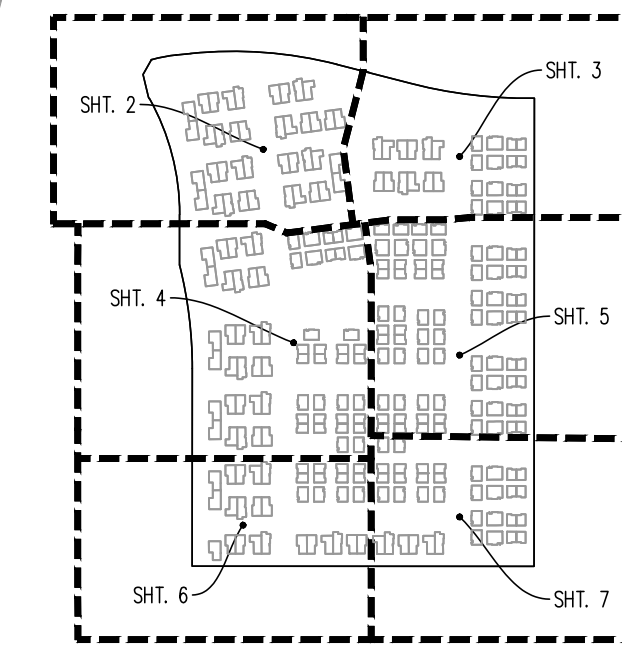
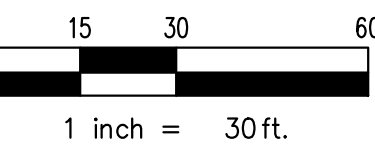
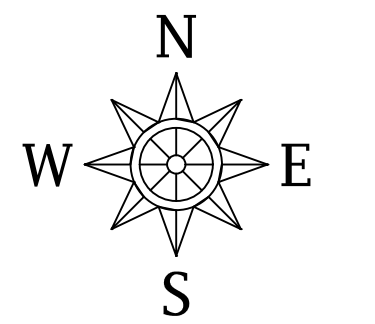
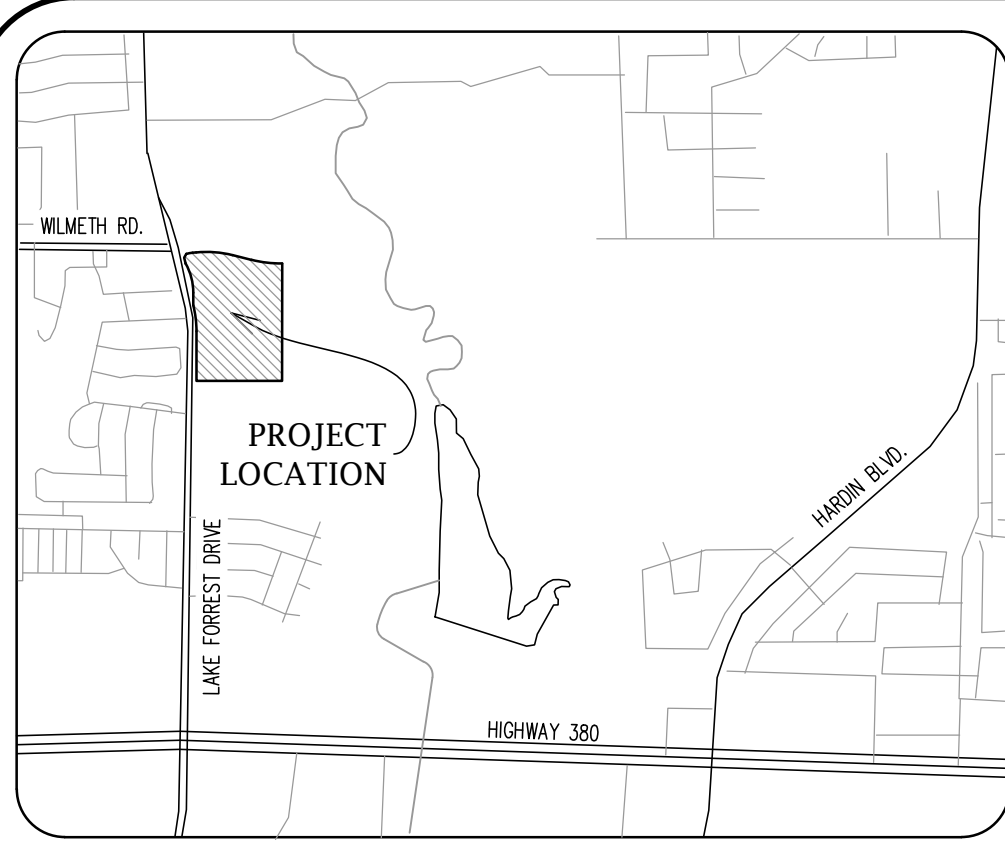


SITE PLAN
AVANTA PAINTED TREE
 IN THE CITY OF MCKINNEY, COLLIN COUNTY, TEXAS
 J. MCGARRAH SURVEY ABSTRACT NO. 572
 1,187,161 Sq. Ft./27.253 Acres (Gross)
 1,181,939 Sq. Ft./27.134 Acres (Net)

ENGINEER / SURVEYOR / APPLICANT
 Spiars Engineering, Inc.
 765 Custer Road, Suite 100
 Plano, TX 75075
 Telephone: (972) 422-0077
 TBPE No. F-2121
 Contact: Kevin Wier

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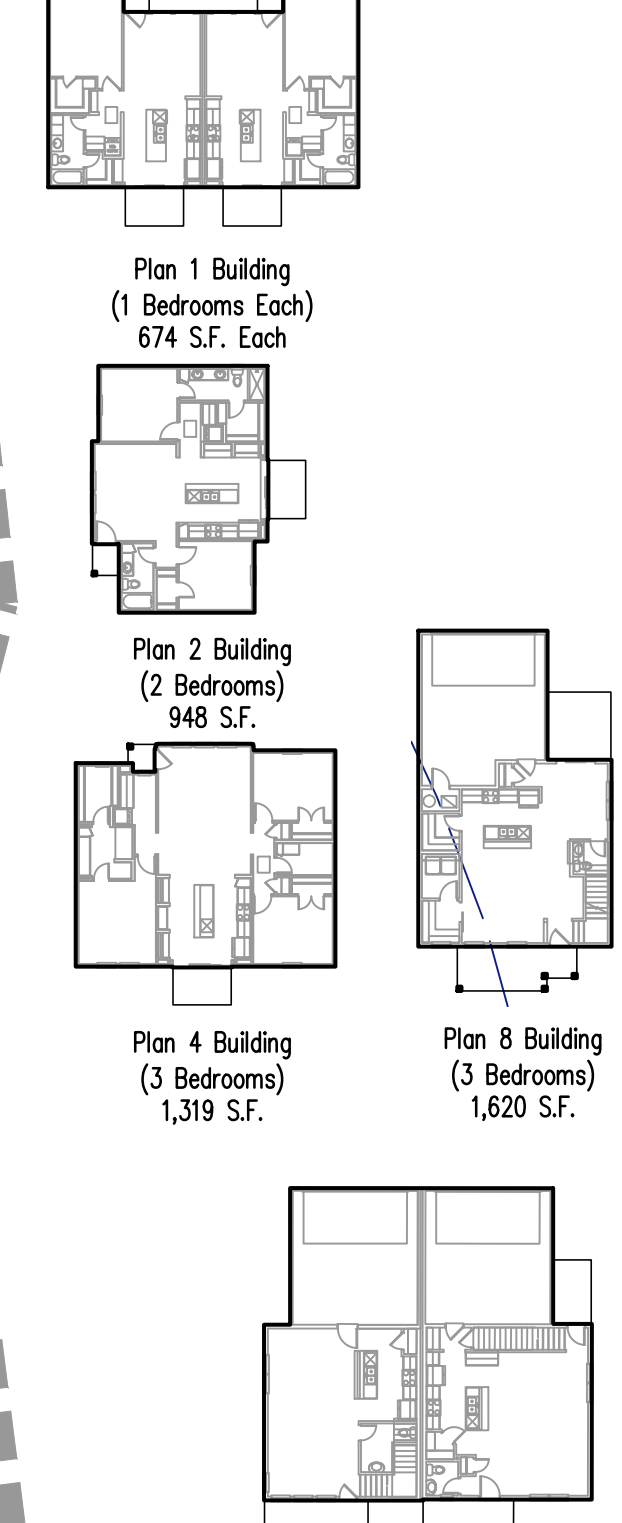
KEY MAP
NTS



MATCHLINE SHT. 3

MATCHLINE SHT. 4

SYNOPSIS	
Zoning	PD 2021-01-006
Use	Multifamily
Lot Area	27.134 Ac. (1,181,939 S.F.) Net 27.253 Ac. (1,187,141 S.F.) Gross
Plan 1	80 Units (1 Bedroom)
Plan 2	65 Units (2 Bedroom)
Plan 4	22 Units (3 Bedroom)
Plan 8	15 Units (3 Bedroom)
Plan 13	24 Units (3 Bedroom)
Plan 14	24 Units (3 Bedroom)
Plan 9	23 Units (3 Bedroom)
Plan 16	23 Units (4 Bedroom)
Total Units	276 Units
Density	10.17 Units/Ac.
Amenities Provided	
Building Height	Plan 1 = 35'-0" Max. (1 Story) Plan 2 = 35'-0" Max. (1 Story) Plan 4 = 35'-0" Max. (1 Story) Plan 8 = 35'-0" Max. (2 Story) Plan 13 = 35'-0" Max. (2 Story) Plan 14 = 35'-0" Max. (2 Story) Plan 9 = 35'-0" Max. (2 Story) Plan 16 = 35'-0" Max. (2 Story)
Lot Coverage	26%
Parking Required	1 Bedroom = 1 Sp./Unit 2 Bedroom = 2 Sp./Unit 3 Bedroom = 2 Sp./Unit 4 Bedroom = 2 Sp./Unit 472 Spaces
Subtotal	70.5 Spaces
Townhomes W/out Tandem Required (0.5 Sp./Unit)	472 Spaces
Total Spaces Required	543 Spaces
Parking Provided	
Townhomes Tandem Spaces	24 Spaces
Garage Parking	34 Spaces
Direct Access Garage Spaces	220 Spaces
Surface Parking (excl. HC)	283 Spaces
Handicap Parking Provided	13 Spaces
Total Parking Provided	574 Spaces
Total Bldg. Sp. Ft.	305,070 S.F.
Impervious Area Provide	498,018 S.F.
Amenities Required	4 Swimming Pool (1,705F w/ 10' Cooling Deck) 1 Dog Park (11,500 SF + 5 Waste Station and 255F wash bay) 1 BBQ Grills (4 ea) w shaded seating for 16 1 Fitness Center (min 575 SF)



LEGEND	
	Proposed Fire Lane, Access, Drainage & Water Esmt.
	All Fire Lanes Shall Conform to City Detail 2510M Fire Lane Pavement unless noted as Grassy/Concrete.
	All Parking Bays Shall Be 5" 3000 psi Reinforced Concrete Pavement.
	All Sidewalks within Right-of-Way Shall Conform to City Detail 2170M. All private Sidewalks Shall Be 4" 3000 psi Reinforced Concrete Pavement.
	Existing Fire Hydrant
	Proposed Fire Hydrant
	Existing Water Meters
	Existing Fence
	Proposed Wood Fence -6' Tall
	Proposed Ornamental Iron -6' Tall
	Proposed Fenceloc Fence -6' Tall
	Proposed Stone Wall -6' Tall
	Proposed Masonry Fence -6' Tall

SITE PLAN

AVANTA PAINTED TREE
IN THE CITY OF MCKINNEY, COLLIN COUNTY, TEXAS
J. MCGARRAH SURVEY ABSTRACT NO. 572
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- CITY OF MCKINNEY SITE PLAN NOTES:**
- Sanitation container screening walls will be brick masonry, stone, masonry, or other architectural masonry finish, including a metal gate, primed and painted, and the sanitation container screening walls, gate, and pad site will be constructed in accordance with the city's design specifications.
 - Mechanical and heating and air conditioning equipment in non-residential uses shall be screened from view from the public right-of-way and from adjacent residential properties.
 - Lighting for the subject property will be constructed in conformance with Chapter 58 of the City of McKinney Code of Ordinances.
 - All homes will be protected with NFPA 13D fire sprinkler systems.

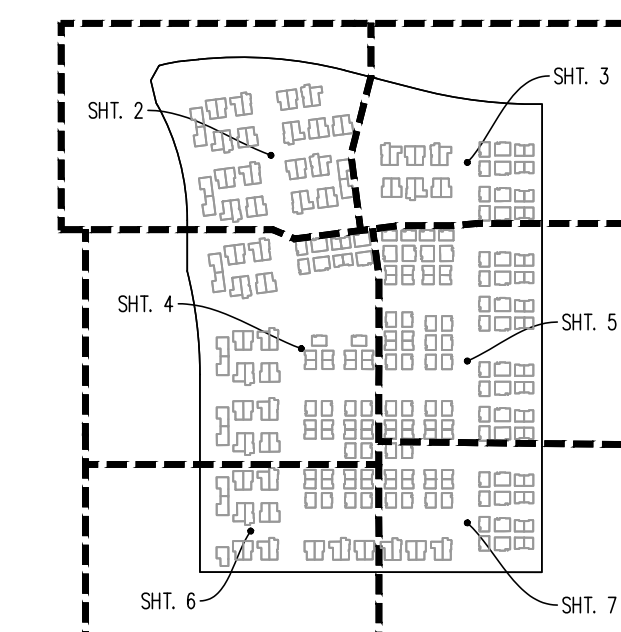
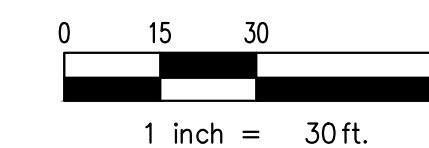
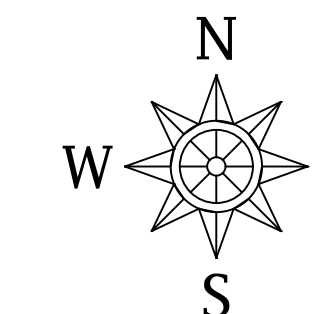
ADDRESSING LEGEND	
	Address On-Unit
	Address Block
	Address Block Boundary

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KEY MAP
NTS

Jen Texas 22 LLC
Doc. No. 20200904001497270 DRCCCT

R=1210.00'
D=15°10'20"
L=323.27'
CB=6 03°13'49" E
CD=322.30'

WILMETH ROAD
(proposed 120' ROW)

Proposed 12' R.O.W. Dedication

6.75°34'37" E = 204.66'

15' Water Esmt.

24' Landscape Buffer

4' Sidewalk (Typ.)

10' Sidewalk (Typ.)

24' Firelane, Access, & Water Esmt.

4' Sidewalk (Typ.)

15' Water Esmt.

24' Firelane, Access, & Water Esmt.

4' Sidewalk (Typ.)

15' Water Esmt.

24' Firelane, Access, & Water Esmt.

4' Sidewalk (Typ.)

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24' Firelane, Access, & Water Esmt.

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15' Water Esmt.

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4' Sidewalk (Typ.)

15' Water Esmt.

24' Firelane, Access, & Water Esmt.

4' Sidewalk (Typ.)

15' Water Esmt.

24' Firelane, Access, & Water Esmt.

4' Sidewalk (Typ.)

15' Water Esmt.

Proposed 15' Sewer Easement (By Others)

GrpX Edgewood LLC
Doc. No. 20200904001497940 DRCCCT

MATCHLINE SHT. 5

MATCHLINE SHT. 2

LEGEND

- Proposed Fire Lane, Access, Drainage & Water Esmt.
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- Existing Fire Hydrant
- Proposed Fire Hydrant
- Proposed Water Meters
- Existing Fence
- Proposed Wood Fence -6' Tall
- Proposed Ornamental Iron -6' Tall
- Proposed Fencecrete Fence -6' Tall
- Proposed Stone Wall -6' Tall
- Proposed Masonry Fence -6' Tall

ADDRESSING LEGEND

	Address On-Unit
	Address Block
	Address Block Boundary

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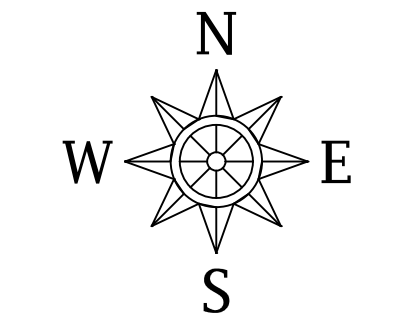
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J. MCGARRAH SURVEY ABSTRACT NO. 572
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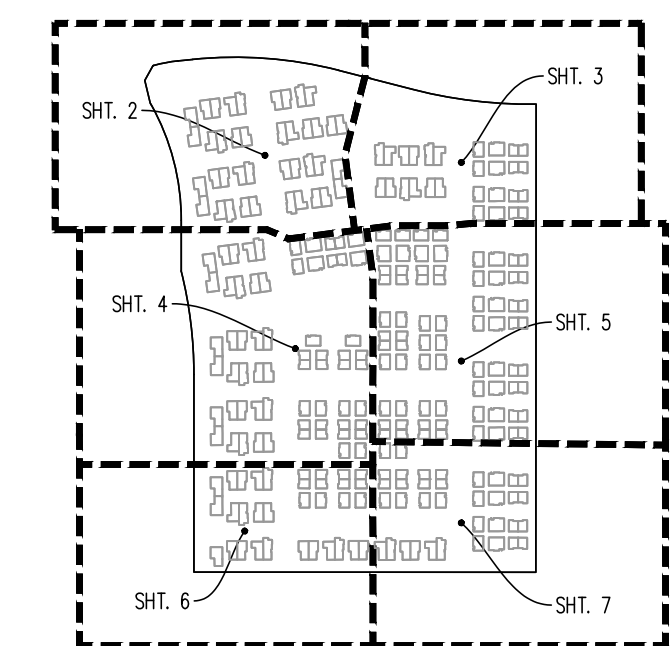
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Contact: Terence Johnson

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MATCHLINE SHT. 2



0 15 30 60
1 inch = 30 ft.



KEY MAP
NTS



MATCHLINE SHT. 5

SUMMIT VIEW LAKE
PHASE THREE
Cab. 2009, Pg. 156 PRCCT

$R=110.00'$
 $D=14^{\circ}05'03''$
 $L=272.86'$
 $CB=N 07^{\circ}00'54'' W$
 $CD=272.17'$
Drainage easement created by
Judgment in Absence of Objection
to the City of McKinney
Doc. No. 20100427000412530 DRCCT

LAKE FOREST DRIVE
(F.M. 1461) - var. width public ROW

Drainage easement created by
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Doc. No. 20100427000412530 DRCCT

Unit Plan Names Updated.

- LEGEND**
- Proposed Fire Lane, Access, Drainage & Water Esmt.
 - All Fire Lanes Shall Conform to City Detail 2510M
Fire Lane Pavement unless noted at Grasscrete.
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Reinforced Concrete Pavement.
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Conform to City Detail 2170M. All
private Sidewalks Shall Be 4" 3000 psi
Reinforced Concrete Pavement.
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Proposed Water Meters
 - Existing Fence
 - Proposed Wood Fence -6' Tall
 - Proposed Ornamental Iron -6' Tall
 - Proposed Fencecrete Fence -6' Tall
 - Proposed Stone Wall -6' Tall
 - Proposed Masonry Fence -6' Tall

- ADDRESSING LEGEND**
- Address On-Unit
 - Address Block
 - Address Block Boundary

SITE PLAN
AVANTA PAINTED TREE
 IN THE CITY OF MCKINNEY, COLLIN COUNTY, TEXAS
 J. MCGARRAH SURVEY ABSTRACT NO. 572
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MATCHLINE SHT. 6

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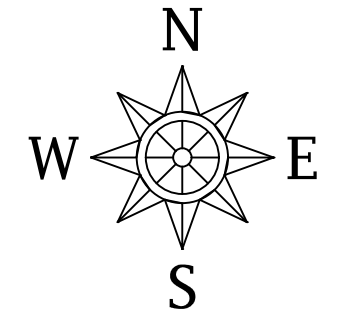
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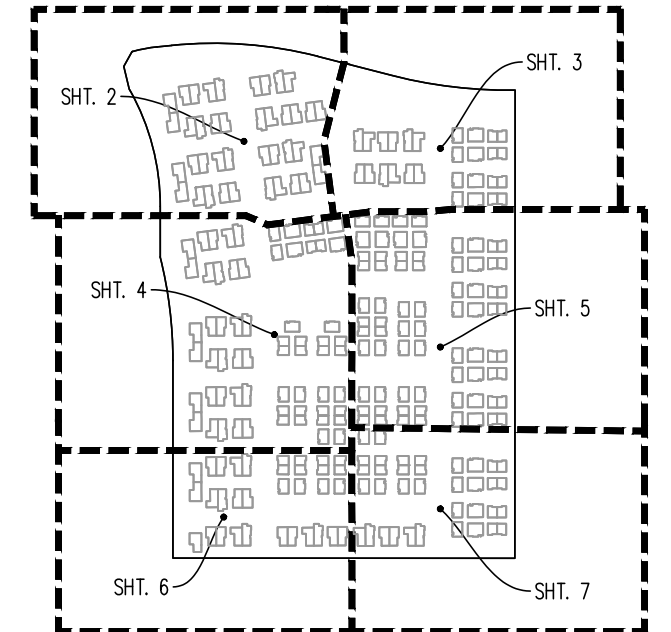
MATCHLINE SHT. 3

MATCHLINE SHT. 4

MATCHLINE SHT. 7



0 15 30 60
1 inch = 30 ft.



KEY MAP
NTS



Grbk Edgewood LLC

Doc. No. 20220904001497940 DRCCCT

LEGEND

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- Proposed Fire Hydrant
- Proposed Water Meters
- Existing Fence
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- Proposed Fencecrete Fence -6' Tall
- Proposed Stone Wall -6' Tall
- Proposed Masonry Fence -6' Tall

ADDRESSING LEGEND

- Address On-Unit
- Address Block
- Address Block Boundary

SITE PLAN
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 IN THE CITY OF MCKINNEY, COLLIN COUNTY, TEXAS
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ENGINEER / SURVEYOR / APPLICANT

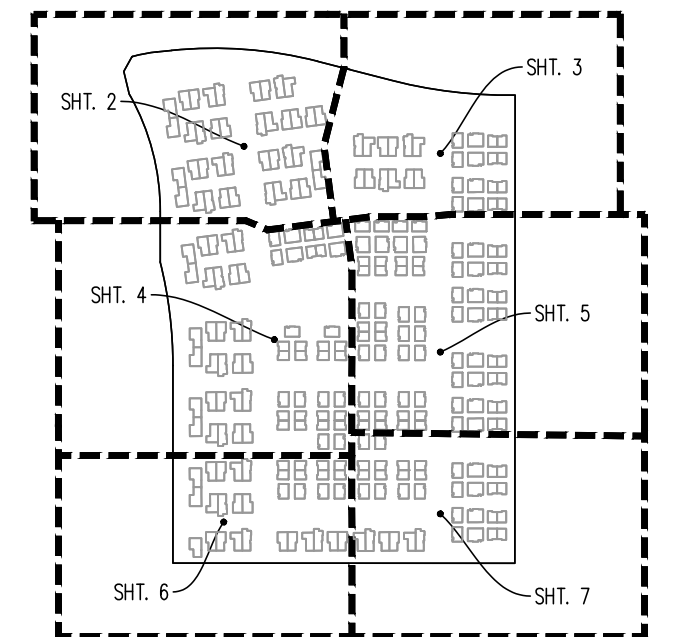
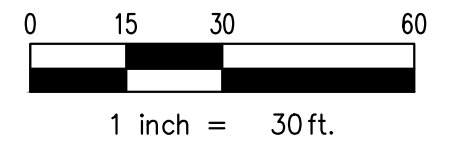
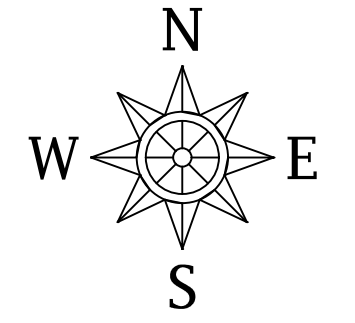
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MATCHLINE SHT. 4



KEY MAP
NTS

SUMMIT VIEW LAKE
PHASE THREE
Cab. 2009, Pg. 156 PRCT

LAKE FOREST DRIVE
(F.M. 1461) - var. width public ROW

Drainage easement created by
Judgment in Absence of Objection
to the City of McKinney
Doc. No. 20100427000412530 DRCT

Lot 1, Blk A
MCKINNEY FIRE STATION
NUMBER 9 ADDITION
Cab. 2018, Pg. 432 PRCT

MATCHLINE SHT. 7

LEGEND

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- All Fire Lanes Shall Conform to City Detail 2510M
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- Proposed Stone Wall -6' Tall
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ADDRESSING LEGEND

- Address On-Unit
- Address Block
- Address Block Boundary

SITE PLAN

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IN THE CITY OF MCKINNEY, COLLIN COUNTY, TEXAS
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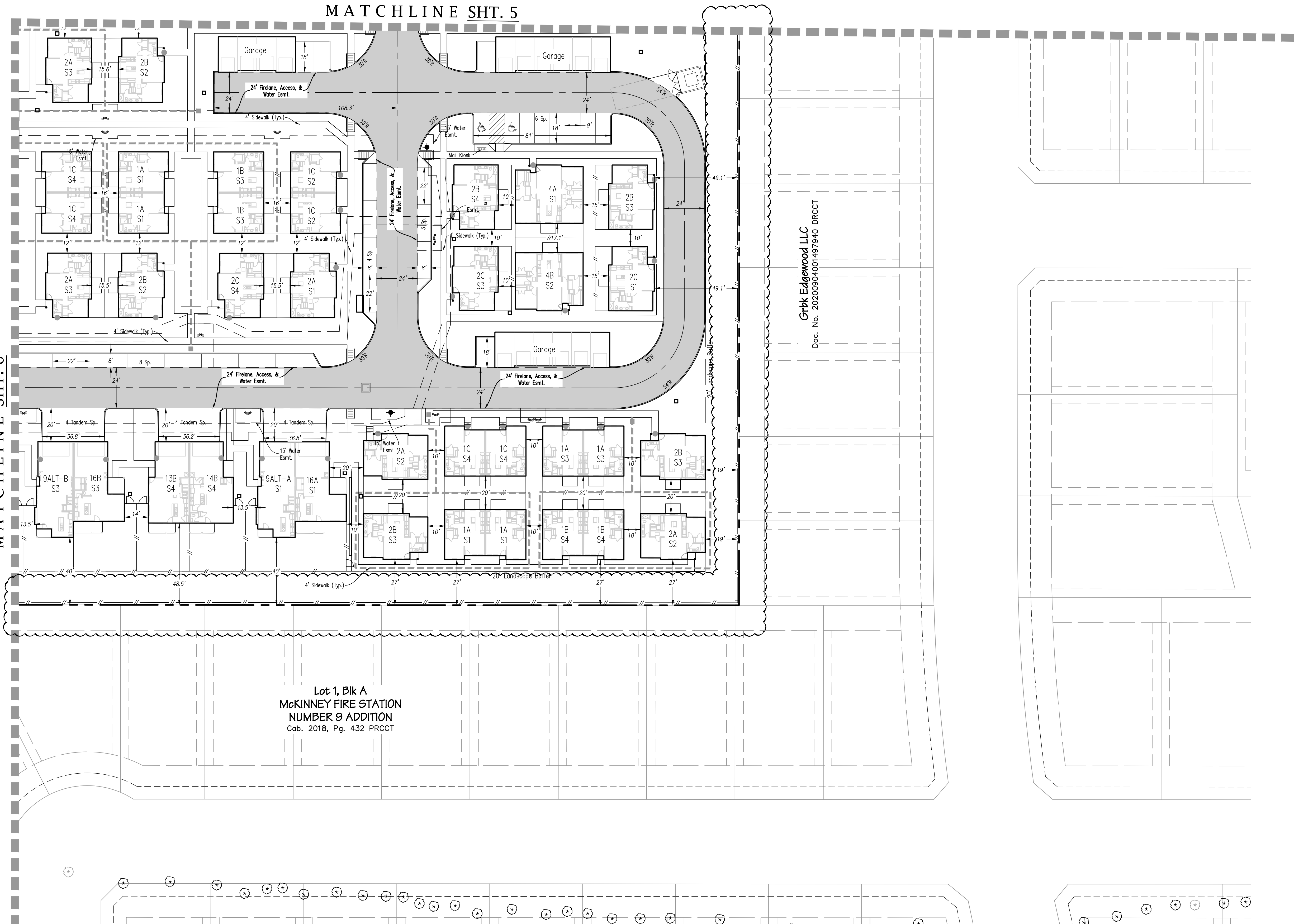
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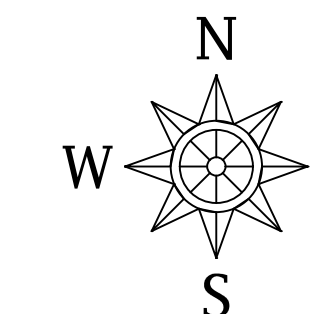
MATCHLINE SHT. 5

MATCHLINE SHT. 6

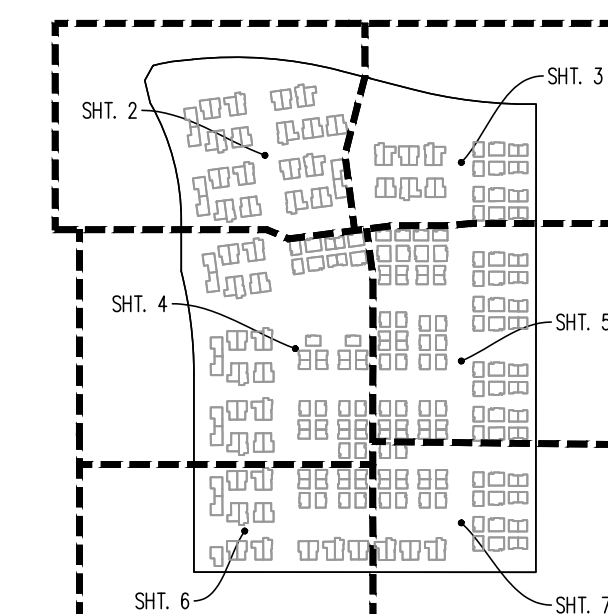


Lot 1, Blk A
 MCKINNEY FIRE STATION
 NUMBER 9 ADDITION
 Cab. 2018, Pg. 432 PRCT

Grbk Edgewood LLC
 Dec. No. 20200304001497940 DRCCT



0 15 30 60
 1 inch = 30 ft.



KEY MAP
 NTS

LEGEND

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ADDRESSING LEGEND

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- Address Block
- Address Block Boundary

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COLLIN COUNTY

CITY OF MCKINNEY

$R=26.00'$
 $D=347.39'$
 $L=4.72'$
 $CB=N 72^{\circ}13'56" E$
 $CD=1.72'$

$R=381.00'$
 $D=8944.46'$
 $L=4.81'$
 $CB=N 79^{\circ}17'48" E$
 $CD=64.847071" E$
 $CD=38.27'$

$R=1090.00'$
 $D=20711.07'$
 $L=3.9471'$
 $CB=S 85^{\circ}44'16" E$
 $CD=382.02'$

$R=120.00'$
 $D=1519.28'$
 $L=3.2327'$
 $CB=S 89^{\circ}10'48" E$
 $CD=322.30'$

WILMETH ROAD
 Proposed 12' R.O.W. Dedication
 (proposed 120' ROW)

N 291°44' W 4.16'

SHEET 2

SHEET 3

LAKE FOREST DRIVE
 (C.M. 14.63) - view with public ROW

$R=110.00'$
 $D=1419.28'$
 $L=3.2728'$
 $CB=N 07^{\circ}05'54" W$
 $CD=272.17'$

SHEET 4

SHEET 5

Drainage easement created by
 Judgment in Absence of Opposition
 to the City of McKinney
 Doc. No. 2010042700412530 DRCE1

Drainage easement created by
 Judgment in Absence of Opposition
 to the City of McKinney
 Doc. No. 2010042700412530 DRCE1

SHEET 6

SHEET 7

Drainage easement created by
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 to the City of McKinney
 Doc. No. 2010042700412530 DRCE1

N 80°50'05" W - 892.30'

