

Proof of Residence

Property ID: 1097306 For Year

2025

Appraisal Notice

View Map

Print

Property Details		
Account		
Property ID:	1097306	Geographic ID: R-0856-050-2070-1
Type:	R	
Property Use:		Condo:
Location		
Situs Address:	401A W HUNT ST MCKINNEY, TX 75069	
Map ID:	068.F	
Legal Description:	MCKINNEY ORIGINAL DONATION (CMC), BLK 50, LOT 207 208A 208B 222B & 222C	
Abstract/Subdivision:	S0856	
Neighborhood:	(HV822CMC) HIST CMC,RV8RV22	
Owner ⓘ		
Owner ID:	419535	
Name:	POWELL NANCY A TRUETT HARRIS	
Agent:		
Mailing Address:	401A W HUNT ST MCKINNEY, TX 75069-3834	
% Ownership:	100.0%	
Exemptions:	DP - HS - For privacy reasons not all exemptions are shown online.	

Property Values	
Improvement Homesite Value:	N/A (+)
Improvement Non-Homesite Value:	N/A (+)
Land Homesite Value:	N/A (+)
Land Non-Homesite Value:	N/A (+)
Agricultural Market Valuation:	N/A (+)
Market Value:	N/A (=)
Agricultural Value Loss:	N/A (-)
Appraised Value:	N/A (=)
HS Cap Loss:	N/A (-)
Circuit Breaker:	N/A (-)
Assessed Value:	N/A
Ag Use Value:	N/A

Information provided for research purposes only.
Legal descriptions and acreage amounts are for
Appraisal District use only and should be verified
prior to using for legal purpose and or documents.



City of McKinney Historic Building Marker Application

Submit the completed application to the following address:
City of McKinney, Planning Department
221 N. Tennessee Street, McKinney, TX 75069

I. Applicant Information

Date of Submittal February 26, 2025

Name of Applicant Nancy & Steve Powell

Address 401 West Hunt Street, McKinney, TX 75069

Telephone (214) 326-7265

E-mail Address stevepowellactor@yahoo.com

II. Owner Information (If different from Applicant)

Name of Owner - same -

Address - same -

Telephone ()

E-mail Address

III. General Building Information

Name of Building Mary E. Jackson House

Address of Building 401 W. Hunt Street, McKinney, TX 75069

Date of Construction Known 1929 or Circa

(If not known provide approximate date Circa)

Architect/Designer

Builder/Contractor Abaldy Poole

Architectural Period/Style English Cottage Style

Legal Property Description of Current Location (Lot and Block Numbers)

MCKINNEY ORIGINAL DONATION, BLK 50, LOT 207 208A 208B 222B & 222C

Does the building remain on its original site?

☒ Yes

☐ No (specify original location)

Indicate the original and adapted uses of the building.

Original Uses		Adapted Uses	
<input type="checkbox"/>	Agriculture _____	<input type="checkbox"/>	Agriculture _____
<input type="checkbox"/>	Commerce _____	<input type="checkbox"/>	Commerce _____
<input type="checkbox"/>	Education _____	<input type="checkbox"/>	Education _____
<input type="checkbox"/>	Government _____	<input type="checkbox"/>	Government _____
<input type="checkbox"/>	Healthcare _____	<input type="checkbox"/>	Healthcare _____
<input type="checkbox"/>	Industrial _____	<input type="checkbox"/>	Industrial _____
<input type="checkbox"/>	Recreation _____	<input type="checkbox"/>	Recreation _____
<input type="checkbox"/>	Religious _____	<input type="checkbox"/>	Religious _____
<input checked="" type="checkbox"/>	Residential _____	<input checked="" type="checkbox"/>	Residential _____
<input type="checkbox"/>	Social _____	<input type="checkbox"/>	Social _____
<input type="checkbox"/>	Transportation _____	<input type="checkbox"/>	Transportation _____

IV. Architectural Description

A. Physical Characteristics

	Original 1	Current 2
Number of stories	_____	_____
Orientation	North	North
Floor Plan		
Open plan	<input type="checkbox"/>	<input type="checkbox"/>
L-plan	<input type="checkbox"/>	<input type="checkbox"/>
Modified L-plan	<input type="checkbox"/>	<input type="checkbox"/>
Center passage plan	<input type="checkbox"/>	<input type="checkbox"/>
2-room plan	<input type="checkbox"/>	<input type="checkbox"/>
T-plan	<input type="checkbox"/>	<input type="checkbox"/>
Shotgun plan	<input type="checkbox"/>	<input type="checkbox"/>
Asymmetrical plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other (specify)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Roof Type		
Gable	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Hipped	<input type="checkbox"/>	<input type="checkbox"/>
Flat with parapet	<input type="checkbox"/>	<input type="checkbox"/>
Gambrel	<input type="checkbox"/>	<input type="checkbox"/>
Mansard	<input type="checkbox"/>	<input type="checkbox"/>
Shed	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify)	<input type="checkbox"/> _____	<input type="checkbox"/> _____

B. Materials (Please check all that apply)

	Original	Current
Construction		
Frame	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Solid Brick	<input type="checkbox"/>	<input type="checkbox"/>
Solid Stone	<input type="checkbox"/>	<input type="checkbox"/>
Concrete	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Foundation		
Pier and Beam	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Stone	<input type="checkbox"/>	<input type="checkbox"/>
Brick	<input type="checkbox"/>	<input type="checkbox"/>
Concrete	<input type="checkbox"/>	<input type="checkbox"/>
Concrete Masonry Units	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Exterior Wall Surface		
Siding (specify type)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Stucco	<input type="checkbox"/>	<input type="checkbox"/>
Stone	<input type="checkbox"/>	<input type="checkbox"/>
Brick	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Wood Shingle	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Windows		
Wood Sash	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Aluminum Sash	<input type="checkbox"/>	<input type="checkbox"/>
Single-hung	<input type="checkbox"/>	<input type="checkbox"/>
Double-hung	<input type="checkbox"/>	<input type="checkbox"/>
Casement	<input type="checkbox"/>	<input type="checkbox"/>
Fixed	<input type="checkbox"/>	<input type="checkbox"/>
Awning	<input type="checkbox"/>	<input type="checkbox"/>
Hopper	<input type="checkbox"/>	<input type="checkbox"/>
Sliding	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Roof Materials		
Shingles (specify type)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Tile (specify type)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Slate	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Metal (specify type)	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Other	<input type="checkbox"/> _____	<input type="checkbox"/> _____
Primary Exterior Color	<u> natural brick </u>	<u> natural brick </u>
Secondary (Trim) Color	<u> white </u>	<u> white </u>

1. Supporting Documentation

Please attach the following information. All written documentation should be double spaced, 12 point-font, justified.

A. Alterations

List any known changes or modifications made to the property throughout its history.

B. Historical Figures/ Historical Information about individuals who are associated with the property.

List any historical figures associated with the property. Provide names and occupations.

C. Property Ownership

Legal description of property with a location map as well as a list all known owners of the property. Include original owner and subsequent owners.

D. Tenant History

List all known tenants of the property throughout its history.

E. Narrative History

Attach a narrative explanation of the chronological and historical development of the property. (See attached example.) The above information should be included as part of your narrative.

F. Drawings

- Provide a sketch of the current site plan. Include the proposed location of the historic plaque.
- Provide a sketch map indicating the nominated property and any related sites.
- Copies of Sanborn Maps TM showing the house's relationship to other homes and the footprint of the house

G. Photographs

Historic

- Provide at least one historic photograph of the property.

Current

- Provide at least one current photograph of the property illustrating in its surrounding context. For example, photograph the streetscape in which the building is included.
- Provide at least one photograph of each side of the building.

H. Additional Information

Provide any additional information that supports the application. This may include copies of architectural drawings, letters, oral histories, newspaper/magazine articles, etc.

I. References

Attach a list of the books, articles, Sanborn MapsTM, newspapers, and other sources used in preparing this form. (See a list of possible references after the signature page.)

The Historic Preservation Advisory Board requests that all plaques be mounted on the front façade of the approved building within thirty (30) days of receipt.

Steven M. Rowe

Applicant Signature

Permission of owner for plaque placement ☒

Steven M. Rowe

Owner Signature

City of McKinney
Historic Building Marker Application
(Supporting Documentation)

Mary E. Jackson House
401 W. Hunt Street



A. Alterations & Construction

The Mary E Jackson House was built in 1929 and sits on the site previously occupied by the first brick residence built in McKinney. The Jackson House was built as a single-story, two-unit duplex by contractor Abaldy R. Poole of Richardson. The English Cottage Style house features a steep cross-gabled slate roof. The exterior walls are brick with cut stone accenting door and window openings. Tall brick chimneys dominate the north and west facades. Archways and spiral columns enclose a portico on the east side of the residence. The house is primarily fenestrated with six-over-six sash windows while prominent windows are set with divided lights. The duplex has an asymmetrical floor plan on top of a pier and beam foundation. Oak flooring is used throughout the house.

There were no known alterations to the house until 1975. Around that time and over the next several years stairs were added, the attic was finished out into living quarters, and the east side kitchen was enlarged. In 1984 repairs and updates included adding central air conditioning and enlarging the west side kitchen. In the 1990's the door connecting the two units was moved, and the water lines were replaced. In 2017 the hail damaged Vermont slate roof was replaced with Vermont slate, and the exterior wood columns were restored. In the past few years the broken sidewalk on the east side to the driveway was replaced with crushed granite, the drainage for the east gutters was replaced, and the utilities were updated. In 2022, repairs were made to water-damaged oak floors in the east-side kitchen and a nearby bedroom.

Anticipated Needs

The current owners have no plans to expand or otherwise remodel the house. However, should repairs be necessary, it is the owner's intention to preserve the historic nature of the house.

B. Historical Figures

Mary E. Jackson (1874-1958): First Owner/Resident

Mary E. Jackson was the wife of Walter B. Jackson, co-owner of the Ford dealership in McKinney during the 1910s. When he died in 1920 at the age of 46, she became the sole heir to his estate, including a filling station, a half-ownership in his Ford dealership, and two farms totaling 720 acres.

Mary was born Mary Elizabeth Hunter in Kentucky during the winter of 1874 to David and Mary Hunter, who immigrated to the United States from England with two children sometime after 1866. Census records indicate that the Hunter family first settled in Illinois long enough to have one child before moving to Ontario, Canada around 1868. They had two more children while living there. Around 1873, the couple returned to the U.S., settling in Kentucky where their sixth child Mary was born. However, within a year, the Hunters moved to Indiana along with their six children. After adding four more children to their family there, they moved to Ellis County, Texas where the couple had their eleventh and final child. While living in Ellis, Mary married Walter B. Jackson in 1891. Both were 17 years old.

Walter Jackson had an unconventional family life growing up in his home town of Maury County, Tennessee. When Walter died in McKinney in 1920, the *Courier-Gazette* alluded to this in his obituary.

The life of the deceased has quite a tinge of romance to it and leads those who knew him to appreciate him even more than they ever did.... He was left at an orphan at the age of nine and was reared in the home of his grandparents, Mr. and Mrs. R.C. Jackson. He came to Texas in November 1886.

However, this account does not agree with available records from that time which indicate that Walter was born when his father Richard was only 15 years old. The identity of the mother does not appear in any documents. Later, when Walter's father Richard was 18 years old he married Virginia Wright. The 1880 Census shows Richard and Virginia in a home with one child and it is not Walter. Other records from 1880 show Walter at age 6 living not with his grandparents as the *Courier-Gazette* reported but living in the home of his step-mother's half-sister Sarah Wright. Sarah had another familial connection to Walter. She was also the sister-in-law of Walter's grandfather through his second wife Nancy Wright.

The grandfather (Richard C. Jackson) that the newspaper article mentions was not happy with his son (Richard T. Jackson) who apparently fathered a child out of wedlock. This is expressed in the grandfather's will from 1902 that explicitly directed that his son and his son's children including Walter, were not to "have any part or parcel of my estate." Instead, the grandfather left money for the care and maintenance of Walter's handicapped uncle William. Given the complexity of these family relationships, it is easy to see how the family offered up a simpler version of Walter's childhood. Another unusual, if not historical, family relationship involved Walter's great-great grandmother who was the niece of Daniel Boone. There is nothing, however, that indicates the family members living in Texas were aware of this.

Walter came to Texas in 1886. Five years later he married Mary E. Hunter in Ellis County. Walter worked as a farmer until becoming the Ellis County sales agent for the Ford Motor Company around 1912. His financial success allowed him to expand his business interests elsewhere.

In 1917, Walter purchased the C.J. Smith garage on North Kentucky Street in McKinney. As a result, Walter and Mary left Ellis County and purchased a newly remodeled home on Virginia Street just west of the Commercial Hotel annex (the site is now the parking lot east of Mitchell Park). Within two years, Walter's auto garage was the largest in Collin County which allowed him to purchase hundreds of acres of farmland and become a prominent member of McKinney's society.

In March of 1920, Walter was at home recovering satisfactorily from appendectomy surgery when his recovery took a tragic turn leaving him dead. His funeral was conducted by Dr. V.W. Wallace of the First Christian Church with burial at the Pecan Grove Cemetery. Since Walter and Mary had no children, he left his entire estate to Mary. For the next two years, Mary went about settling her husband's business affairs which included selling her share of the garage and dealership. Afterwards, she enjoyed an extended trip west to Colorado and California and upon returning to McKinney spent much of her time visiting friends in Waxahachie.

In 1926, Mary purchased a 50-year-old, eight-room, brick home at the corner of West Hunt and Bengé Streets known as the Abe Rhine home. It was the first brick residence built in McKinney and a well-known landmark. Its construction was made possible by the new rail lines that could bring such heavy materials to the city in the 1870s.

In the first decade of the 20th Century, the home belonged to merchant William H.

Purcell, who owned the dry-goods store that occupied the three-story building on the McKinney Square that collapsed in 1913, killing eight people and injuring many more. Years before that catastrophe occurred, Mr. Purcell sold his business and worked as a traveling salesman in Greenville, Texas before moving to New York in 1912. That same year, Mr. Purcell sold the brick home to fellow dry-goods merchant William H. Matthews. Mary purchased the landmark home from Mr. Matthews.

When Mary purchased the old Abe Rhine home from Mr. Matthews, it was her intent to raze it and build a new residence in its place. She razed the structure soon after purchasing it but did not begin building her new house until 1929. The house she built was an English Cottage Style brick structure with a steep cross-gable roof with slate shingles. The house was designed to be a duplex. Mary would occupy the east unit while enjoying the renting income the west unit provided. Her first renters were Mr. & Mrs. Henry A. Turner from Tyler, Texas. Mr. Turner was an agent for The Texas Company, now known as Texaco. The couple rented the duplex apartment until Mr. Turner was relocated to Abilene by his company in 1934.

Mary enjoyed gardening and began preparing beds for shrubs and flowers soon after moving into her new house in 1929. Two years later, she was awarded the McKinney Garden Club's 2nd Prize in the "Yard Beautiful" Contest in the "large yard" category, losing out to Mrs. Lois Hoover at 605 N. Waddill.

Mary turned 60 in 1934. Her income from her apartment and leased farmland gave her the means to entertain at home and visit relatives in Dallas, Oklahoma, and Waxahachie. The nearby First Christian Church was an easy walk from her house and an important part of her life. When the church initiated a fund drive to pay off some of its indebtedness in 1940, Mary was the largest personal donor with a gift of \$1,400. At that time, the average price of a car was about \$850.

Mary's health began to suffer in the early 1940s, yet she remained active. It was not until the last decade of her life that she began slowing down. During this time, she had three visits to the hospital with her third visit in May of 1958 being her last. She died in McKinney at the City-County Hospital from complications due to pneumonia. She is buried at the Restland Cemetery in Dallas.

Mrs. Isaac P. Carr (1890-1970): Renter and Second Owner

Mr. and Mrs. Carr arrived at McKinney from Decatur, Texas in 1929 to open a women's apparel store on the Square. Upon Mr. Carr's death in 1934, Mrs. Carr became the sole owner of the store and operated it for over three decades.

Mrs. Carr was born Ethel Harrison to parents John and Elizabeth Harrison of Decatur. In 1908 she married dry-goods merchant Issac P. Carr whose father was the Secretary of the Treasury for the Confederacy during the Civil War. Ethel and Isaac had three children, two surviving to adulthood.

Issac and Ethel lived for over a decade in Ennis, Texas before moving the family to McKinney to start a woman's apparel business on the Square one month before the stock market crash of 1929. The couple opened "Carr's Apparel Shoppe" in the building that is now 111 West Virginia Street and the former office of former Texas Governor James W. Throckmorton. Given the economic conditions of time, it is not surprising that the store filed for bankruptcy in June of 1931, its inventory being sold to a Sherman businessman. What is surprising is that only four months later Isaac and Ethel re-opened their store on the north side of the Square at 113 East Virginia in the building once occupied by "Orisons Boutique," now "Maimee Lou."

The business experienced enough success in its new location that the couple opened a second store back in Ennis where they lived before moving to McKinney. Tragically, in 1934, Isaac died of a heart attack at the age of 54 just two months after the Ennis store opened. Five days later, a curious article that reads more like an advertisement appeared in the *Weekly Democrat Gazette* with the Mutual Life Insurance Company boasting its prompt payment of \$2,100 (\$50,000 in today's dollars) to Isaac's bereaved widow. The article goes on to announce Isaac's death was the company's "first death loss that the company has sustained in Collin County." The end of the article provides a name to contact if anyone is considering the need for life insurance.

When Isaac died in 1934, he and Ethel were renters at 209 W. Virginia Street in a house owned by Mary Jackson. That same year, the tenants who occupied Mary's duplex moved away and Ethel became a tenant in Mrs. Mary Jackson's duplex on West Hunt Street. As Mary's former tenant, and given the connection the two women had to Ennis, along with being members of the same church, and widows, it is easy to assume they were close friends as well.

Ethel continued to own and manage the apparel store on the Square for the next 36

years. The Courier-Gazette often reported on her frequent trips to market to supply her shop with needed inventory. In 1958, when her landlord Mary Jackson died, Ethel purchased the duplex from Mary's estate and lived at 401 West Hunt Street until her death in 1970. Ethel was buried at Pecan Grove Cemetery next to her husband.

William H. Matthews (1866-1931): Property seller to Mrs. Jackson

William H. Matthews arrived in McKinney in 1906 at the age of 40 to establish and manage one of the city's largest dry-goods store on the Square.

William was the son of Coleman G. Matthews and Annie Buchanan of Groesbeck, Texas, about 30 miles east of Waco. Groesbeck is best known for being near where Cynthia Ann Parker was kidnapped by Comanches in 1836 and who later became the mother of Quanah Parker, the last Comanche Chief.

William and his brother Perl were partners in a dry-good business in Houston for two years before moving their headquarters to Ennis where they opened a store in 1906 along with a store in McKinney, managed by William. The Matthews' store in McKinney was located in the Waddill Building on the Square at the corner of Kentucky and Virginia Street. The store operated at this location from 1906 until the brothers sold the store in 1920. The Waddill Building was destroyed by fire in 1928 and replaced by the Ritz Theater building which occupies the site today.

When William Matthews first arrived in McKinney in 1906, he and his wife Daisy (also his cousin) rented rooms at the New Wade Hotel while he worked to get the store up and running which opened in February of that year. In October, William and his wife purchased a house from J.A. Rogers on the northwest edge of town. The house they purchased had been originally owned by W.R. Hill who sold it to Mr. Rogers in 1904. Mr. Rogers had the house moved from the corner of Tucker and College Streets to the lot that would later become 403 Tucker Street.

William and family lived on Tucker Street for about eight years. In 1910, the Matthews household consisted of his wife Daisy, their adopted infant son Frank, William's father Coleman, and Daisy's nephew George Copelin. In 1912, William purchased the brick house at the corner of Hunt and Benge Streets from fellow merchant W.A. Purnell. After moving into the Purnell home (originally the Abe Rhine home), which was the first brick residence built in McKinney, he began renting out the Tucker Street house.

The Matthews Brothers Store (also known as the Big Daylight Store) was a great success. The store was well-known for its customer service, even offering home delivery with their horse-drawn wagon. The company motto was, "Give one and all a square deal, from the least to the greatest." In 1910, the brothers renewed their lease and negotiated more floor space which doubled the size of their store. The second and third floors of the store were accessed by an electric elevator which could hold up to eight people. The elevator is cited as the first of its kind in McKinney.

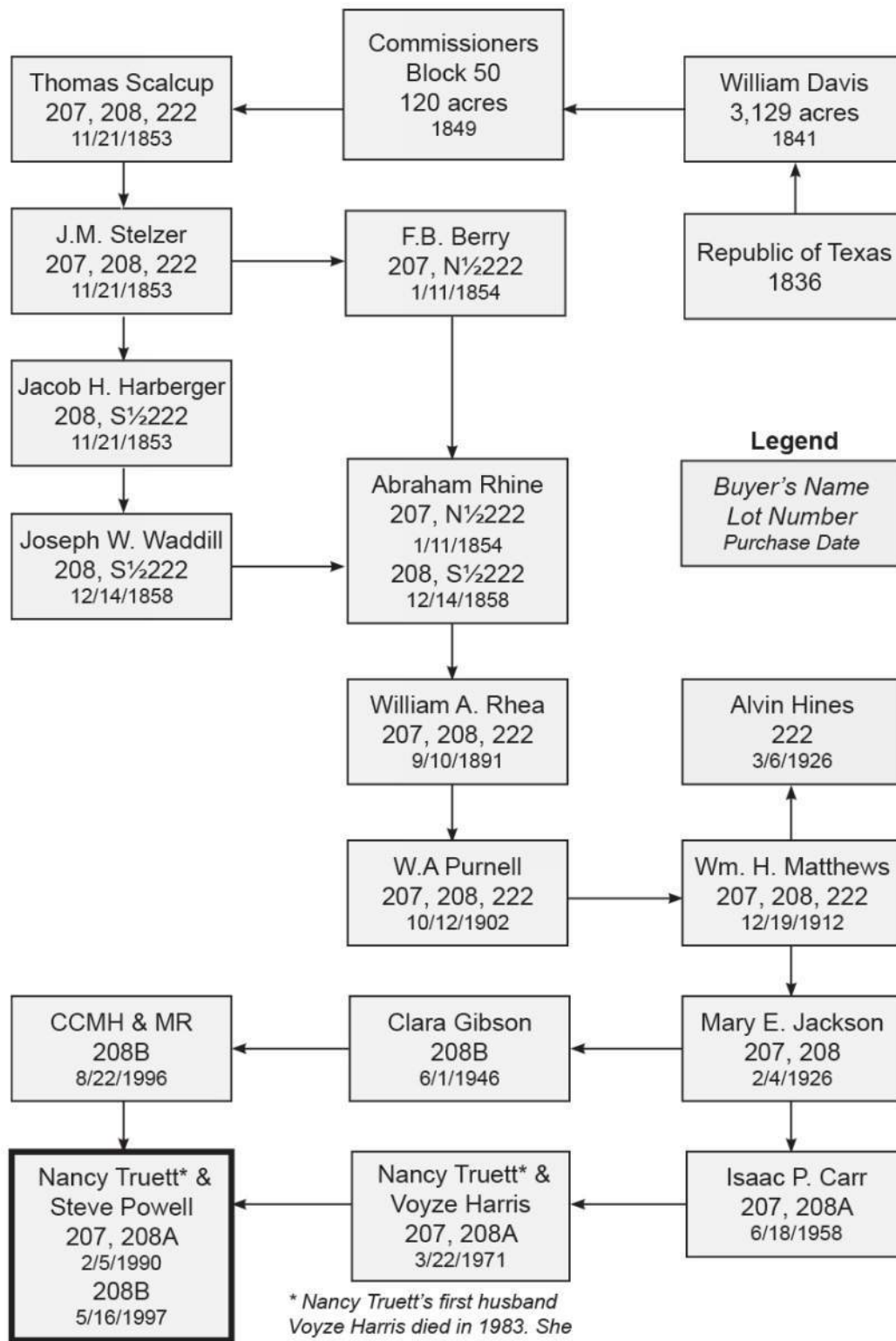
The business was best known for selling clothing and dry-goods but after the store's expansion, other wares were added to its inventory. One of these items was a product called Essenkay which was a substance one could inject into an automobile tire to prevent punctures and blowouts. Mr. Matthews was the exclusive agent in McKinney for this automobile accessory.

William was an active member of the McKinney Chamber of Commerce, an Elk, and a deacon in the First Christian Church. His business success gave him the resources to accumulate a substantial portfolio of residential rent properties. In 1920, he and his brother sold the store to the Hudson, Davis & Company of Dallas. William stated his reason for leaving the business in a newspaper article claiming that, "He had realized for some time that the business needed a more aggressive management than the condition of his health would permit."

After selling the business William, his brother, their wives, his niece Flora, son Frank all moved to Long Beach, California. There, the brothers engaged in the real estate trade including the purchase of a 48-room apartment. In 1930, William Matthews died in his Long Beach home in April of 1931. He is buried at the Sunnyside Cemetery in Long Beach.

C. Property Ownership: 401 W. Hunt St.

Deed History



D. Tenant History: 401 W. Hunt St.

The tenants who have lived in the Mary E. Jackson House are:

1920-1934	Mr. & Mrs. Henry A. Turner
1934-1958	Mrs. Ethel Carr (purchased home in 1958)

1975-1982	Teresa & Bryan Mahoney
1983-1988	Mrs. Koehler
1989-1990	Dina Perdue

Legal Description

401 West Hunt Street, Lots 207, 208

SITUATED in Collin County, Texas, and in the City of McKinney and in the William Davis Survey and being a part of Block 50, Old Donation to the City of McKinney, and **BEGINNING** at a stake in the North line of said Block 50, 55 feet East of its Northwest corner;

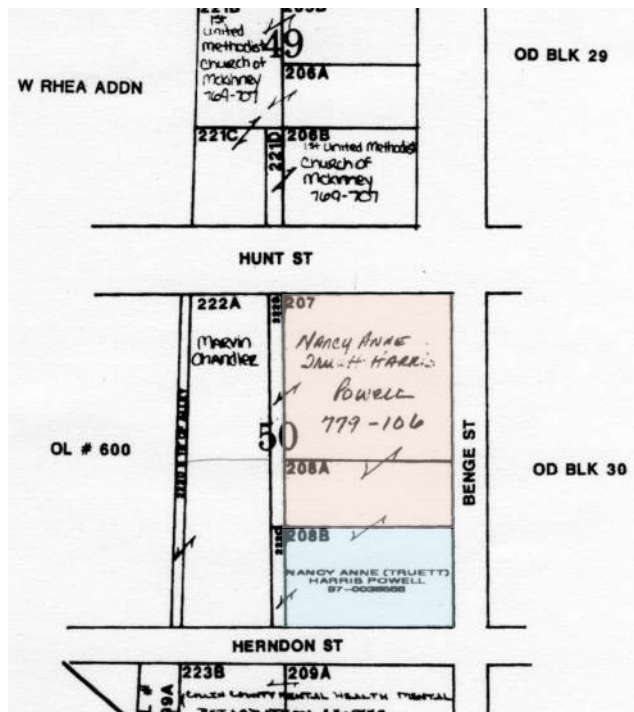
THENCE EAST with the North line of said Block 50, and the South line of Hunt Street, 109.1 feet to the Northeast corner of said Block 50;

THENCE SOUTH with the East line of said Block 50 and the West Line of Benge Street, 140 feet, a stake, being the Northeast corner of the Clara B. Gibson lot;

THENCE WEST with the North line of the said Clara B. Gibson lot, 109.1 feet a stake in the Northwest corner of the said Gibson lot;

THENCE NORTH 140 feet to the place of beginning and being the land described in the deed from W.H. Matthews to Mrs. M.E. Jackson February 4, 1926 recorded in Vol. 259, Page 512, Collin County Deed Records;

LESS AND EXCEPT the property conveyed by Mrs. M.E. Jackson to Mrs. Clara B. Gibson, June 1, 1946, recorded Vol. 366, Page 464, Collin County Deed Records.



213 Benge Street, Lot 208B (Clara B. Gibson lot)

SITUATED in Collin County, Texas, in Block 50, of the Old Donation to the City of McKinney, Texas, and being off the south side of a lot described in a Deed from W.H. Matthews, et ux to Mrs. M.E. Jackson, dated February 4, 1926, and recorded in Vol. 259, Page 512, of the Collin County Deed Records;

BEGINNING at a stake at the southeast corner of Block 50 of the line of Herndon Street and the West line of Benge Street;

THENCE NORTH 60 feet to a stake in the West boundary line of Benge Street;

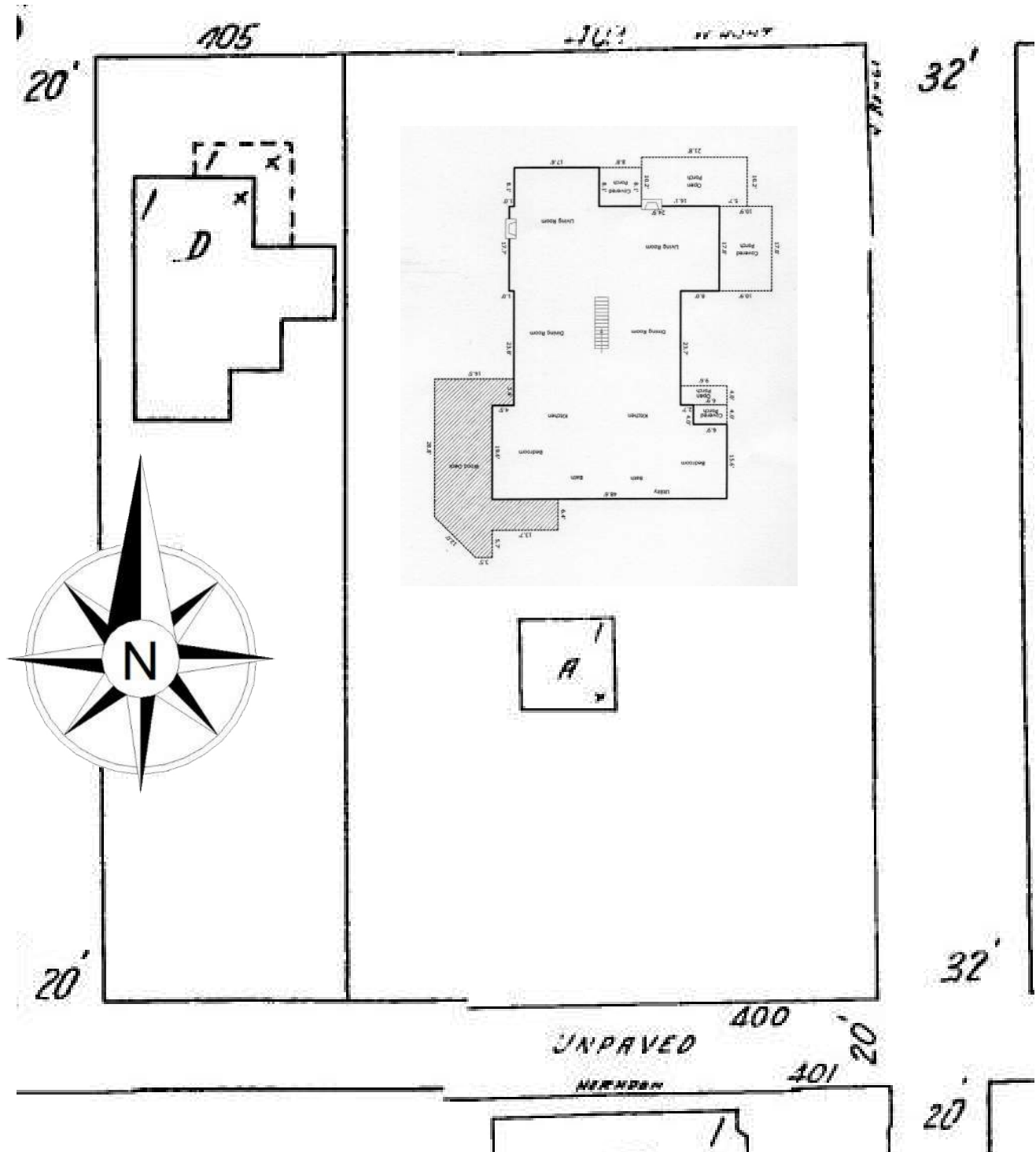
THENCE WEST 109.1 feet to a stake in the West boundary line of the said Mrs. M.E. Jackson lot;

THENCE SOUTH 60 feet to a stake in the north line of Herndon Street;

THENCE EAST 109.1 feet to the place of beginning.

Being the same premises conveyed by Mrs. Mary E. Jackson, a widow, to Mrs. Clara B. Gibson by Deed dated June 1st, 1946, recorded in Vol. 366, Page 464, Deed Records of Collin County, Texas.

Site Plan: 401 West Hunt Street



This diagram is based on the Sanborn Insurance map published in 1956. When Nancy Powell and her husband purchased the home in 1970, no certified survey was required, nor has any transfer of ownership since then required one. A recent footprint of the current floor plan has been overlaid the Sanborn map to show the presence of an existing wood deck.

E. Narrative History

In 1841, the Republic of Texas granted William Davis 3,129 acres of land as a reward for his participation in the new nation's battle for independence. This two-square-mile tract of land was situated on East Fork of the Trinity River in what was then Fannin County. After the Republic of Texas became the 28th state to enter the United States of America in 1845, it subdivided several counties into smaller units. Collin County was such a county, carved out of Fannin County.

In the beginning, a small town called Buckner was the seat of the newly established Collin County. However, the 1848 Texas State Legislature required that the seat be within three miles of the geographical center of the county. As it turned out, William Davis' tract sat within this radius and was chosen by an open election (where only 11 people voted) to be the location of Collin County's new seat.

In 1849, William Davis, along with his wife Margaret, "donated" 120 acres of the southwest corner of his original tract to the County Commissioners which became the new town of McKinney. At the time of his donation, he considered this acreage to be some of his least valuable land because of the heavy brush that covered it. Still, as consideration for donating this property, he was deeded three lots within the new town site. This 120 acres became known as the McKinney Original Donation and was divided into 87 blocks that were to be sold to finance the City of McKinney. As a side note, shortly after donating the land for a new city, William sold his newly deeded lots then abandoned his wife and child in McKinney and headed to California to search for gold. Records indicate that William and Margaret were married for only a few years following the donation. By early 1859, William was married to a different woman named Sarah (a.k.a. Sallie).

The 87 blocks of the Original Donation were further divided into smaller lots. It was the job of the County Commissioners to sell these lots to buyers. In 1853, farmer Thomas Stalcup paid \$50 to the Commissioners and became the owner of Blocks 22 and 50 of the Original Donation. At the time of the purchase, Block 50 consisted of three separate lots, 207, 208, and 222. Mr. Stalcup owned these lots less than a year before selling them to blacksmith Martin Stelzer for \$50 thereby recouping his entire investment in the two city blocks.

Mr. Stelzer sold these lots of Block 50 to separate investors. Merchant Abraham Rhine purchased these separate lots along with other neighboring properties and by 1858 all

of the lots of Block 50 were owned by one person in addition to ten acres of adjoining land. Mr. Rhine chose Block 50 for the site of his impressive, two-story, Italianate-style brick home he built around 1875, made possible by newly arrived railway lines. His home was the first brick residence to be built in McKinney and by the 1920s it was a well-known city landmark.

A year following Mr Rhine's death in 1890, his house and the surrounding estate was sold to William A. Rhea who would create a subdivision on West Hunt Street between College and Benge Streets. Mr. Rhea decided not to include block 50 in the subdivision and sold it, including the brick house, to dry-goods merchant William A. Purnell for \$5,000 in 1902.

W.A. Purnell is best known as the owner the Mississippi Store that occupied the three-story brick building on the northeast corner of the McKinney Square. He sold his business in 1903 to start a new store in Greenville, Texas. In 1912, he took a position with a New York firm and sold his home to fellow merchant W.H. Matthews who operated a competing dry-goods store one block east of the Mississippi Store. In 1913, the building that housed the Mississippi Store collapsed killing 8 people.

The Matthews family lived in the landmark home built for Abe Rhine for 14 years. For a while, this was the only home on the property. However, in 1913, Mr. Matthews built a home on the western portion of Block 50 (lot 222). In 1926, Mr. Matthews sold this western lot to insurance salesman Alvin Hines. That same year, he sold the Purnell home including the remaining portion of Block 50 to Mary E. Jackson, the wealthy widow of auto dealer Walter B. Jackson. It was her intention to have the 50-year-old house razed to make way for a new brick duplex to be erected on the property that she would occupy while renting the other half to a tenant. Because of her many travels, the lot sat vacant for three years before she got around to executing her plan. However, in May of 1929, her contractor began construction of her duplex. The structure was completed that summer at the address now known as 401 West Hunt Street.

Ablady R. Poole was the contractor responsible for the construction of Mrs. Jackson's English Country Style home with the J.T. Elliott Hardware of McKinney providing most of the materials. There is scant available information about Mr. Poole except that according to Census records he was a native of Fort Worth and lived in Richardson, Texas during the construction of the Jackson house. Given what is known about Mr. Poole, he was likely building from plans drawn up by a professional architect. The design and details of the Mary E. Jackson house are impressive and go far beyond the design skills of most area contractors.

There were three other brick homes of similar style built in McKinney between 1926 and 1929. Of these, the Joe Largent House house at 105 North Benge Street (built in 1926) bears the most similarity to the Jackson house. Both homes incorporate quoin arches, slate roofs, tall chimneys, and use similar brick. It is easy to consider that these two homes may share the same architect.

Mary E. Jackson moved into her duplex home in the summer of 1929. Mrs. Jackson spent time gardening around her new home in between her frequent travels. In 1931, the McKinney Garden Club awarded Mrs. Jackson second prize for "Best Large Garden" in McKinney.

Mrs. Jackson began renting her duplex apartment as soon after she moved in. Her first tenants were oil company representative Henry A. Turner and his wife Mary. The Turners moved to Abilene in 1934. Her next tenant was newly widowed Mrs. Ethel Carr, who owned and operated Carr's Ready-to-Wear on the McKinney Square.

Mary Jackson lived a quiet life on Hunt Street, most of it spent visiting out-of-town friends or her niece in Dallas. In 1946, Mary Jackson sold a southern portion of her property to Clara Gibson, widow of banker John E. Gibson. However, the tranquility that Mary enjoyed was interrupted in August of 1954 when a nearby home at the intersection of Benge and West Virginia Street caught fire. Embers created by the raging fire spread north toward her home. The flying embers fell onto the roofs of nearby houses burning homes north and south of Mary's. It took more than 75 firefighters to quell the blaze. Several homes on Benge Street were completely destroyed as was Mary's detached garage. It is likely that Mary's slate roof played a key roll in protecting her home.

Mary Jackson lived at 401 West Hunt Street until her death in 1958. Her long-time tenant Mrs. Ethel Carr purchased the home from the Jackson estate. When Mrs. Carr died in 1970, the home was purchased by math teacher Voyze G. Harris, Jr. and his wife Nancy Truett. Voyze and Nancy lived together in the house until an automobile accident took his life in 1983.

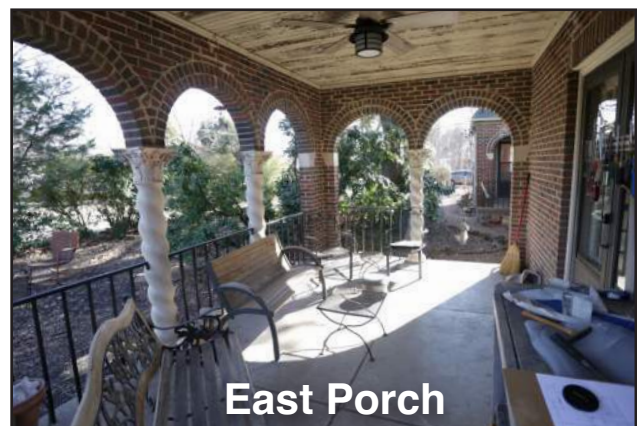
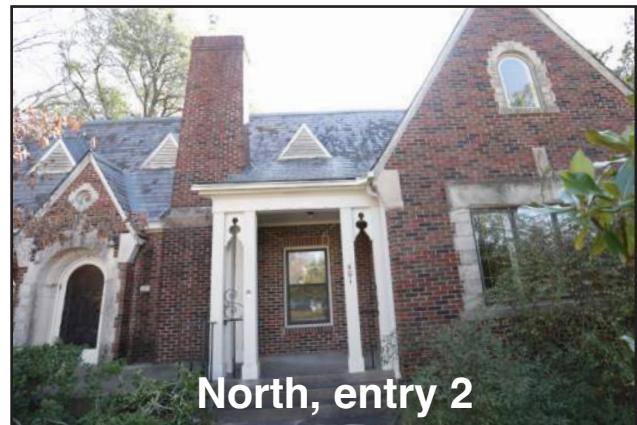
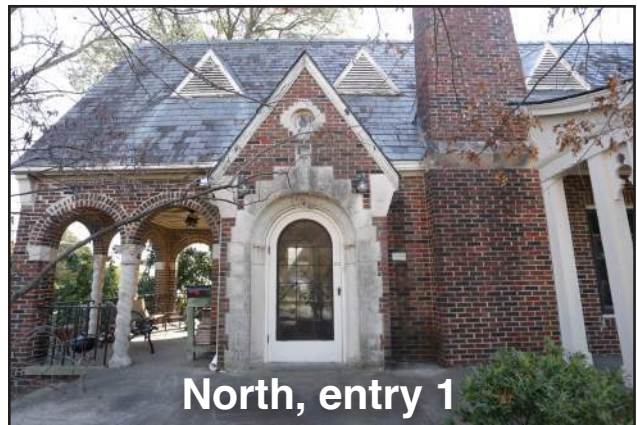
Nancy Harris Powell (nee Truett) continued to live in the house and (at this writing) has been a resident of the Mary E. Jackson House for 54 years. She has resided in the house longer than any other resident. Nancy's origins are just as historic as the house itself. Nancy is the daughter of Hilda Thomas who was informally adopted into the Heard-Craig family in 1935 by Thomas and Kathryn Craig from the Presbyterian

Orphanage in Itasca, Texas. The Craigs lived on West Hunt Street in the house that is now one of McKinney's great landmarks, the Heard-Craig Center for the Arts. The Craigs, who had no children, housed and supported Hilda as their own. Hilda graduated from Austin College in 1938, taught school one year at North Ward, and married McKinney native Luther Truett in 1939. Their union produced three children: Jerry, Katie, and Nancy, all of whom the Craigs considered as their grandchildren.

In 1990, Nancy married Steve M. Powell, a McKinney native, whose first memory as a young child was emerging from a storm shelter and witnessing the destruction wrought by the Tornado of 1948 that leveled many of the homes near the Texas Cotton Mill on Elm Street.

Nancy and Steve made the west side of the duplex available to tenants until the 1990s. That was when they opened the west unit to Nancy's aging parents Hilda and Luther Truett whose health necessitated close, continuous care. After the passing of Luther in 1999 and Hilda in 2007, the duplex began functioning as a single, unified residence for Nancy and Steve.

Current Photos (2025)





East, gable



East



South



West, gable

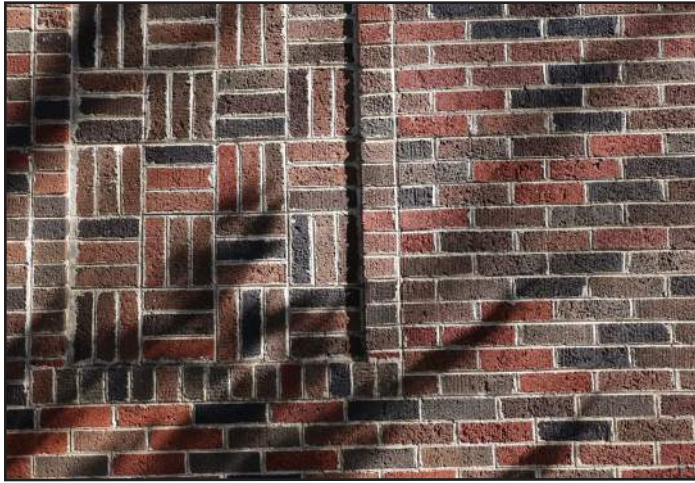


West



Northwest

Architectural Details



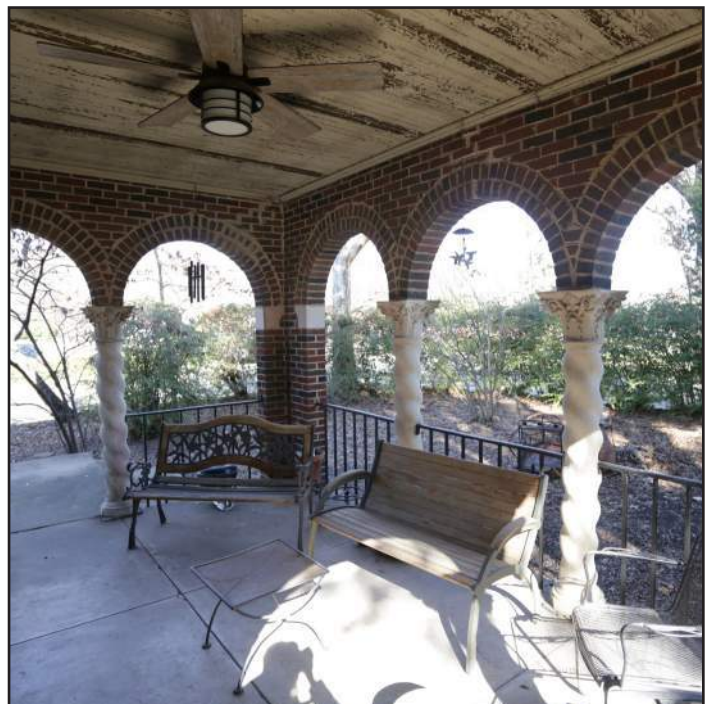
Three-brick basket weave pattern



Concrete cast capital



Cut stonework around door opening



East porch



Capital detail



photo by Ellie Austin

Brick arch over east entry



Spiral columns of east porch



Band of six-over-six windows



East side living room



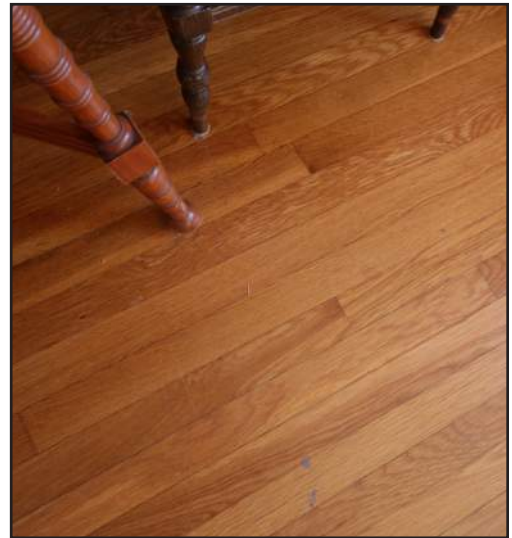
East side living room facing the doors to the east porch



West side dining room



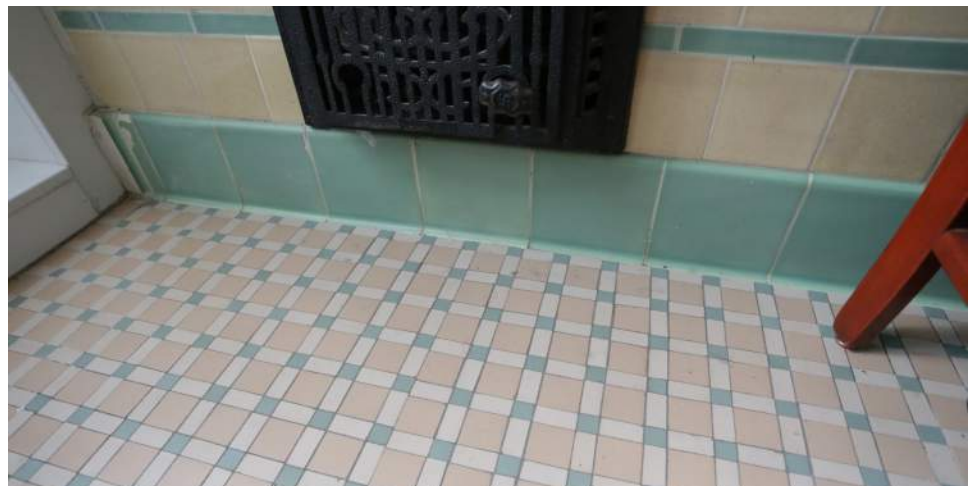
Leaded glass door to east side living room



Oak Flooring throughout the house



photo by Ellie Austin



Original tile of the east side bathroom



Six-over-six sash window



West side living room leaded window



Space heater with a "swastika" symbol. The symbol was historically a worldwide symbol of good luck before its use by Nazi Germany in the 1930s.



Elaborate phone niche in the west side hallway.



East side living room fireplace



Detail of Batchelder tile in east side living room fireplace



West side living room fireplace



Detail of Batchelder tile in west side living room fireplace

Tile Maker Earnest Batchelder

Ernest Batchelder (1875-1957) was an American designer and educator who was prominent during the Arts and Crafts Movement in the early 20th century. He is best known for his work in ceramic tile design, where he created distinctive decorative tiles that became highly sought after for their craftsmanship and artistic quality. Batchelder tiles are known for their rich colors, intricate designs inspired by nature and medieval art. His legacy includes not only his tile designs but also his influence on the American Arts and Crafts movement as a whole.



Ernest Batchelder (1875-1957)

Batchelder's favorite design themes included flowers, vines, oak trees, birds, landscapes, and geometric patterns. His tiles met with great success. His tiles appear on the walls and floors of many commercial buildings and private residences throughout the United States.

One of Batchelder's largest projects was the Hotel Hershey in Hershey, Pennsylvania, built by the famous chocolate manufacturer in 1930. Unfortunately, Batchelder's company, which had employed 150 men at its peak, was forced out of business by the Great Depression in 1932. Yet, Batchelder continued to make pottery in a small shop in Pasadena until the early 1950s. He died in Pasadena, California at the age of 82.



Batchelder tiles as used in fireplace of the west side living room of the Mary Jackson House

Neighborhood Context (2025)

401 West Hunt Street neighborhood context



View looking South on N. Bengt St.



View looking North on N. Bengt St.



View looking East on W. Hunt St.



View looking West on W. Hunt St.

Homes and buildings near 401 West Hunt Street



309 N. Bengé Street



405 W. Hunt Street



502 W. Hunt Street



503 W. Hunt Street



505 W. Hunt Street



*South facade First Methodist Church
(across from 307 W. Hunt St.)*