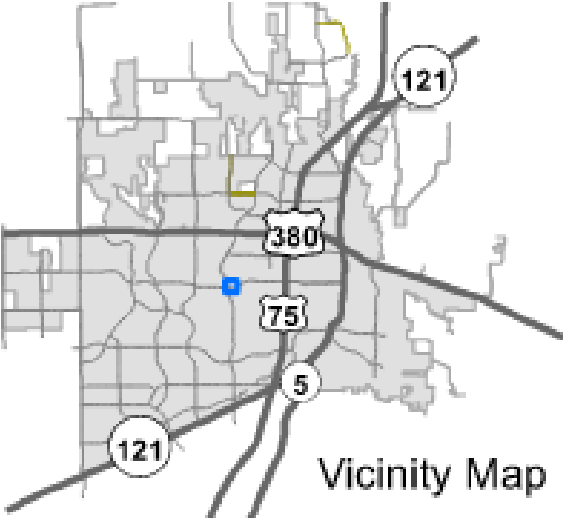
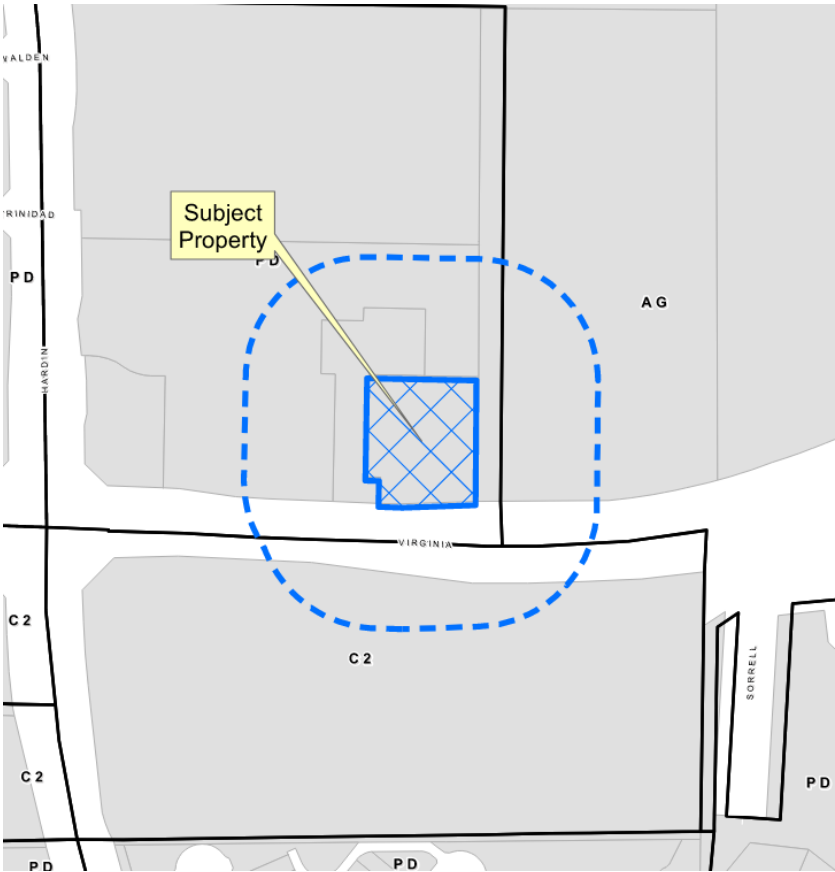


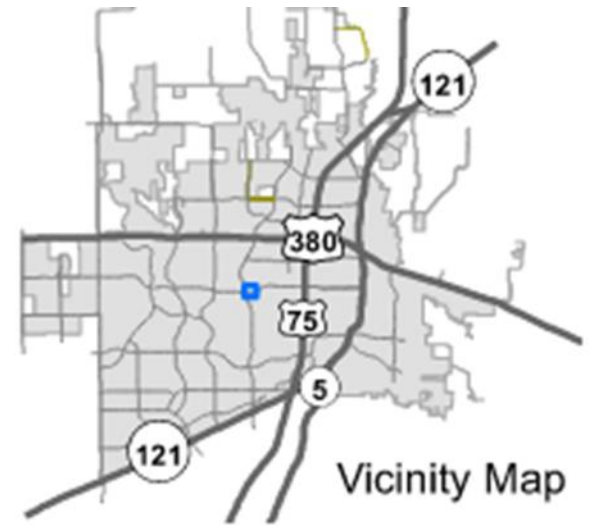
Specific Use Permit Request (McDonalds)

24-0017SUP

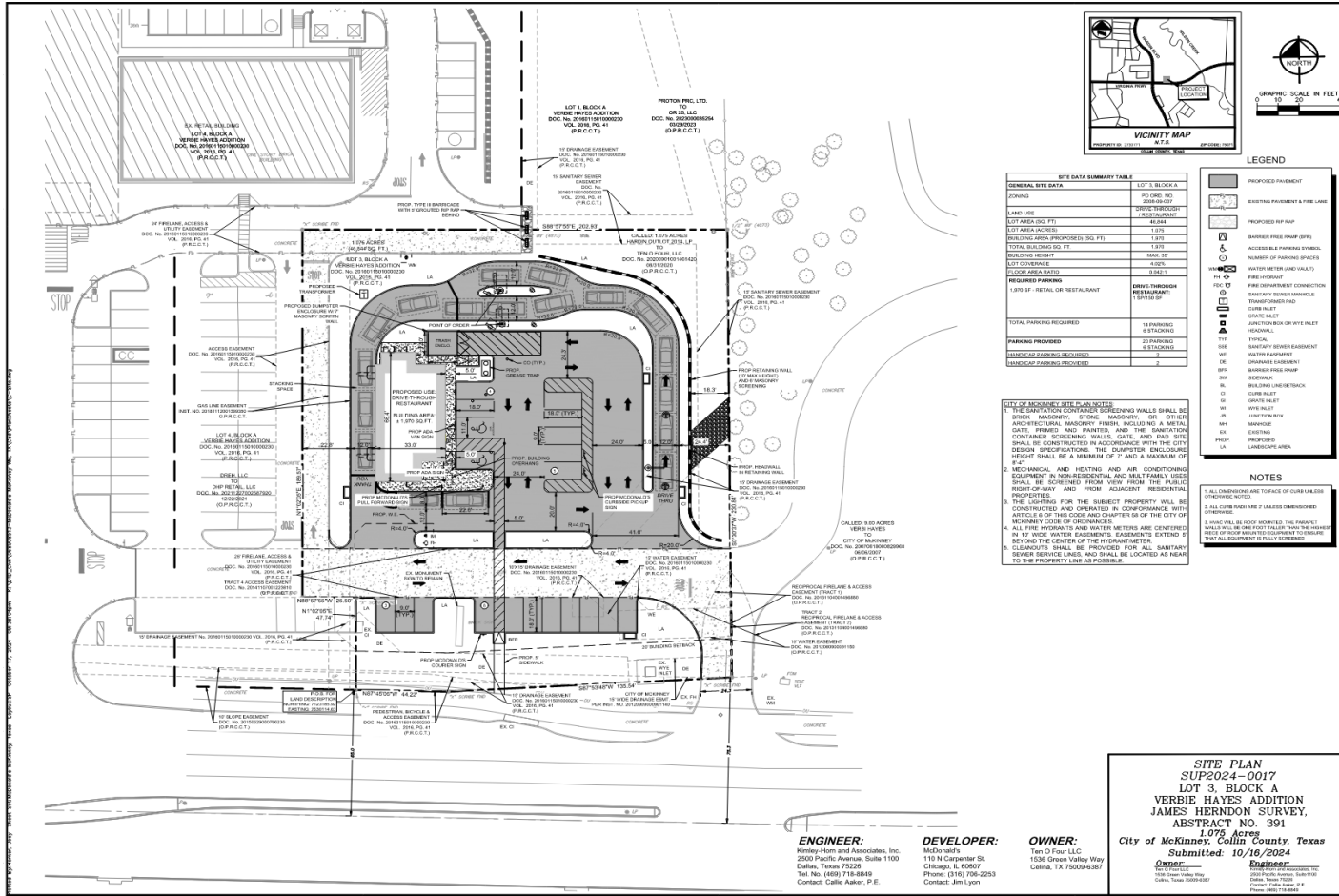
Location Map



Aerial Exhibit



Proposed SUP Exhibit



LEGEND

PROPOSED PAVEMENT
 EXISTING PAVEMENT & FIRE LANE
 PROPOSED RE-PAVE
 BARRIER FREE RAMP STRIP
 ACCESSIBLE PARKING SYMBOL
 NUMBER OF PARKING SPACES
 WATER METER AND CALL. T.
 FIRE HYDRANT
 FIRE DEPARTMENT CONNECTION
 SANITARY SEWER MANHOLE
 TRANSFORMER PAD
 CURB INLET
 JUNCTION BOX OR WIRE INLET
 HEADWALL
 TYPICAL SANITARY SEWER EASEMENT
 WATER EASEMENT
 DRAINAGE EASEMENT
 BARRIER FREE RAMP
 DRIVEWAY
 BUILDING LINE SETBACK
 CURB INLET
 GRATE INLET
 MANHOLE
 JUNCTION BOX
 MANHOLE
 EXISTING
 PROPOSED
 LANDSCAPED AREA

NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RAMP ARE 2% GRADES UNLESS OTHERWISE NOTED.
3. HAVE ALL BE DETAIL WORKED THE PRESENT SHALL BE FOR THE FOOT CANNOT BE DETAIL WORKED THAT ALL ELEVATIONS IS FULLY CORRECT.

PROPERTY INFORMATION:
 COUNTY: COLLIN
 DISTRICT: 10
 OFFICIAL: JAMES H. WELLS
 COUNTY CLERK
 DATE: 10/18/2024
 TIME: 10:00 AM
 TITLE: SPECIFIC USE PERMIT
 FILE NO.: 240000176
 PROJECT: SUP2024-0017
 SUBJECT: LOT 3, BLOCK A, VERBIE HAYES ADDITION, JAMES HERNDON SURVEY, ABSTRACT NO. 391
 1 OF 4

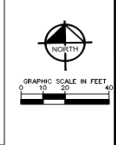
Kimley-Horn
 Kimley-Horn and Associates, Inc.
 4000 Westpark Drive, Suite 100
 Dallas, Texas 75241
 Phone: 972.761.4100 Fax: 972.761.4200
 www.kimley-horn.com

PRELIMINARY

McKinney
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MCKINNEY MCDONALD'S

McKinney TEXAS
 Unique by nature.



SITE DATA SUMMARY TABLE

GENERAL SITE DATA	LOT 3, BLOCK A
OWNER	LOT 3, BLOCK A
PLANNING	2008-04-07
LAND USE	2008-04-07
LOT AREA (SQ. FT.)	16,834
LOT AREA (ACRES)	0.383
BUILDING AREA (PROPOSED) (SQ. FT.)	1,830
TOTAL BUILDING SQ. FT.	1,830
BUILDING HEIGHT	MAX. 10'
LOT COVERAGE	MIN. 10%
FLOOR AREA RATIO	10.87%
REQUIRED PARKING	
1.0% OFF-RETAIL OR RESTAURANT	DRIVE THROUGH RESTAURANT
TOTAL PARKING REQUIRED	18 PARKING STALLS
PARKING PROVIDED	20 PARKING STALLS
LANDSCAP PARKING REQUIRED	2
LANDSCAP PARKING PROVIDED	2

- CITY OF MCKINNEY SITE PLAN NOTES**
1. THE SANITARY SEWER CONNECTION WALLS SHALL BE BRICK MASONRY, STONE MASONRY OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATES AND RAIL SIDES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY BEFORE SPECIFICATIONS. THE DUMPSTER ENCLOSURE HEIGHT SHALL BE A MINIMUM OF "TWO" A MAXIMUM OF "EIGHT" FEET.
 2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL AND MULTIFAMILY USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC POINT OF VIEW AND FROM ADJACENT RESIDENTIAL PROPERTIES.
 3. THE CENTER FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH ARTICLES OF THIS CODE AND CHARTER OF THE CITY OF MCKINNEY CODE OF ORDINANCES.
 4. ALL FIRE HYDRANTS AND WATER METERS ARE CENTERED IN THE WATER EASEMENT'S EASEMENT EXTEND 5' BEYOND THE CENTER OF THE HYDRANT/METER.
 5. WATER METERS SHALL BE PROVIDED FOR ALL SANITARY SEWER SERVICE LINES, AND SHALL BE LOCATED AS NEAR TO THE PROPERTY LINE AS POSSIBLE.