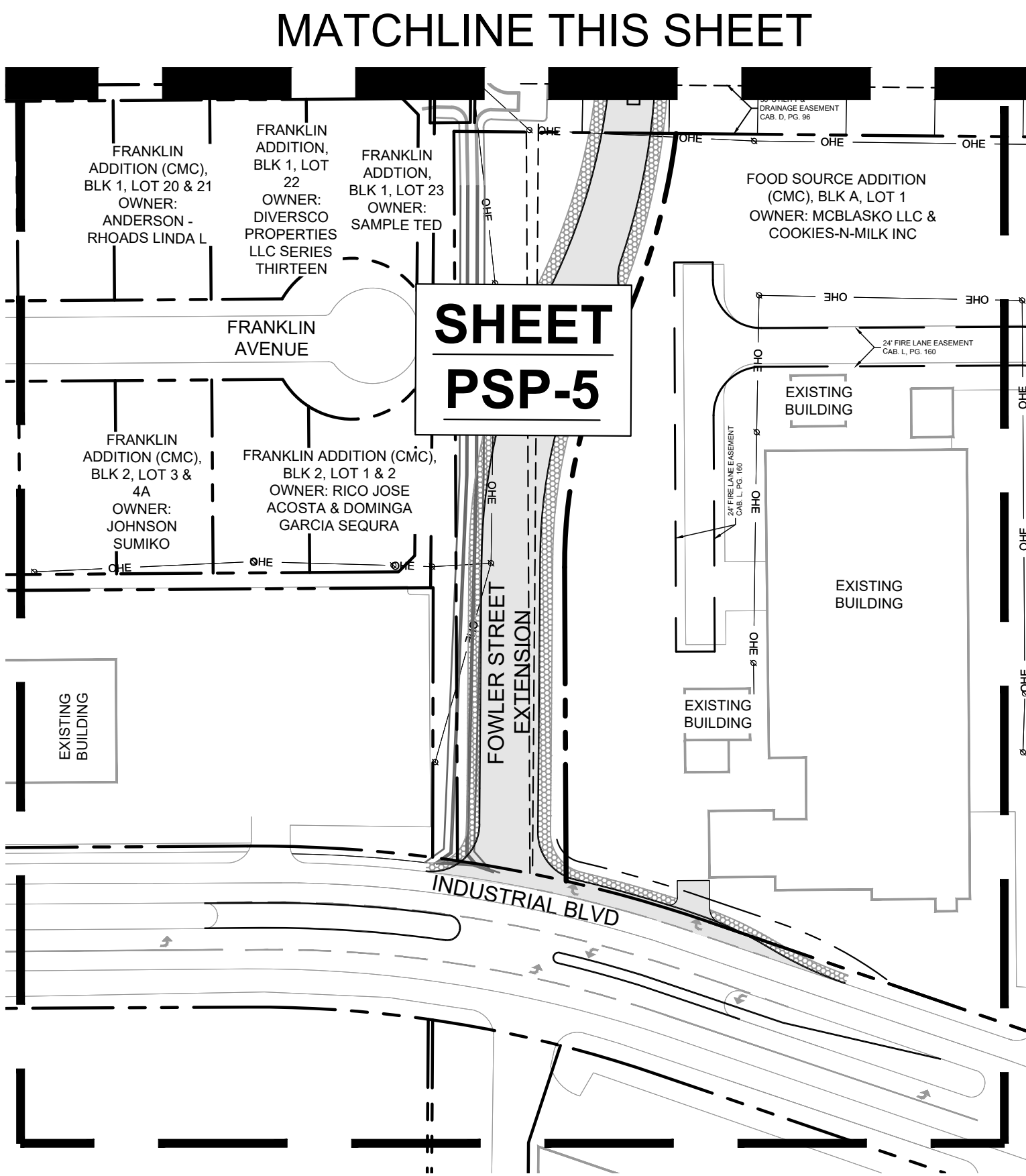
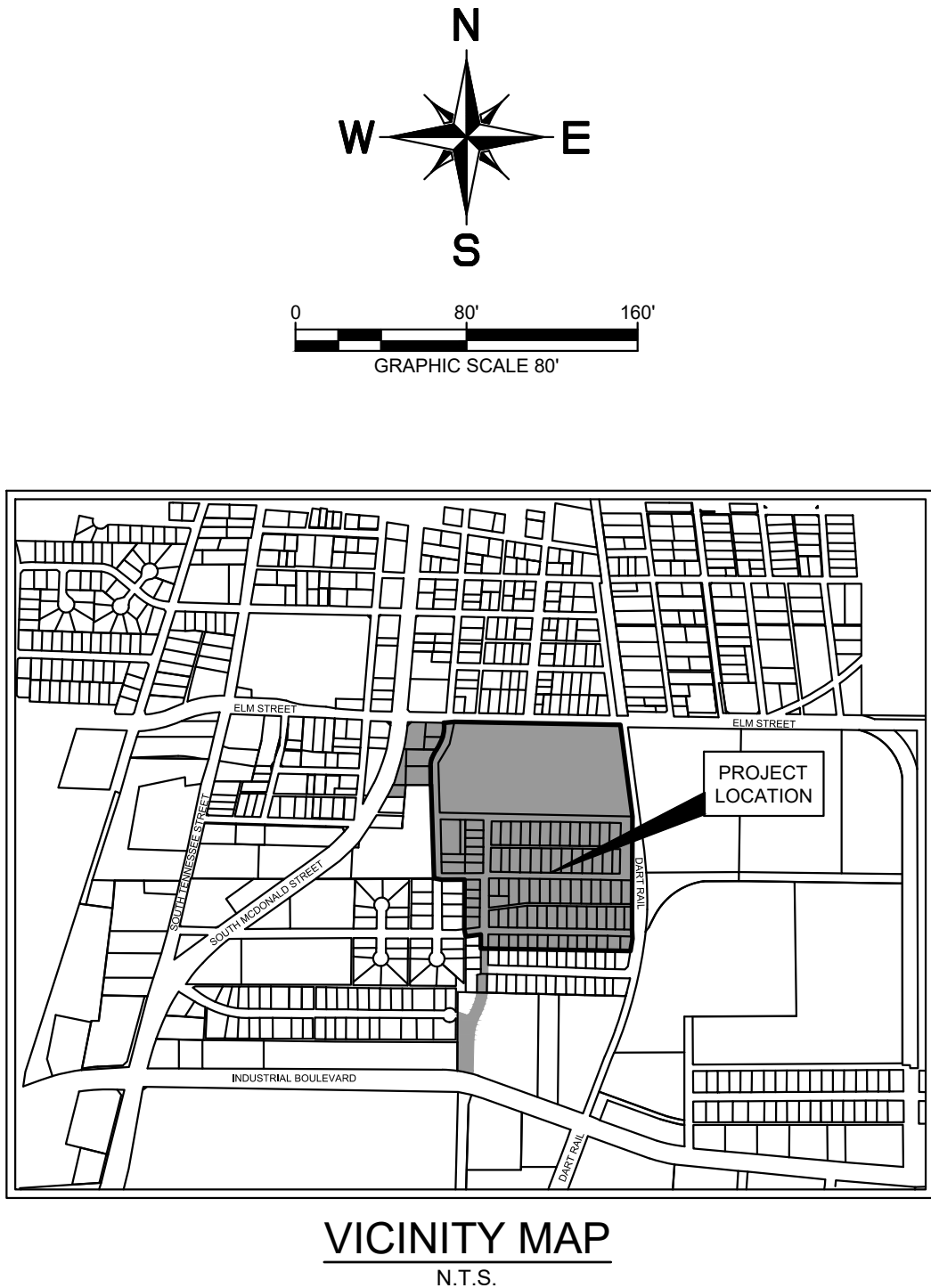
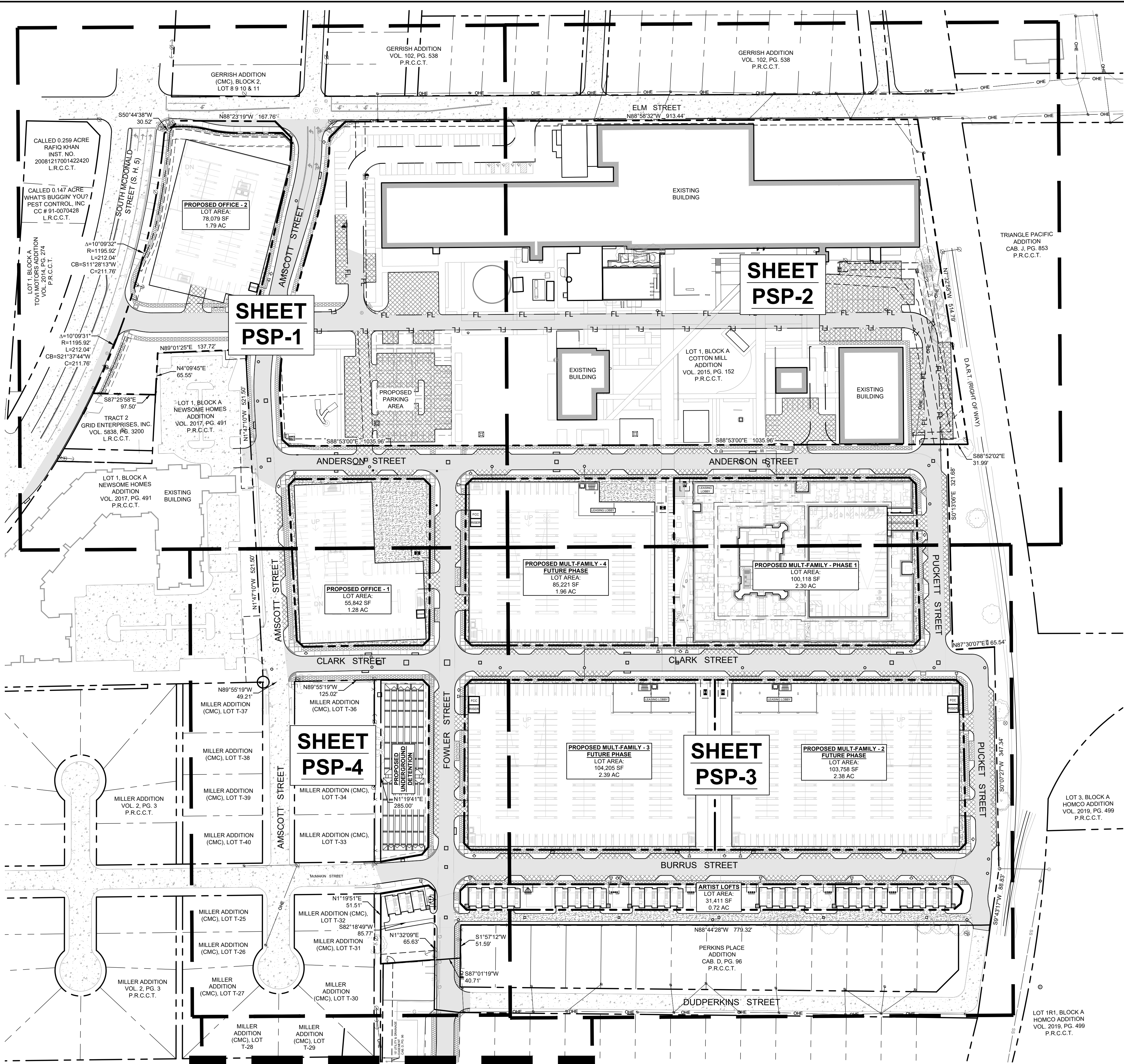


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- SITE PLAN NOTE:
1. FOWLER STREET EXTENSION IS NOT REQUIRED UNTIL DEVELOPMENT OF AN OFFICE OR RESIDENTIAL MULTI-FAMILY BUILDING BEYOND THE MULTI-FAMILY BUILDING IDENTIFIED AS PHASE 1 IN THIS SITE PLAN.

Kimley»Horn		No.		REVISIONS		DATE		BY	
2600 N. CENTRAL EXPRESSWAY, SUITE 400 RICHARDSON, TX 75080 PHONE: 972-770-1300 WWW.KIMLEY-HORN.COM © 2024 KIMLEY-HORN AND ASSOCIATES, INC. TPE Firm No. 628									
KHA PROJECT 06928111		DATE 04/14/2025		SCALE: AS SHOWN		DESIGNED BY: RPS		DRAWN BY: RPS	
COTTON MILL ELM STREET, MCKINNEY, COLLIN COUNTY, TEXAS									
OVERALL SITE PLAN									
SHEET NUMBER PSP-0									



CITY OF MCKINNEY SITE PLAN NOTES:

1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS SHALL BE PRIME AND PAINTED. THE SANITATION CONTAINER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND ADJACENT PROPERTIES.
3. THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF KIMCKINNEY CODE OF ORDINANCES.
4. ALL CURB, GUTTERS AND WATER METERS ARE CENTERED IN 15' WIDE WATER EASEMENTS. EASEMENTS EXTEND 5' BEYOND THE CENTER OF THE HYDRANT/METER.
5. CLEANSOUTS SHALL BE PROVIDED FOR ALL SANITARY SEWER SERVICE LINES, AND SHALL BE LOCATED AS NEAR TO THE PROPERTY LINE AS POSSIBLE.
6. REMOTE FDC'S SHALL BE PROTECTED BY BOLLARDS. CIVIL ENGINEERING PLAN SHALL PROVIDE DETAILS.
7. REMOTE FDC SIGNS SHALL BE PROVIDED AS REQUIRED BY IFC SECTION 511. WAYFINDING SIGNS IN ACCORDANCE WITH IFC SECTION 506.3, AS AMENDED, WILL BE REQUIRED.



LEGEND

- | | |
|-------|-------------------------------|
| | PROPOSED FIRE LANE |
| | EXISTING PAVEMENT |
| | PROPOSED SIDEWALK |
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED PARKING |
| | PROPOSED BUILDING |
| | EXISTING CONTOUR LINE - MAJOR |
| | EXISTING CONTOUR LINE - MINOR |
| | BARRIER FREE RAMP (BFR) |
| | ACCESSIBLE PARKING SYMBOL |
| | NUMBER OF PARKING SPACES |
| WM | WATER METER (AND VAULT) |
| FH | FIRE HYDRANT |
| FDC | FIRE DEPARTMENT CONNECTION |
| | SANITARY SEWER MANHOLE |
| | TRANSFORMER PAD |
| | CURB INLET |
| | GRATE INLET |
| | JUNCTION BOX OR WYE INLET |
| | HEADWALL |
| TYP | TYPICAL |
| SSE | SANITARY SEWER EASEMENT |
| WE | WATER EASEMENT |
| DE | DRAINAGE EASEMENT |
| BFR | BARRIER FREE RAMP |
| SW | SIDEWALK |
| BL | BUILDING LINE/SETBACK |
| CI | CURB INLET |
| GI | GRATE INLET |
| WI | WYE INLET |
| JB | JUNCTION BOX |
| MH | MANHOLE |
| EX | EXISTING |
| PROP. | PROPOSED |

<u>Owner/Developer:</u>	<u>Architect:</u>	<u>Engineer:</u>
Presidium Cotton Mill LLC, 3100 McKinnon, Suite 250 Dallas, TX, 75201 Contact: Josh Eames Phone: (609) 602-8106	O'Brien Architects 5310 Harvest Hill Rd., Ste 136 Dallas, TX 75230 Contact: Mick Granlund Phone: (214) 215-3477	Kimley-Horn and Associates, Inc. 2600 N Central Expwy, Suite 400 Richardson, Texas 75080 Contact: Jonathan Kerby, P.E. Phone: (972) 770-1370

SITE PLAN

COTTON MILL
ELM STREET,
MCKINNEY, COLLIN COUNTY, TEXAS

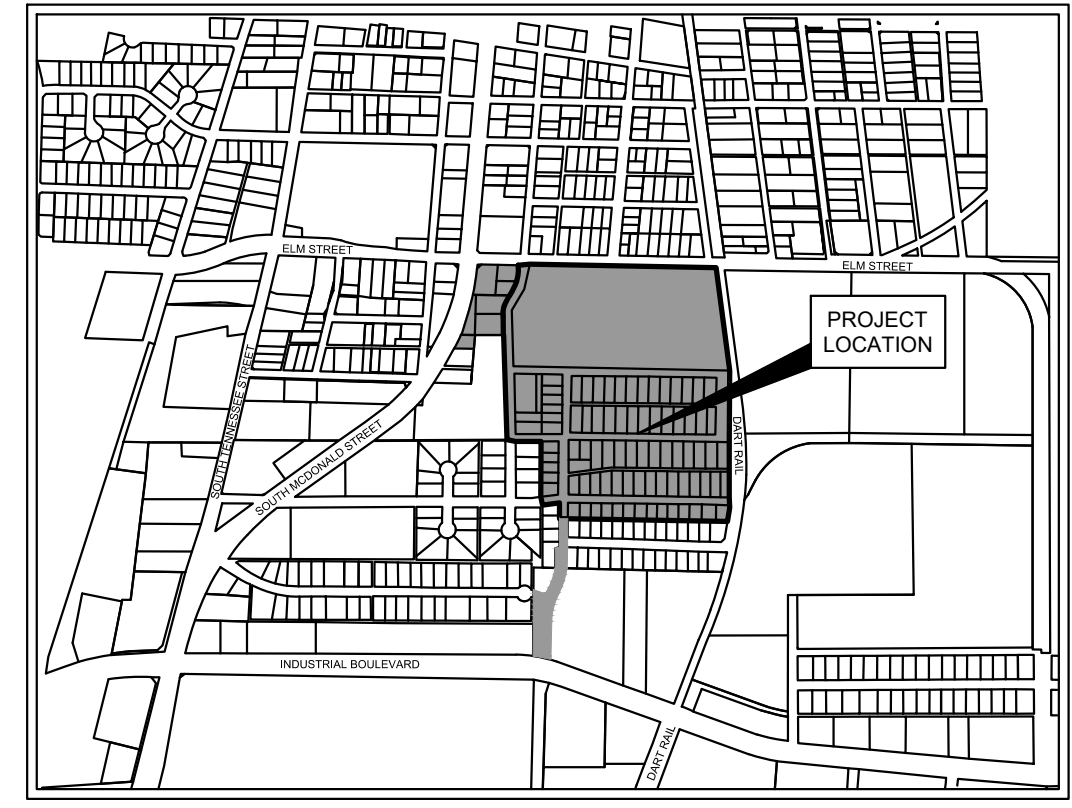
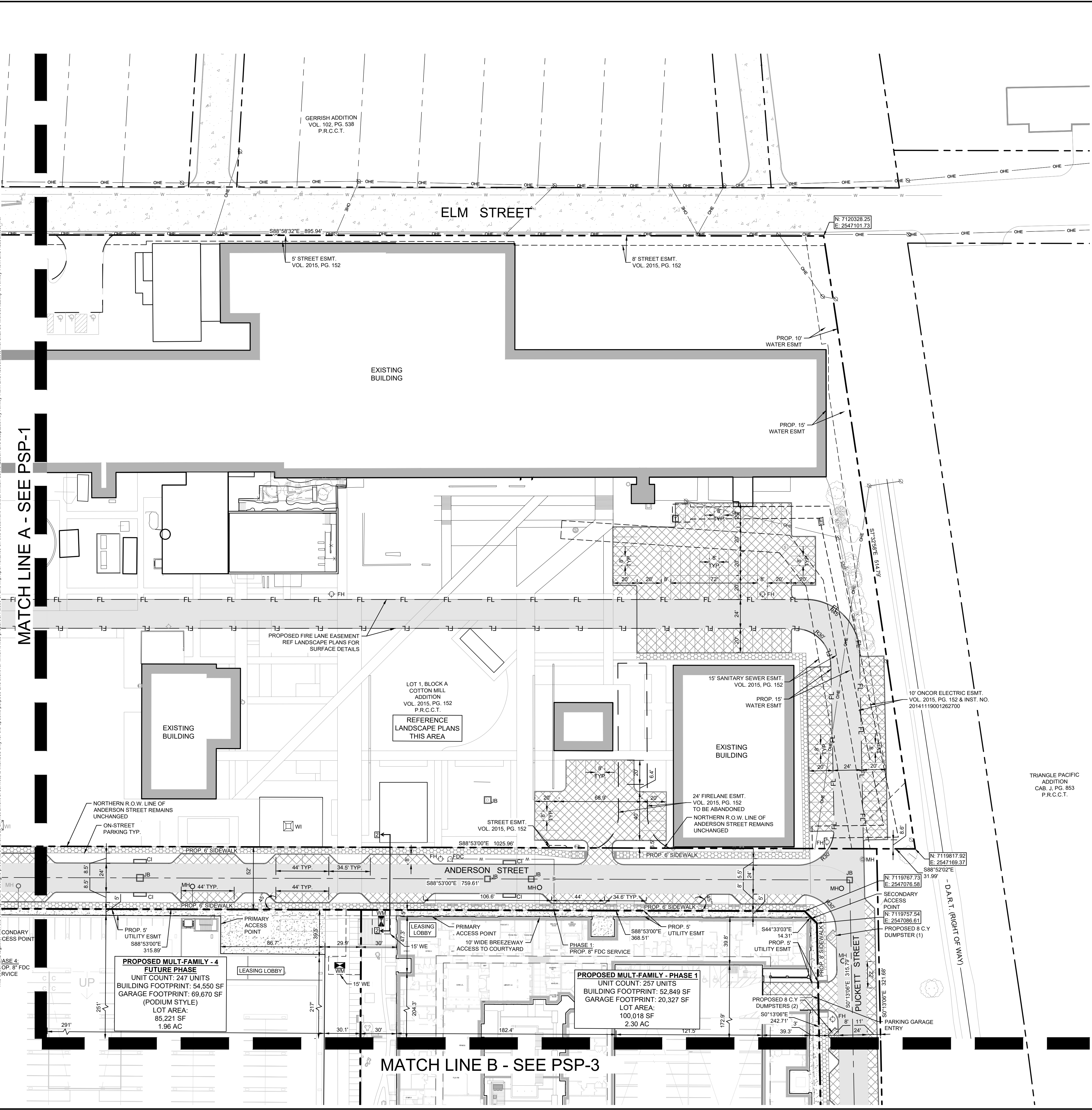
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2600 N. CENTRAL EXPRESSWAY, SUITE 400
RICHARDSON, TX 75080
PHONE: 972-770-1300
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Plotted By: C:\Users\rburris\OneDrive\Documents\Projects\2024\113507\11 - Cotton Mill\Site Plan.dwg Date: April 14, 2025 11:35:07am File Path: K:\DAL_Civil\069248111 - Cotton Mill\Site Plan.dwg



- VICINITY MAP**
N.T.S.
- CITY OF MCKINNEY SITE PLAN NOTES:**
1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
 2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
 3. THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.
 4. ALL FIRE HYDRANTS AND WATER METERS ARE CENTERED IN 15' WIDE WATER EASEMENTS. EASEMENTS EXTEND 5' BEYOND THE CENTER OF THE HYDRANT/METER.
 5. CLEANOUTS SHALL BE PROVIDED FOR ALL SANITARY SEWER SERVICE LINES, AND SHALL BE LOCATED AS NEAR TO THE PROPERTY LINE AS POSSIBLE.
 6. REMOTE FDC'S SHALL BE PROTECTED BY BOLLARDS. CIVIL ENGINEERING PLANS SHALL PROVIDE DETAILS.
 7. REMOTE FDC SIGNS SHALL BE PROVIDED AS REQUIRED BY IFC SECTION 511. WAYFARING SIGNS IN ACCORDANCE WITH IFC SECTION 505.3, AS AMENDED, WILL BE REQUIRED.
 8. DEVELOPER WILL REQUIRE DUMPSTER SHARING AGREEMENT BETWEEN LOTS 3AR AND 3BR.

LEGEND

FL	PROPOSED FIRE LANE
FL	EXISTING PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PARKING
	PROPOSED BUILDING
---	EXISTING CONTOUR LINE - MAJOR
---	EXISTING CONTOUR LINE - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

KIMLEY HORN		COTTON MILL ADDITION		SHEET NUMBER	
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KHA PROJECT 069258111		DATE 04/14/2025		SCALE: AS SHOWN	
DESIGNED BY: RPS		DRAWN BY: RPS		CHECKED BY: RCL	
REVISIONS		BY		DATE	

N.T.S

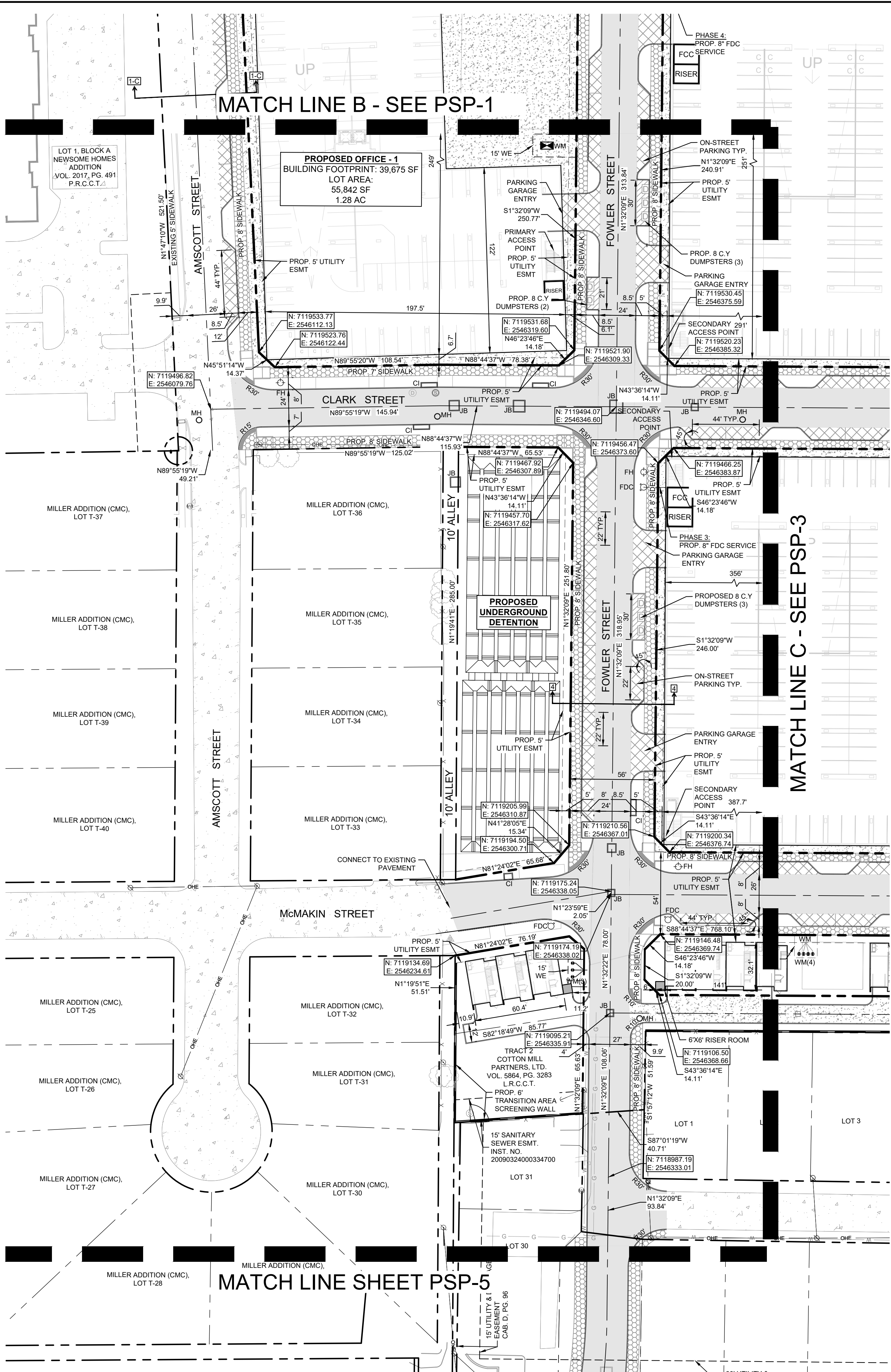
1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS' GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF MOKINNEY SPECIFICATIONS.
2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
3. SCREENING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MOKINNEY CODE OF ORDINANCES.
4. ALL FIRE HYDRANTS AND WATER METERS ARE CENTERED IN 15' WIDE WATER EASEMENTS. EASEMENTS EXTEND 5' BEYOND THE CENTER OF THE DRAINAGE DRAINAGE.
5. CLEANSUPS SHALL BE PROVIDED FOR ALL SANITARY SEWER SERVICE LINES, AND SHALL BE LOCATED AS NEAR TO THE PROPERTY LINE AS POSSIBLE.
6. REMOTE FDC'S SHALL BE PROTECTED BY BOLLARDS. CIVIL ENGINEERING PLANS SHALL PROVIDE DETAIL.
7. REMOTE FDC SIGNS SHALL BE PROVIDED AS REQUIRED BY IFC SECTION 511. WAYFARING SIGNS IN ACCORDANCE WITH IFC SECTION 505.3, AS AMENDED, WILL BE REQUIRED.
8. DEVELOPER WILL REQUIRE DUMPSTER SHARING AGREEMENT BETWEEN LOTS 3A AND 3BR.



	PROPOSED FIRE LANE
	EXISTING PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PARKING
	PROPOSED BUILDING
	EXISTING CONTOUR LINE - MAJOR
	EXISTING CONTOUR LINE - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
PH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

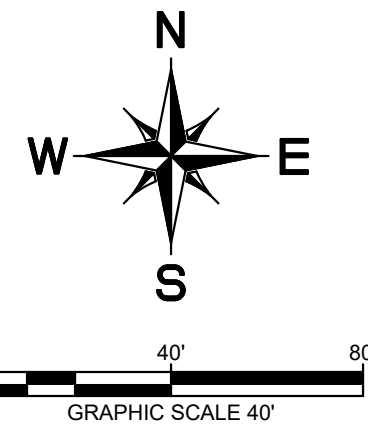
PSP-3	SHEET NUMBER	SITE PLAN	COTTON MILL ELM STREET, MCKINNEY, COLLIN COUNTY, TEXAS 75069	KHA PROJECT 069258111		2600 N. CENTRAL EXPRESSWAY, SUITE 400 RICHARDSON, TX 75080 PHONE: 972/714-1300 WWW.KIMLEY-HORN.COM © 2024 KIMLEY-HORN AND ASSOCIATES, INC. TBPE Firm No. 928	No. _____ REVISIONS _____ DATE _____ BY _____
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1. FOWLER STREET EXTENSION IS NOT REQUIRED UNTIL DEVELOPMENT OF AN OFFICE OR RESIDENTIAL BUILDING BEYOND THE MULTI-FAMILY BUILDING IDENTIFIED AS PHASE 1 IN THIS SITE PLAN.



	PROPOSED FIRE LANE
	EXISTING PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PARKING
	PROPOSED BUILDING
	EXISTING CONTOUR LINE - MAJOR
	EXISTING CONTOUR LINE - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

N.T.S

1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS AND METAL GATE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
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5. CLEANSUITS SHALL BE PROVIDED FOR ALL SANITARY SEWER SERVICE LINES, AND SHALL BE LOCATED AS NEAR TO THE PROPERTY LINE AS POSSIBLE.
6. ALL SIGNAGE SHALL BE PROTECTED BY BOLLARDS, CIVIL ENGINEERING PLANS SHALL PROVIDE DETAILS.
7. REMOTE FDC SIGNS SHALL BE PROVIDED AS REQUIRED BY IFC SECTION 511: WAYFARING SIGNS IN ACCORDANCE WITH IFC SECTION 505.3, AS AMENDED, WILL BE PROVIDED.
8. DEVELOPER WILL REQUIRE DAMPENER SHARING AGREEMENT BETWEEN LOTS 3AR AND 3BR.

2600 N. CENTRAL EXPRESSWAY, SUITE 400
RICHARDSON, TX 75080
PHONE: 972-770-1300
WWW.KIMLEY-HORN.COM
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TBPE Firm No. 928

KHA PROJECT	DATE
069258111	04/14/2025
SCALE: AS SHOWN	DESIGNED BY: RPS
	DRAWN BY: RPS
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COTTON MILL
ELM STREET,
MCKINNEY, COLLIN COUNTY, TEXAS

SITE PLAN

SHEET NUMBER

PSP-5

No.	REVISIONS	DATE	BY
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REVISIONS

No.

