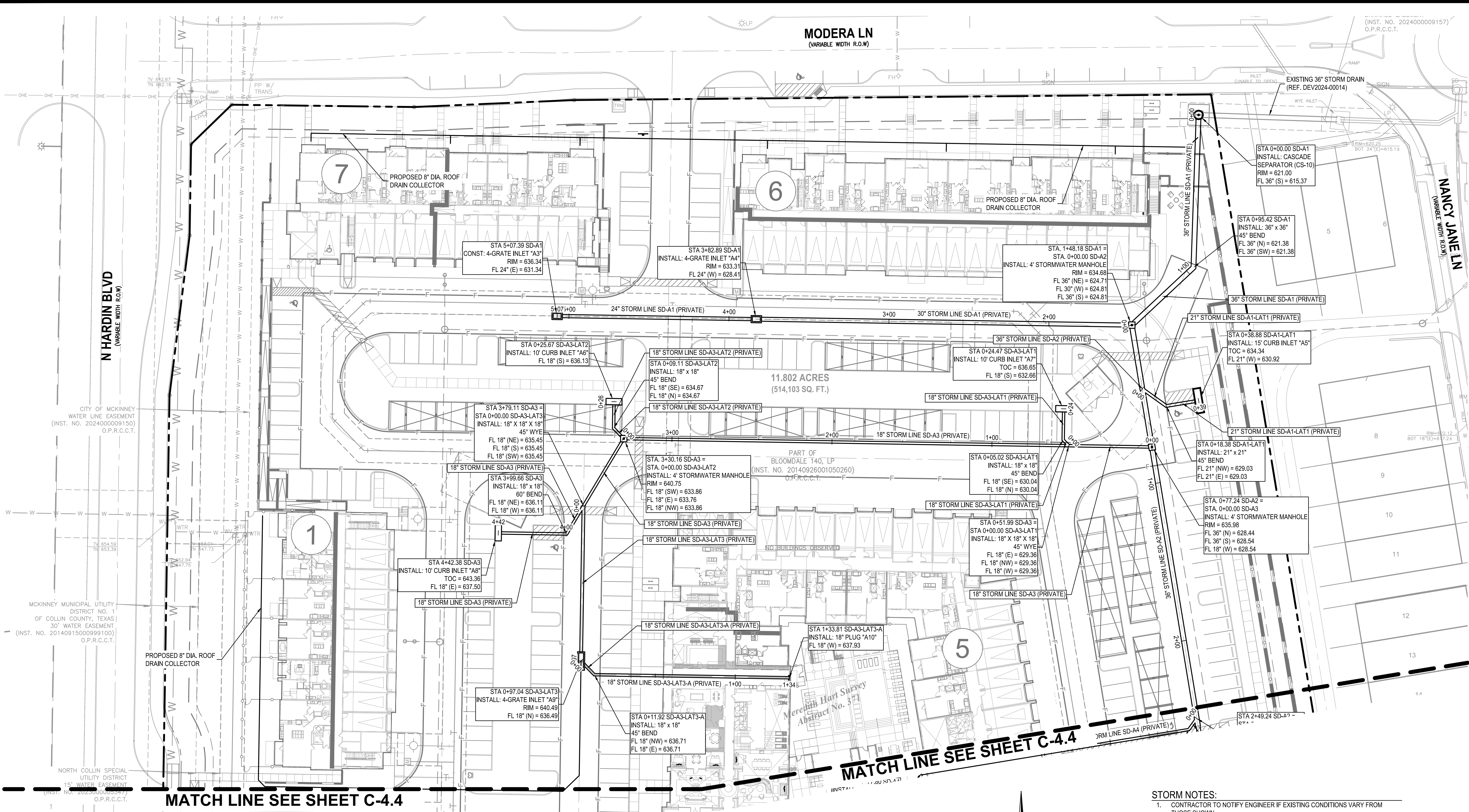
SOURCE BENCHMARKS
 XSNBOX
 N: 714812.535
 E: 2535692.01
 ELEV. = 637.09
 ONSITE BENCHMARKS
 BM #2:
 XSNBOX
 N: 7142216.804
 E: 2535692.01
 ELEV. = 657.82
 BM #3:
 NF/BM2
 N: 7144380.147
 E: 2536365.33
 ELEV. = 646.07



**Know what's below.
 Call before you dig.**
 (@ least 48 hours prior to digging)



BGE, INC.
 C:\V0013668-00\LD-NX\A01_CADD\01_SHTS\C-4.2 PROPOSED DRAINAGE AREA MAP.dwg Jun 17, 2025 - 9:43am jandrade



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PRIVATE STORM DRAIN PLAN
 MODERA RIDGELINE
 MODERA LN SITUATED IN THE MEREDITH HART SURVEY,
 PART OF BLOODDALE 140, LP, ABSTRACT NO. 371 AND
 PART OF LOT 1, BLOCK A
 13.597 ACRES
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 JAVIER D. JARAMILLO, P.E.
 TEXAS REGISTRATION NO. 91007
 JANUARY 17, 2025

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 48 HOURS PRIOR TO CONSTRUCTION

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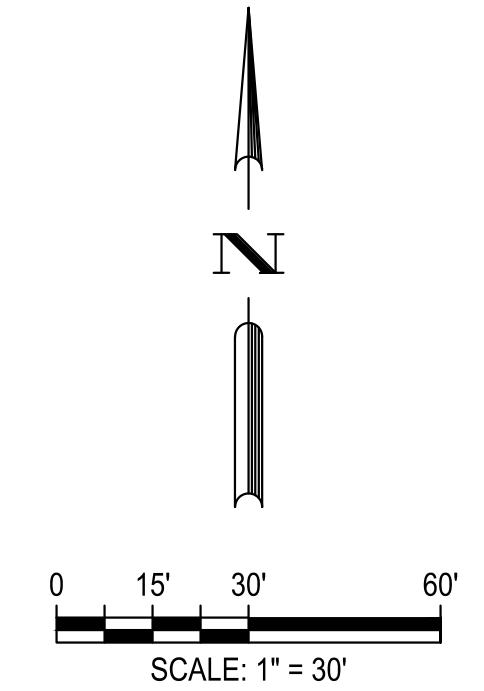
SHEET NO.
C-4.3

- STORM NOTES:**
- CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
 - REFER TO MEP AND ARCHITECTURAL PLANS FOR CONNECTION TO DOWNSPOUTS AT BUILDINGS AND FLOWLINES.
 - CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOWLINE ELEVATIONS DO NOT MATCH THOSE SHOWN ON THE PLAN.
 - CONTRACTOR TO ADJUST MANHOLE RIM ELEVATIONS TO MATCH FINISH GRADE.
 - CONTRACTOR TO REMOVE SILT AND DEBRIS FROM END OF EXISTING STORM SEWER PRIOR TO MAKING CONNECTION.
 - REFER TO 2023 CITY OF MCKINNEY STANDARD CONSTRUCTION DETAILS FOR STORM DRAIN INFRASTRUCTURE IMPROVEMENTS.
 - ALL UTILITY STUBS SHOWN SHALL BE PLUGGED 5' PAST PROPOSED PAVEMENT EDGE OR 5' OUTSIDE THE BUILDING.
 - REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
 - PUBLIC STORM DRAIN MATERIAL SHALL USE RCP C-76 CLASS III.
 - PRIVATE STORM DRAIN SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
 - ADS N-12 (HDPE) DUAL WALL PIPE
 - HANCOR Hi-Q (AASHTO)
 - CONTECH ALUMINIZED ULTRA FLOW
 OR SIMILAR MATERIALS BASED ON SHOP DRAWING SUBMITTALS APPROVED BY THE ENGINEER OF RECORD.

BENCHMARKS

SOURCE	BENCHMARKS
XSNBOX	N: 714812.535 E: 2535692.01 ELEV. = 637.09
ONSITE BENCHMARKS	BM #2 XSNBOX N: 7142216.804 E: 2535692.01 ELEV. = 657.82
BM #3	N: 714380.147 E: 2536365.33 ELEV. = 646.07

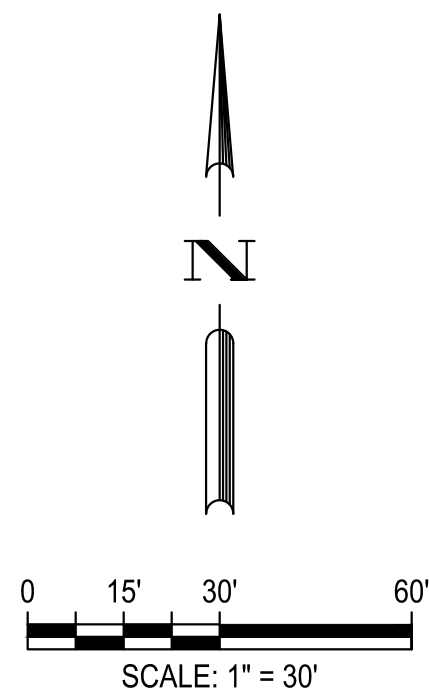
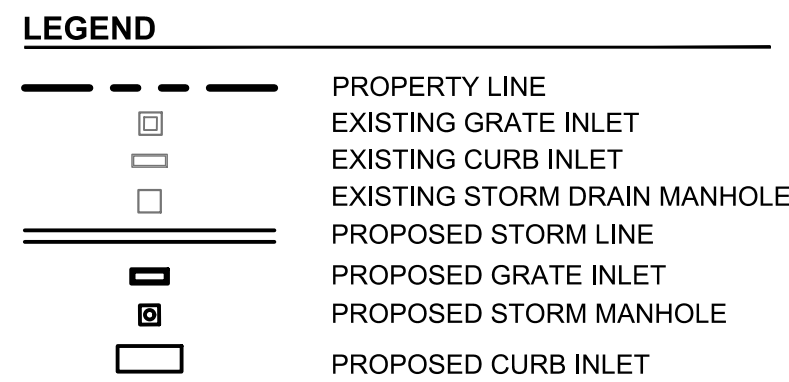
- LEGEND**
- PROPERTY LINE
 - EXISTING GRATE INLET
 - EXISTING CURB INLET
 - EXISTING STORM DRAIN MANHOLE
 - PROPOSED STORM LINE
 - PROPOSED GRATE INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED CURB INLET



811
 Know what's below.
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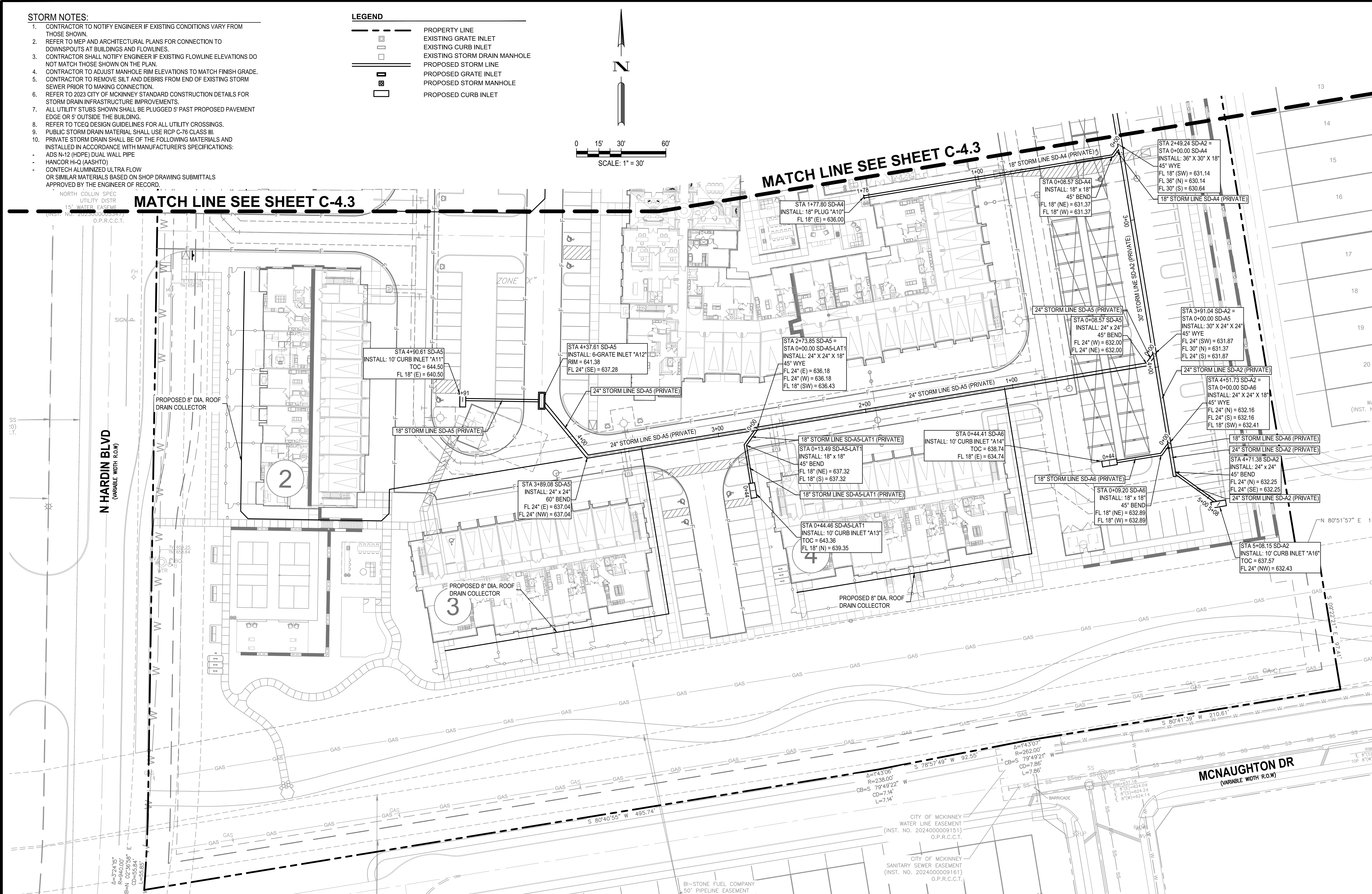
BGE, INC. C:\V0013668-00\LD-NITX\01_SHTS\C-4.3 PRIVATE STORM DRAIN PLAN.dwg Jun 17, 2025 - 9:40am jaramillo

- STORM NOTES:**
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 - CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOWLINE ELEVATIONS DO NOT MATCH THOSE SHOWN ON THE PLAN.
 - CONTRACTOR TO ADJUST MANHOLE RIM ELEVATIONS TO MATCH FINISH GRADE.
 - CONTRACTOR TO REMOVE SILT AND DEBRIS FROM END OF EXISTING STORM SEWER PRIOR TO MAKING CONNECTION.
 - REFER TO 2023 CITY OF MCKINNEY STANDARD CONSTRUCTION DETAILS FOR STORM DRAIN INFRASTRUCTURE IMPROVEMENTS.
 - ALL UTILITY STUBS SHOWN SHALL BE PLUGGED 5' PAST PROPOSED PAVEMENT EDGE OR 5' OUTSIDE THE BUILDING.
 - REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
 - PUBLIC STORM DRAIN MATERIAL SHALL USE RCP C-76 CLASS III.
 - PRIVATE STORM DRAIN SHALL BE OF THE FOLLOWING MATERIALS AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS:
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 - OR SIMILAR MATERIALS BASED ON SHOP DRAWING SUBMITTALS APPROVED BY THE ENGINEER OF RECORD.



MATCH LINE SEE SHEET C-4.3

MATCH LINE SEE SHEET C-4.3



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BENCHMARKS

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XSNBOX	N: 714812.535			
	E: 2535692.01			
	ELEV. = 637.09			
ONSITE	N: 7142216.804			
	E: 2535692.01			
	ELEV. = 657.82			
BM #2	N: 7144380.147			
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	ELEV. = 646.07			



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WATER PLAN

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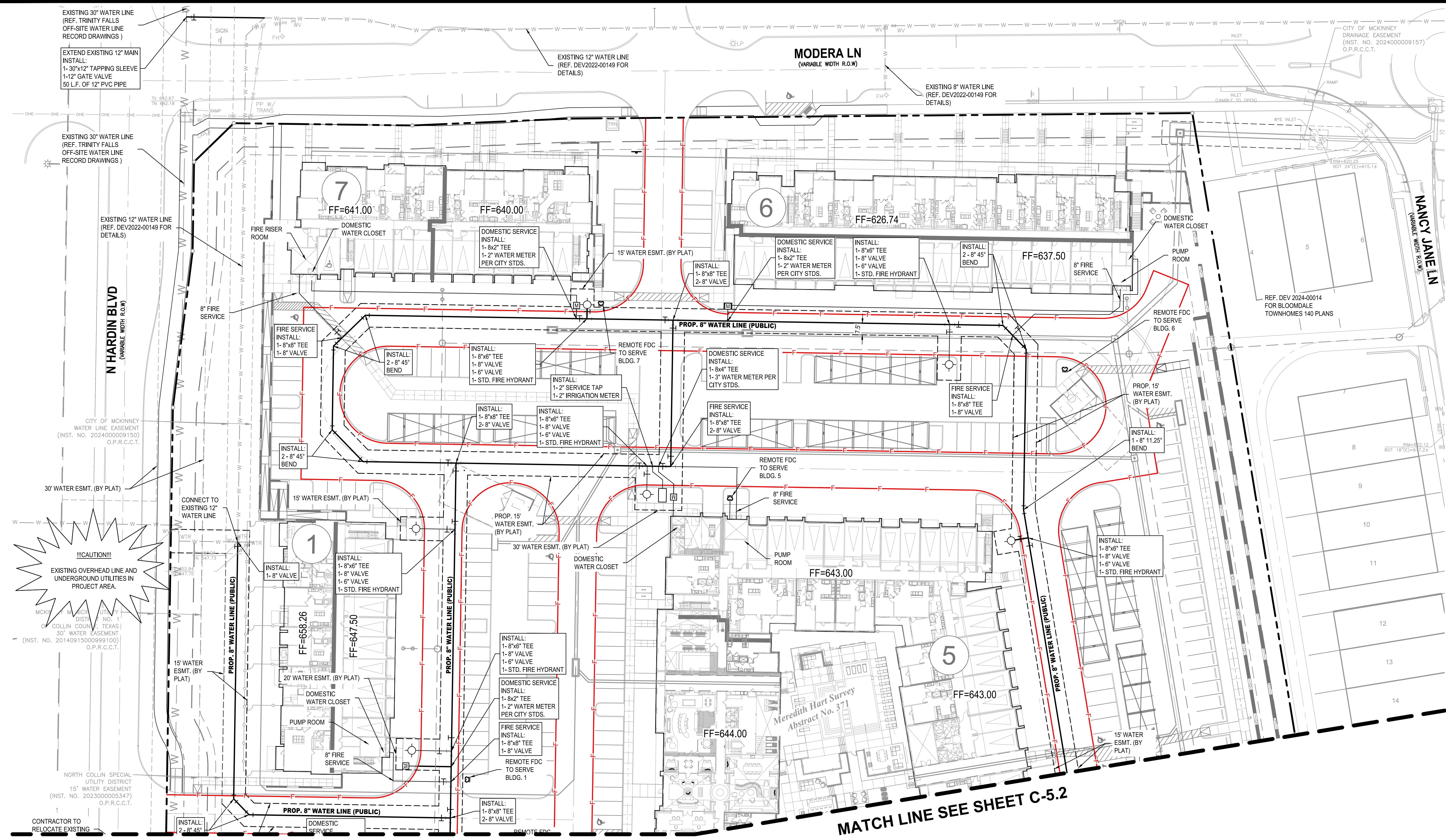
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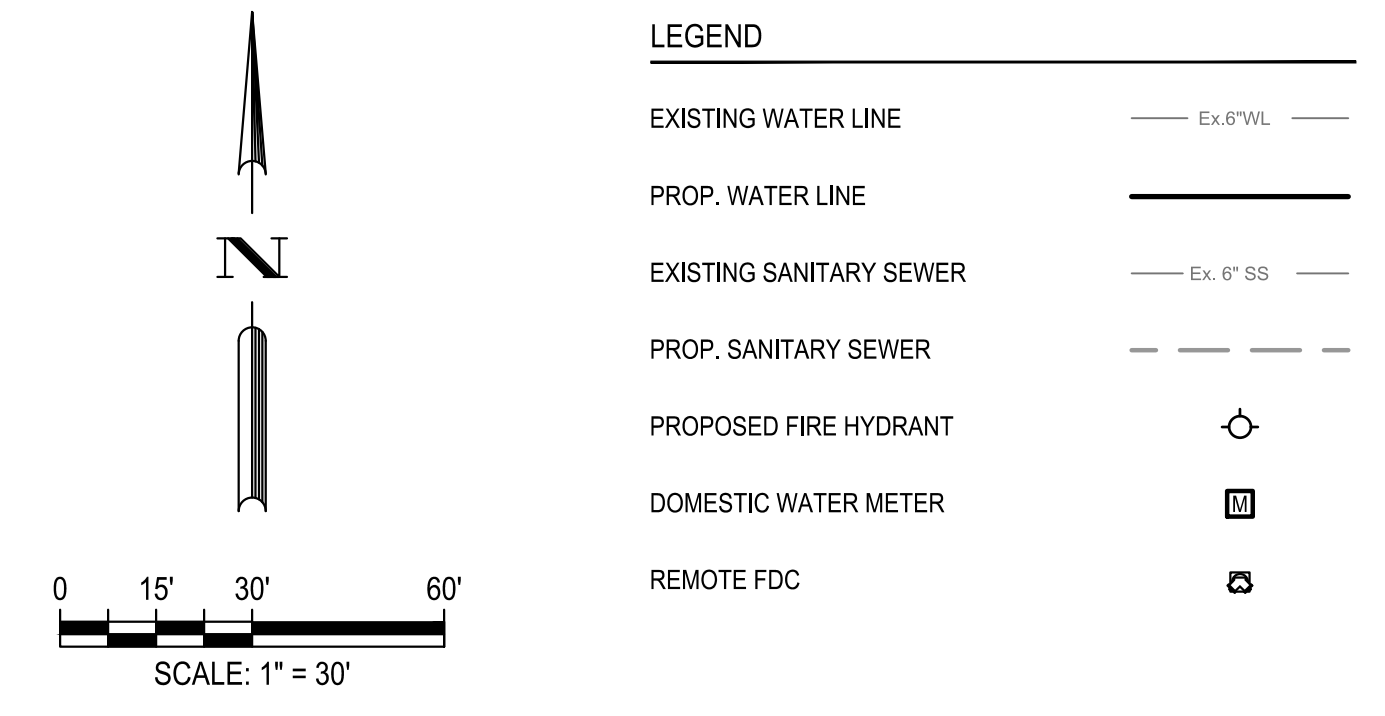
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SHEET NO.

C-5.1



- WATER NOTES:**
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 - ALL UTILITY STUBS SHOWN SHALL BE PLUGGED 5' PAST PROPOSED PAVEMENT EDGE OR 5' OUTSIDE THE BUILDING.
 - REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
 - A 5-FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
 - FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
 - ALL WATER METERS SHALL BE LOCATED IN LANDSCAPE AREAS.
 - WATER TO HAVE A MINIMUM 4" OF COVER.
 - BACKFLOW PREVENTION TO BE PROVIDED AS REQUIRED BY TCEQ TITLE 30 SECTION 290 UNLESS DETERMINED OTHERWISE.
 - FIRE HYDRANT EASEMENT WIDTH IS 15' UNLESS OTHERWISE NOTED. EXTENDED 10' BEHIND FIRE HYDRANT AND MIN 3' FROM BACK OF CURB.

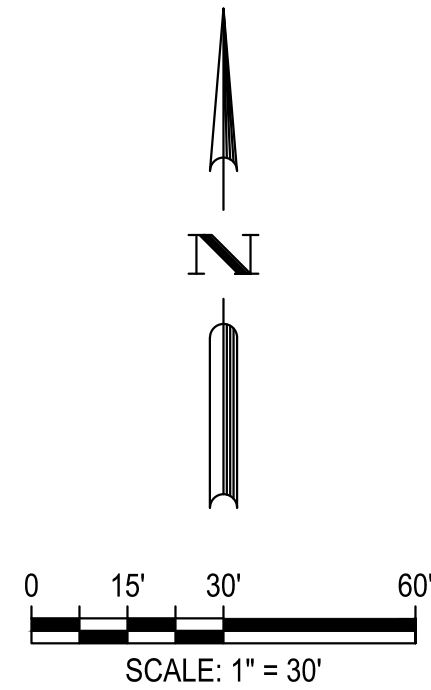


811
Know what's below.
Call before you dig.
(at least 48 hours prior to digging)

BGE, INC. 0:\V0013668-00\LD-NHX\01_CADD\01_SHTS\C-5.1_WATER_PLAN.dwg Jan 17, 2025 - 9:44am jaramillo

WATER NOTES:

1. CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
2. REFER TO MEP AND ARCHITECTURAL PLANS FOR CONNECTION TO DOWNSPOUTS AT BUILDINGS AND FLOWLINES.
3. CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOWLINE ELEVATIONS DO NOT MATCH THOSE SHOWN ON THE PLAN.
4. CONTRACTOR TO ADJUST MANHOLE RIM ELEVATIONS TO MATCH FINISH GRADE.
5. CONTRACTOR TO REMOVE SILT AND DEBRIS FROM END OF EXISTING STORM SEWER PRIOR TO MAKING CONNECTION.
6. REFER TO CITY OF MCKINNEY CONSTRUCTION DETAILS AND SPECIFICATIONS.
7. ALL UTILITY STUBS SHOWN SHALL BE PLUGGED 5' PAST PROPOSED PAVEMENT EDGE OR 5' OUTSIDE THE BUILDING.
8. REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
9. A 5-FOOT CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS.
10. FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
11. ALL WATER METERS SHALL BE LOCATED IN LANDSCAPE AREAS.
12. WATER TO HAVE A MINIMUM 4" OF COVER.
13. BACKFLOW PREVENTION TO BE PROVIDED AS REQUIRED BY TCEQ TITLE 30 SECTION 290 UNLESS DETERMINED OTHERWISE.
14. FIRE HYDRANT EASEMENT WIDTH IS 15' UNLESS OTHERWISE NOTED. EXTENDED 10' BEHIND FIRE HYDRANT AND MIN 3' FROM BACK OF CURB.

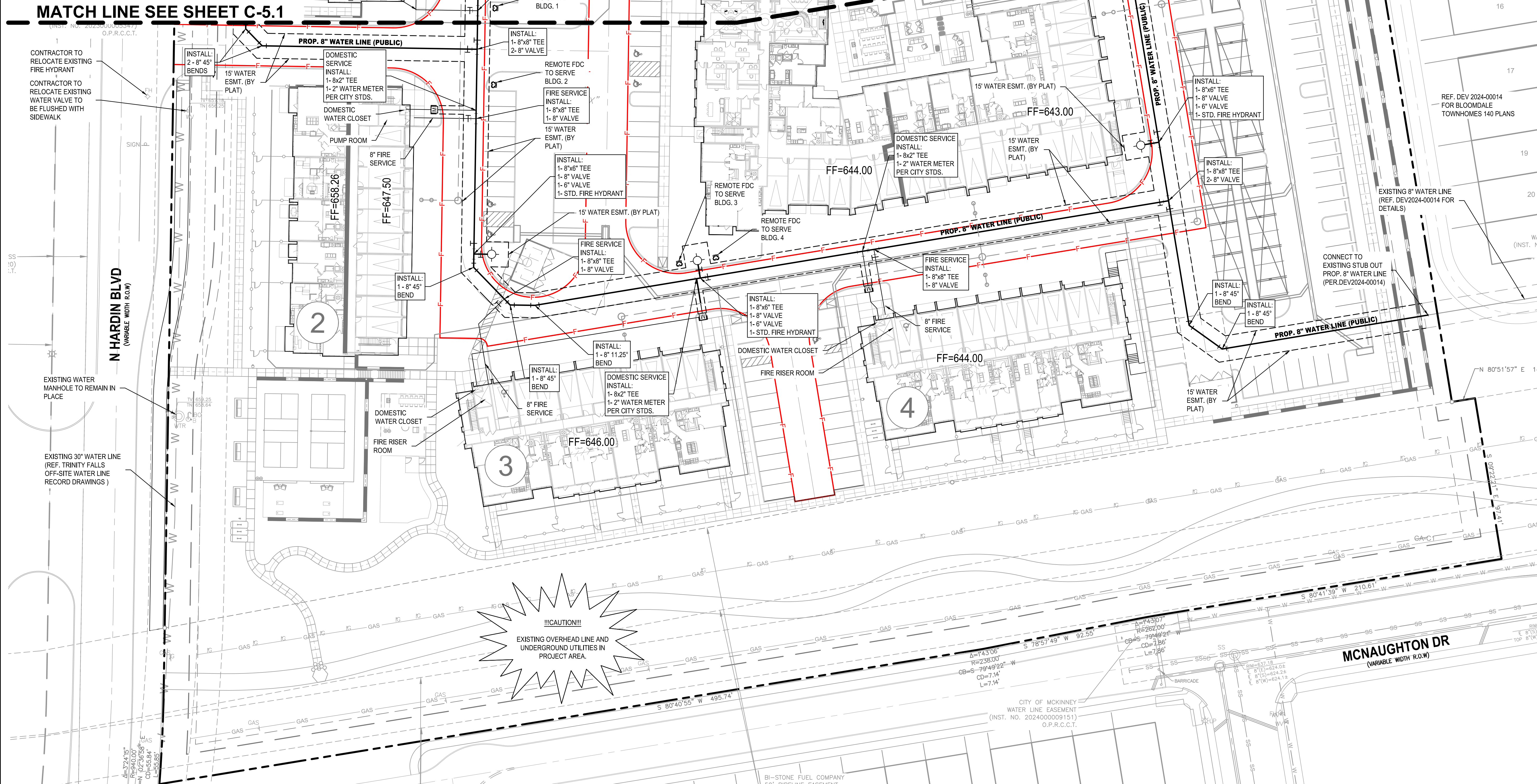


LEGEND

- EXISTING WATER LINE ——— Ex. 8" WL ———
- PROP. WATER LINE ———
- EXISTING SANITARY SEWER ——— Ex. 8" SS ———
- PROP. SANITARY SEWER ———
- PROPOSED FIRE HYDRANT
- DOMESTIC WATER METER
- REMOTE FDC

MATCH LINE SEE SHEET C-5.1

MATCH LINE SEE SHEET C-5.1



BGE, INC. C:\V0013668-00\LD-NHX\01_SHTS\C-5.1 WATER PLAN.dwg Jan 17, 2025-9:44am jandrade

BGE, Inc.
 777 Main St., Suite 1900
 Fort Worth, TX 76102
 Tel: 972-887-6130 • www.bgeinc.com
 TBPE Registration No. F-1046
 Contact: Javier D. Jaramillo, P.E.
 Tel: 469-621-3140
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DEVELOPER
MILL CREEK
 RESIDENTIAL TRUST LLC
Mill Creek Creek Residential
 5910 N Central Expy, Dallas, TX 75206
 Tel: 561-998-4465
 www.millcreekplaces.com

WATER PLAN
 MODERA RIDGELINE
 MODERA RIDGELINE
 SITUATED IN THE MEREDITH HART SURVEY,
 PART OF BLOODDALE 140, I.P., ABSTRACT NO. 371 AND
 PART OF LOT 1, BLOCK A
 13.597 ACRES
 CITY OF MCKINNEY,
 COLLIN COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.
 RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JAVIER D. JARAMILLO, P.E.
 TEXAS REGISTRATION NO. 91007
 JANUARY 17, 2025

!!CAUTION!!
 CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

!! CAUTION !!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REV NO.	DATE	DESCRIPTION

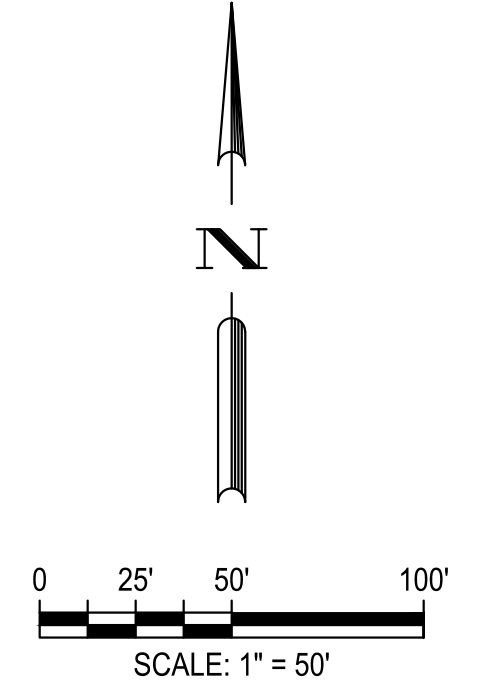
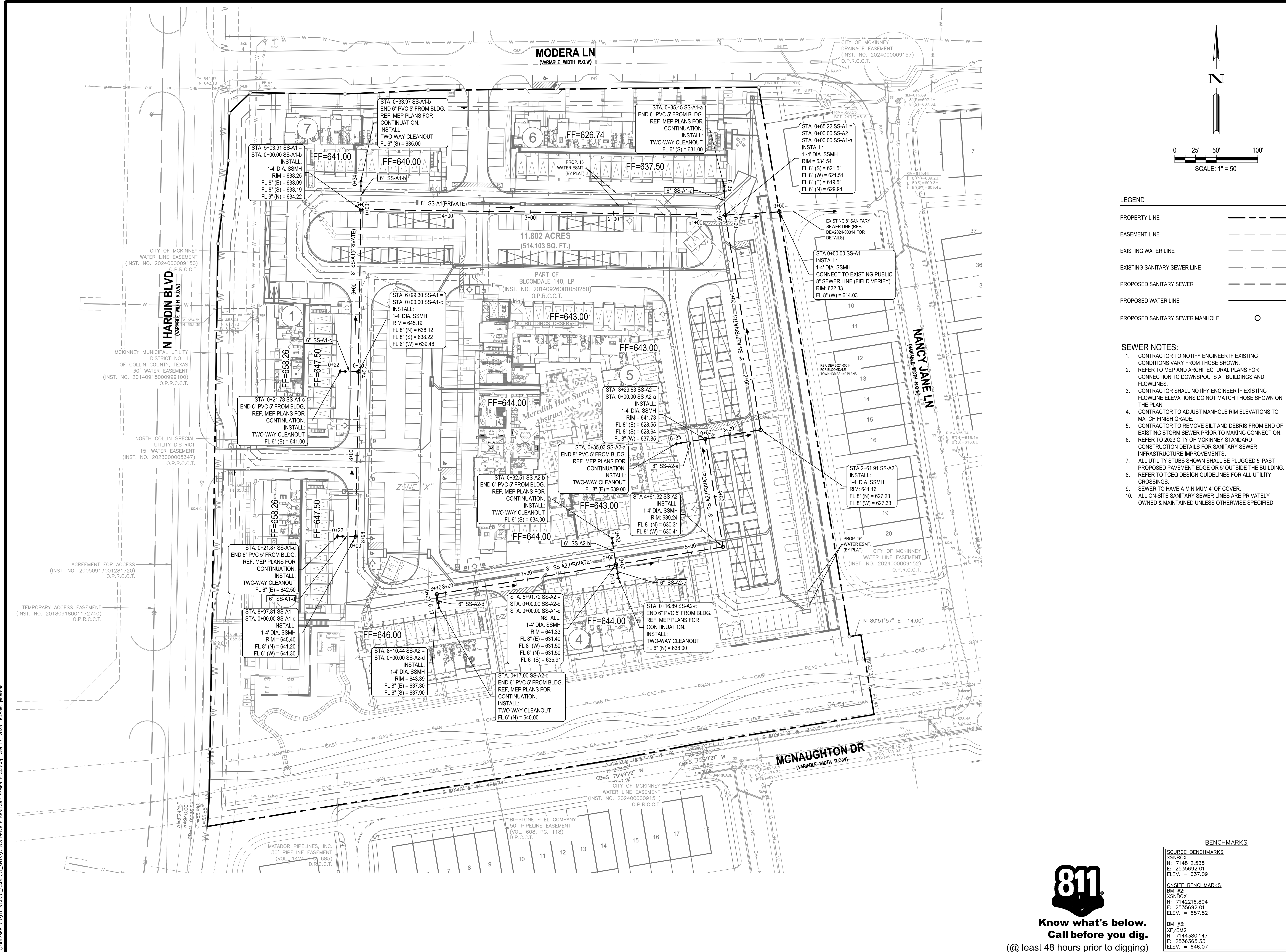
DRAWN BY: CA
 CHECKED BY: JJ
 DATE: 01/08/24
 PROJECT NUMBER: 13668-00

SHEET NO.
C-5.2



BENCHMARKS

SOURCE	BENCHMARK	N	E	ELEV.
SOURCE BENCHMARKS	XSNBOX	714812.535	2535692.01	637.09
	EM #2	7142216.804	2535692.01	657.82
	XSNBOX	7144380.147	2536365.33	646.07
ONSITE BENCHMARKS	EM #2	7142216.804	2535692.01	657.82
	XSNBOX	7144380.147	2536365.33	646.07
	EM #3	NF/BM2	7144380.147	2536365.33



LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
EXISTING WATER LINE	---
EXISTING SANITARY SEWER	---
PROPOSED SANITARY SEWER	---
PROPOSED WATER LINE	---
PROPOSED SANITARY SEWER MANHOLE	○

- SEWER NOTES:**
- CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
 - REFER TO MEP AND ARCHITECTURAL PLANS FOR CONNECTION TO DOWNSPOUTS AT BUILDINGS AND FLOWLINES.
 - CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOWLINE ELEVATIONS DO NOT MATCH THOSE SHOWN ON THE PLAN.
 - CONTRACTOR TO ADJUST MANHOLE RIM ELEVATIONS TO MATCH FINISH GRADE.
 - CONTRACTOR TO REMOVE SILT AND DEBRIS FROM END OF EXISTING STORM SEWER PRIOR TO MAKING CONNECTION.
 - REFER TO 2023 CITY OF MCKINNEY STANDARD CONSTRUCTION DETAILS FOR SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS.
 - ALL UTILITY STUBS SHOWN SHALL BE PLUGGED 5' PAST PROPOSED PAVEMENT EDGE OR 5' OUTSIDE THE BUILDING.
 - REFER TO TCEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
 - SEWER TO HAVE A MINIMUM 4' OF COVER.
 - ALL ON-SITE SANITARY SEWER LINES ARE PRIVATELY OWNED & MAINTAINED UNLESS OTHERWISE SPECIFIED.

BENCHMARKS

SOURCE	BENCHMARK	EM #2	XSNBOX	N	E	ELEV.
QNSITE	BENCHMARKS	EM #2	XSNBOX	N: 714216.804	E: 2536592.01	ELEV. = 657.82
BM #3	NF/BM2	N: 7144380.147	E: 2536365.33	ELEV. = 646.07		

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 TBPE Registration No. F-1046
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DEVELOPER
MILL CREEK
 RESIDENTIAL TRUST LLC
Mill Creek Residential
 5910 N Central Expy, Dallas, TX 75206
 Tel: 561-998-4465
 www.millcreekplaces.com

PRIVATE SANITARY SEWER PLAN
 MODERA RIDGELINE
 MODERA LN
 13.597 ACRES ± SITUATED IN THE MEREDITH HART SURVEY,
 PART OF BLOODDALE 140, I.P., ABSTRACT NO. 371 AND
 PART OF LOT 1, BLOCK A
 13.597 ACRES
 CITY OF MCKINNEY,
 COLLIN COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:
 BGE, INC.
 TEXAS REGISTERED ENGINEERING FIRM F-1046
 JAVIER D. JARAMILLO, P.E.
 TEXAS REGISTRATION NO. 91007
 JANUARY 17, 2025

!! CAUTION !!
 CONTRACTOR TO VERIFY EXACT LOCATION & DEPTH OF EXIST FACILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES

!! CAUTION !!
 CONTACT: 1-800-DIG-TESS
 48 HOURS PRIOR TO CONSTRUCTION

REV NO.	DATE	DESCRIPTION

DRAWN BY: CA
 CHECKED BY: JJ
 DATE: 01/08/24
 PROJECT NUMBER: 13668-00

SHEET NO.
C-5.3

811
 Know what's below.
 Call before you dig.
 (@ least 48 hours prior to digging)

BGE, INC. C:\V0013668-00\LD-NTXA\01_CADD\01_SHTS\C-5.3 PRIVATE SANITARY SEWER PLAN.dwg Jun 17, 2025 - 9:45am jaramillo