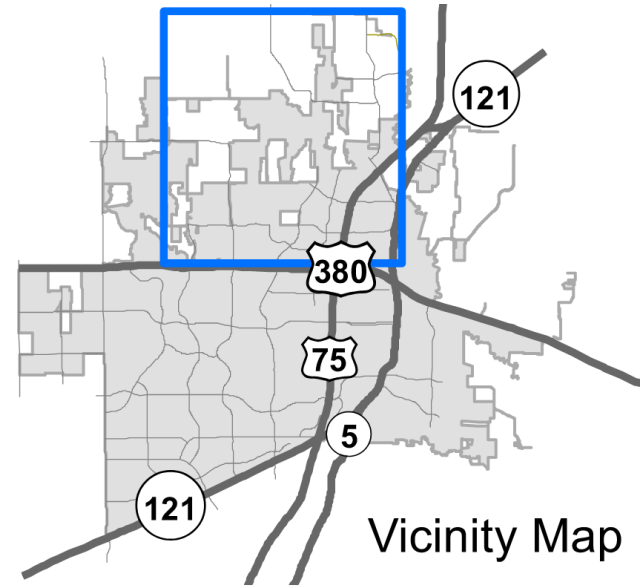
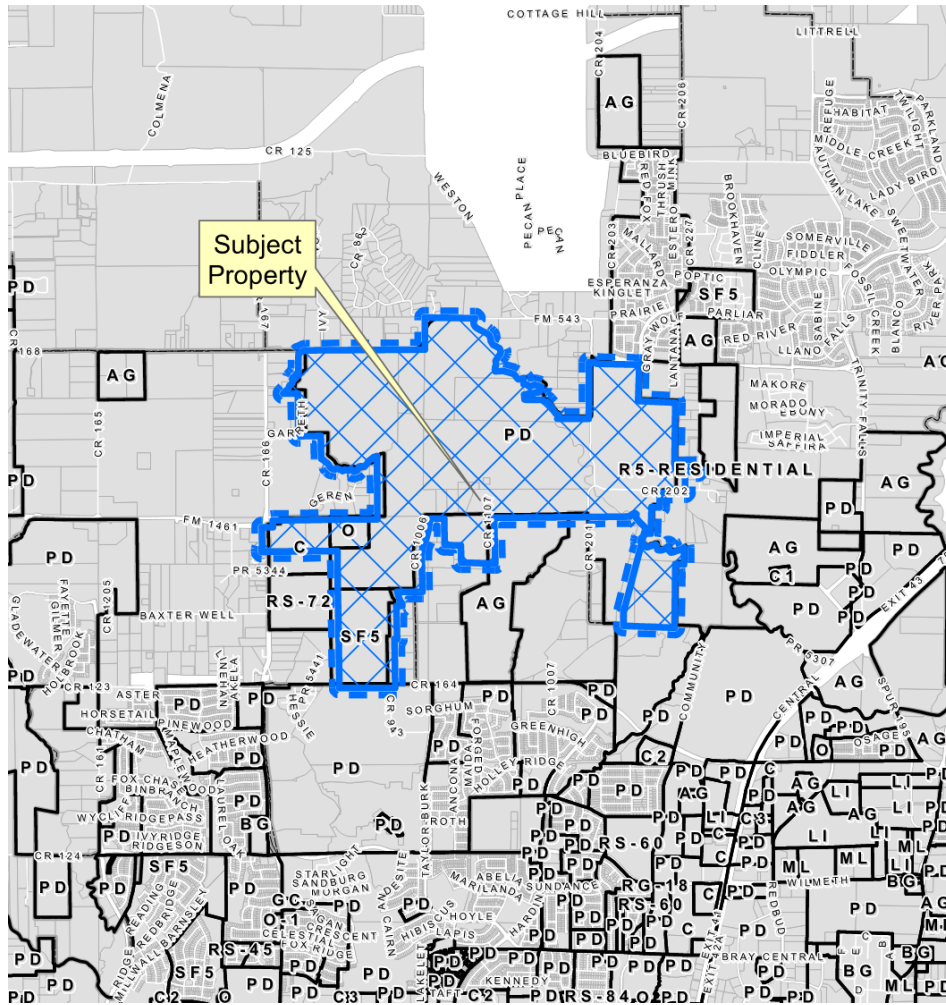


Honey Creek Zoning/Rezoning

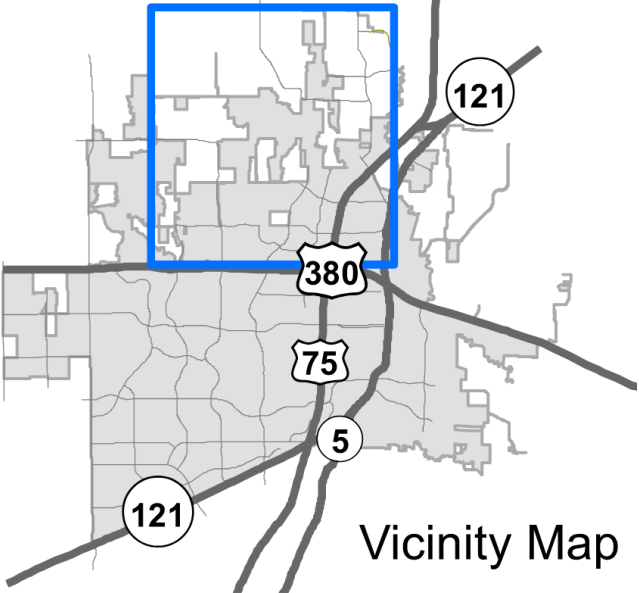
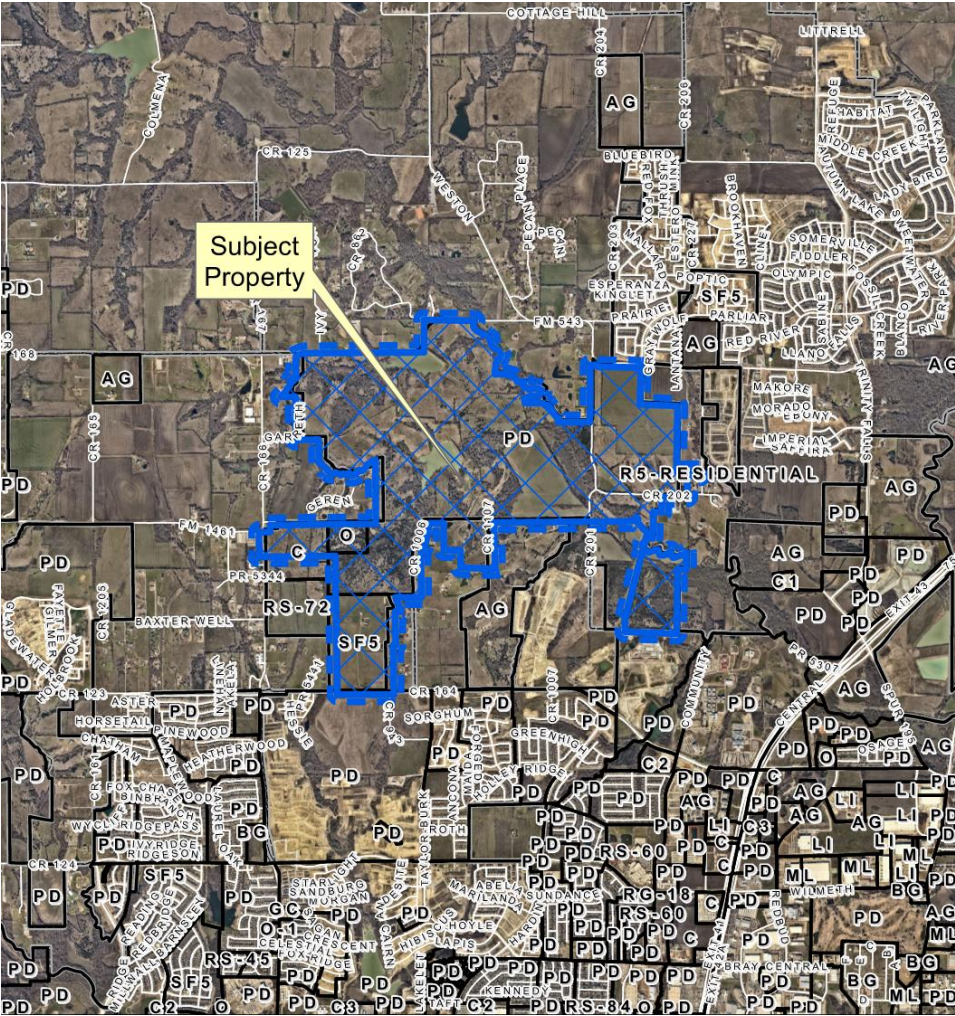
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Location Map

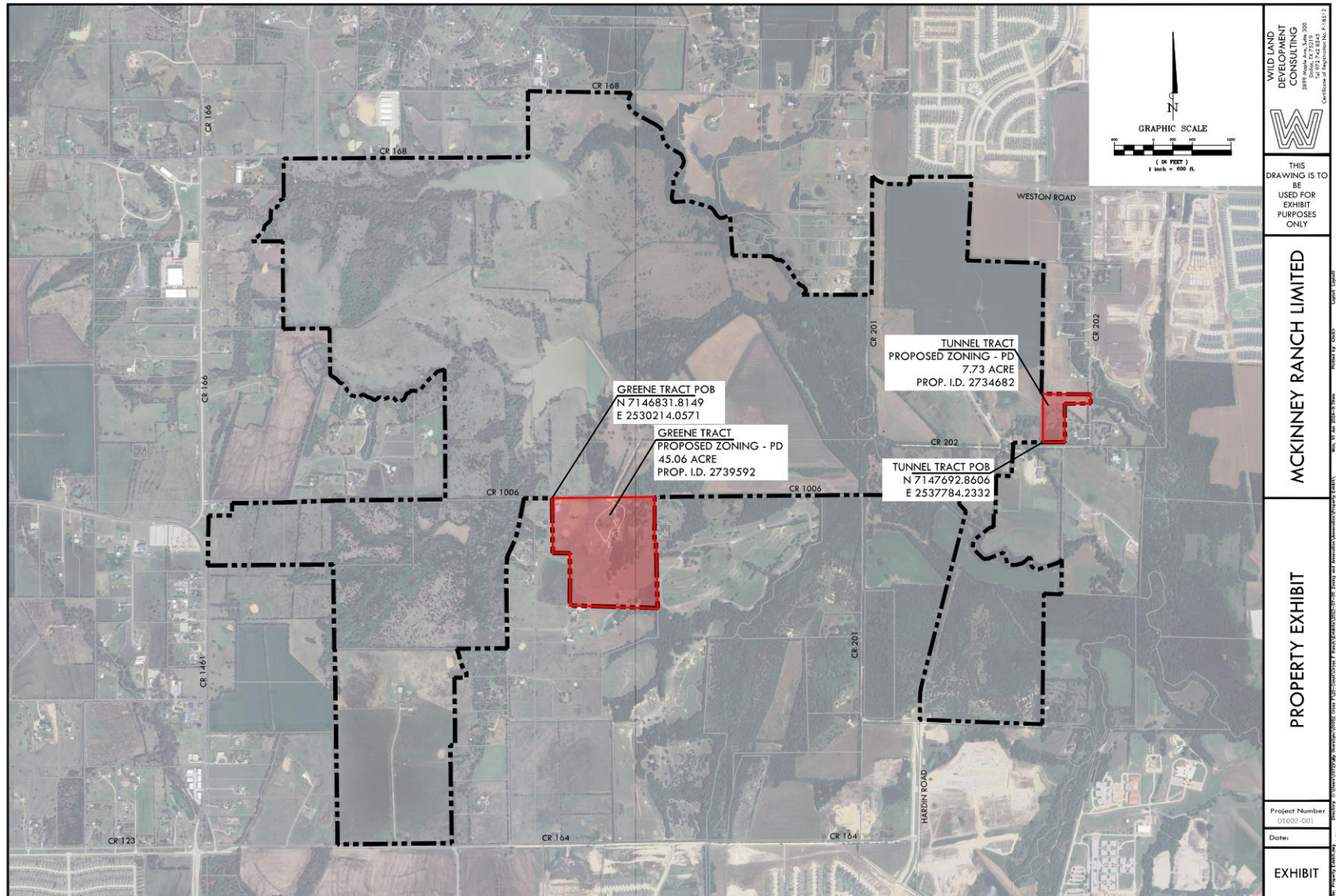


Vicinity Map

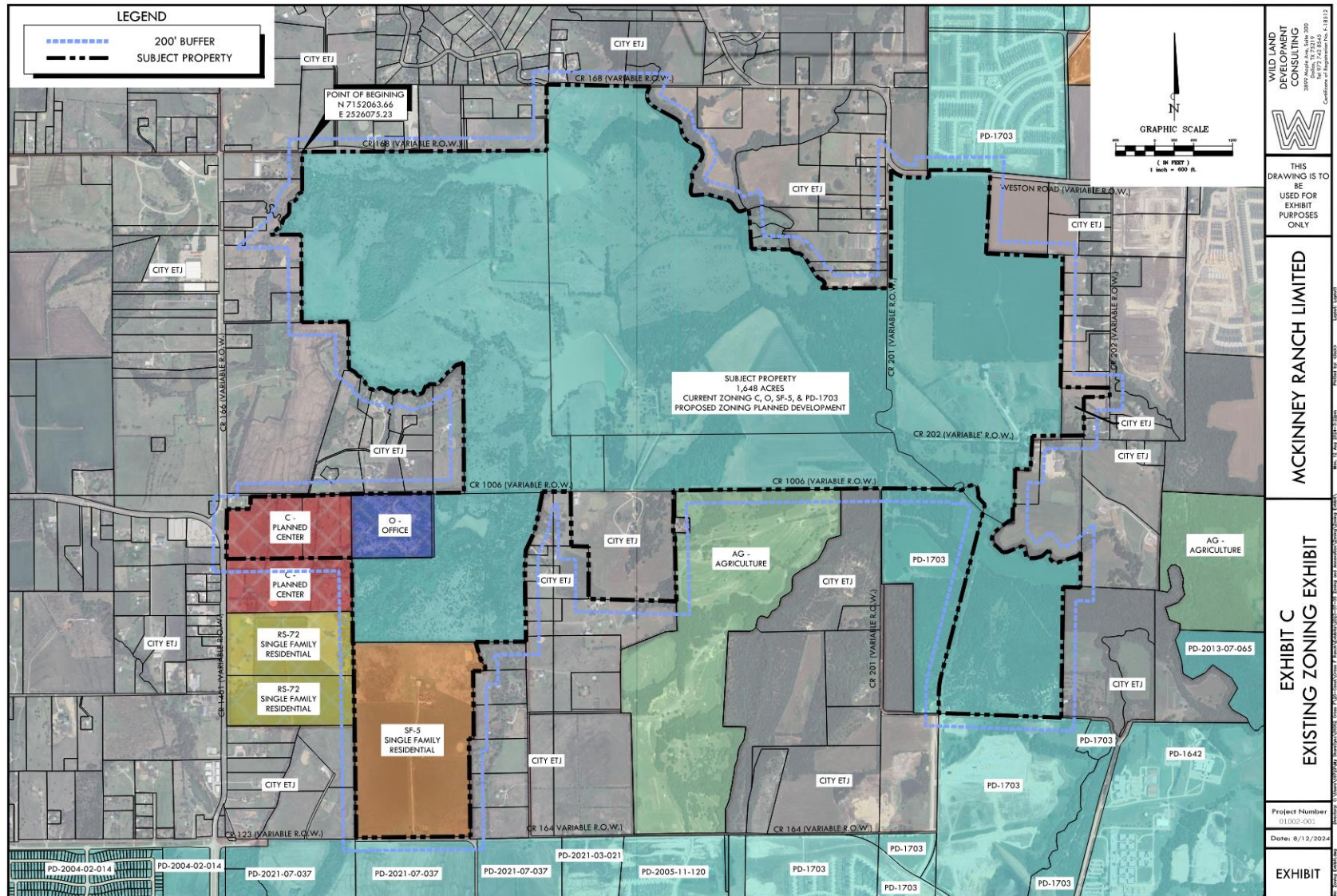
Aerial Exhibit



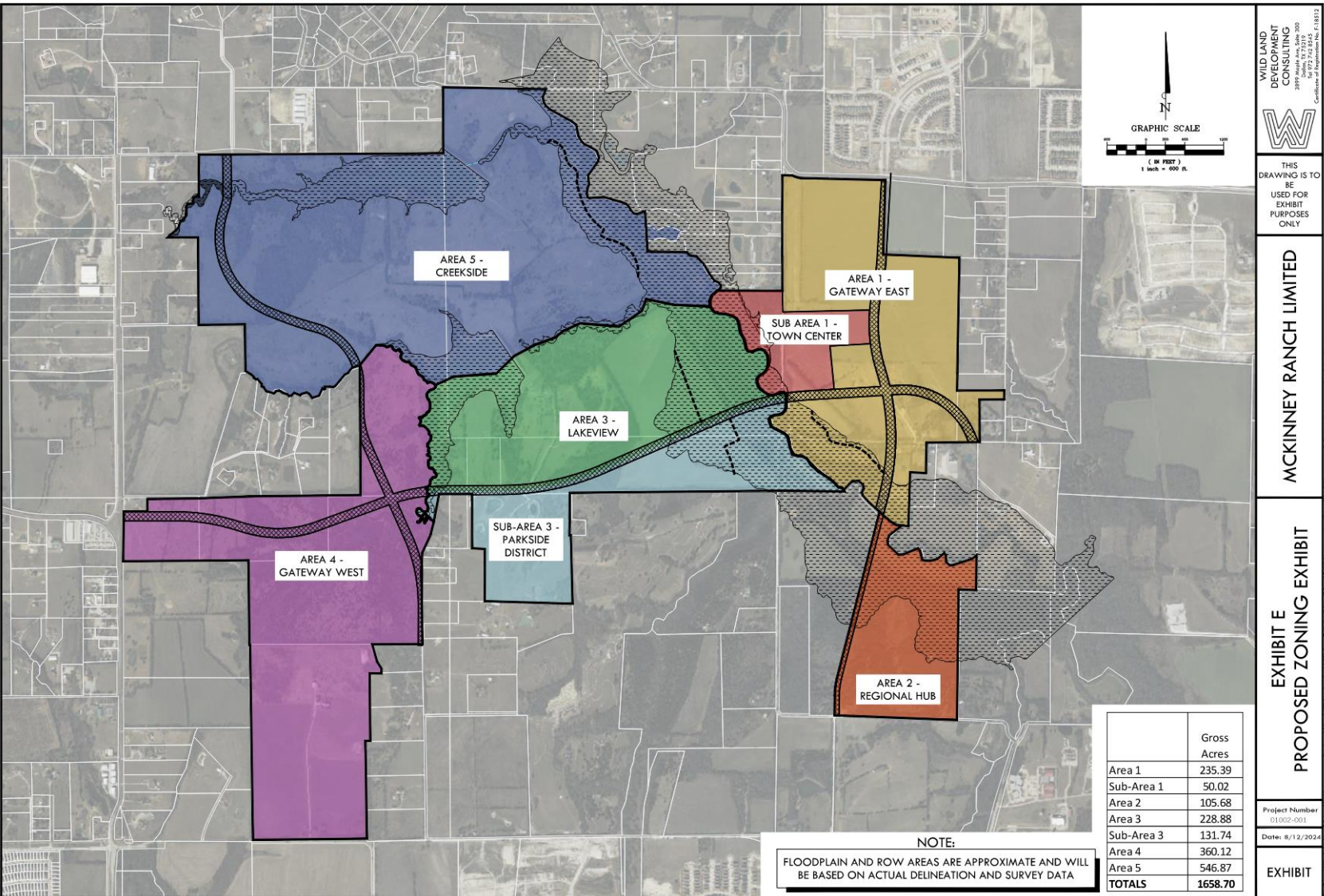
Proposed Annexation Exhibit



Proposed Zoning Exhibit



Proposed Planning Area Exhibit



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Fort Worth, TX 76114
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www.wildlanddevelopment.com

THIS DRAWING IS TO BE USED FOR EXHIBIT PURPOSES ONLY

MCKINNEY RANCH LIMITED

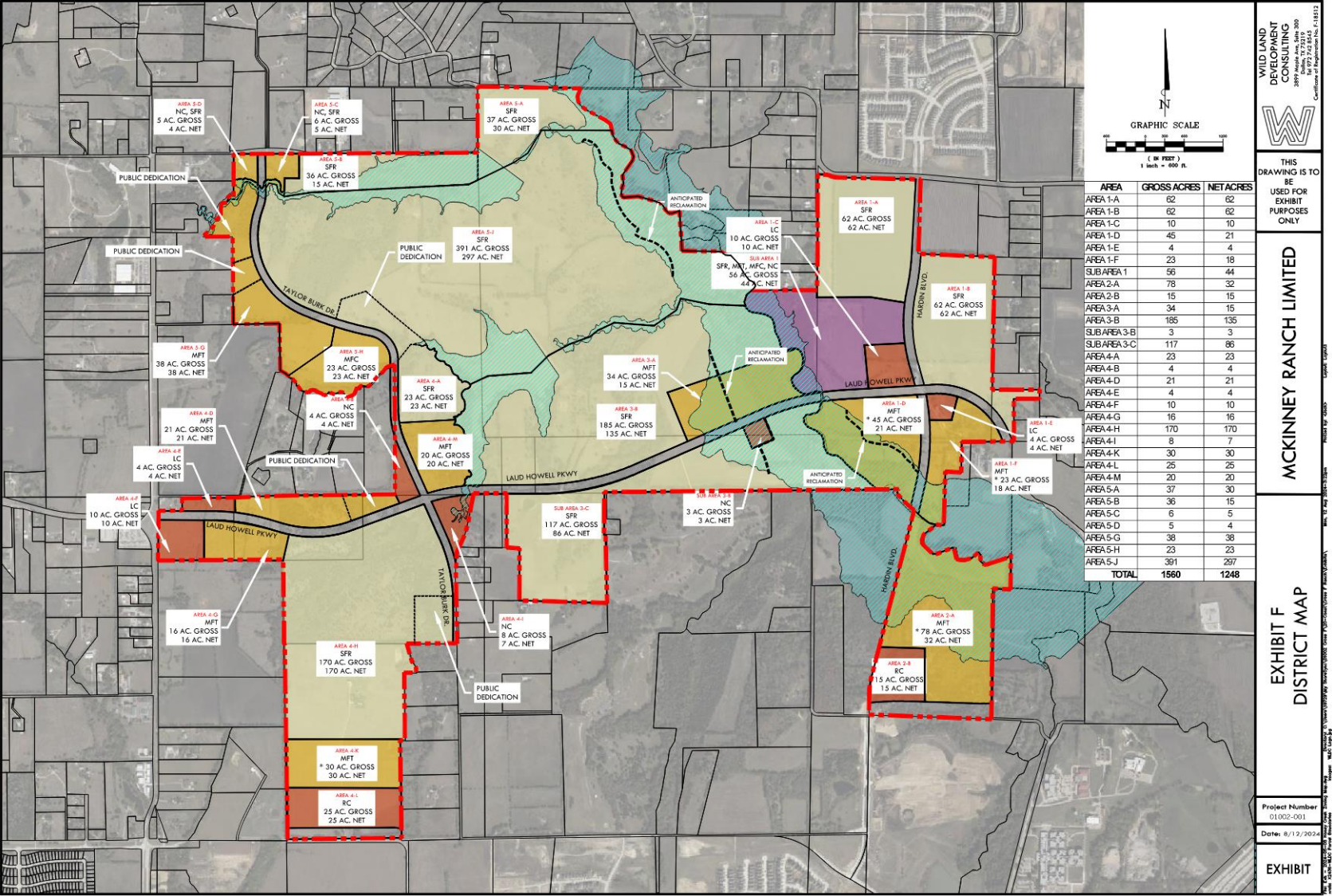
**EXHIBIT E
PROPOSED ZONING EXHIBIT**

Project Number:
01002-001

Date: 8/12/2024

EXHIBIT

Proposed District Map



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**EXHIBIT F
DISTRICT MAP**

Project Number
01002-001

Date: 8/12/2024

EXHIBIT

Residential Allowances

Table R-1: Residential District Use Allowances ^[1,2]

	AREA 1		SUB-AREA 1		AREA 2		AREA 3		SUB-AREA 3		AREA 4		AREA 5		Project Totals		
Unit Type	Permitted		Permitted		Permitted		Permitted		Permitted		Permitted		Permitted		Min / Max Units Overall	Additional Limitations	Total Allowed
SFR - Estate	N/A		N/A		N/A		P		P		P		Min 200		Min 225	Min 1,300	Min 3,500
SFR- Traditional	P		P		N/A		Min 100		P		Min 100		Min 200		Min 450		
SFR - Cottage	P		P		N/A		Min 100		P		Min 150		Min 275		Min 525		
SFR - Villa	Max 300		Min 50		N/A		Max 200		Max 225		Max 300		Max 200		Min 300 / Max 1,200		
SFR - Cluster	Max 150		P		N/A		Max 150		Max 225		Max 200		Max 200		Min 300 / Max 950		
SFR - Townhome	Max 200		Min 50		N/A		Max 150		Max 250		Max 200		Max 150		Min 250 / Max 925		
	Permitted	/ Acres	Permitted	/ Acres	Permitted	/ Acres	Permitted	/ Acres	Permitted	/ Acres	Permitted	/ Acres	Permitted	/ Acres			
MFC	0	0	Max 400	15	0	-	0	-	0	0	Max 350	20	Max 500	25	Max 3,000		Max 5,250 / 240 acres
MFT	Max 1,500	40	Max 400	15	Max 1,500	35	Max 450	15	Max 0	0	Max 1700	80	Max 500	25	Max 3,000		
Total Multi-Family	Max 1,200	Max 90	Max 400	Max 15	Max 1,500	Max 35	Max 450	Max 15	Max 0	Max 0	Max 1,950	Max 100	Max 750	Max 46			
Total Residential Units Permitted														10,500 Max			

N/A = Not Allowed
P = District is permitted and is not subject to a minimum or maximum number of units.
NOTE 1: Table R-1 may be modified with the approval of City Council after a recommendation of the Planning & Zoning Commission, which approval shall not be considered a zoning approval or require an amendment to this Ordinance.
NOTE 2: Multifamily Uses shown on Exhibit E and referenced in Table R-1 can be developed as adjacent Commercial or Single Family uses at the discretion of the Director of Planning.

[1] Acreages shown are in gross measurements.

Residential Development Standards

Table SFR-1: Single-Family Residential Building Standards

	Lot Standards			Building Setbacks [2]				Max. Height	Max. Density
	Lot Area (sq ft)	Lot Width (ft)	Lot Depth (ft)	Front Yard (ft) [5]	Rear Yard (ft)	Side Interior (ft)	Side at Corner (ft)	Building Height (ft)	Density (du/acre)
Single-Family Residential Use Types [8]									
Estate [6]	10,000	80	125	25	20	7.5	20	35	N/A
Traditional [6]	6,900	60	115	20	12 (20 for alley served)	5	15	35	N/A
Cottage [6]	5,500	50	110	20	10 (20 for alley served)	5 [1]	15	35	N/A
Cluster [1,2,9]	Per Ex. H	Per Ex. H	Per Ex. H	Per Ex. H	Per Ex. H	Per Ex. H	Per Ex. H	Per Ex. H	Per Ex. H
Villa [1,2,3,7]	3,600	32	55	15	3 or min of 20 for alley served	5 [1]	15	35	N/A
Townhome [2,3,4,7]	1,800	22	80	15	3 or min of 20 for alley served	5 [1]	15	35	N/A

Table MF-1: Multi-Family Residential Building Standards [1,2,3]

	MFC	MFT
Lot Area (sf)	N/A	N/A
Lot Width (ft)	60	60
Lot Depth (ft)	100	100
Front Setback (ft)	20	35
Rear Setback (ft)	20	25
Side Interior Setback (ft)	20	20
Side Corner Setback (ft)	N/A	N/A
Max Height (ft)	35'	55'
Dwelling Units per acre	12 Max	30 Max

Commercial Allowance and Development Standards

Table C-1: Commercial District Use Allowances

	AREA 1		SUB-AREA 1		AREA 2		AREA 3		SUB-AREA 3		AREA 4		AREA 5		Min 80 acres
Unit Type	Permitted Acres		Permitted Acres		Permitted Acres		Permitted Acres		Permitted Acres		Permitted Acres		Permitted Acres		
	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max	Min	Max	
Neighborhood Commercial "NC"	P	60	P	60	P		P		P		P		P	20	
Local Commercial "LC"	P		P		P		P		P		15		P		
Regional Commercial "RC"	5		10		15	P	N/A	N/A	N/A		N/A		N/A		
Total Commercial	5	60	10	60	15	No Max	No Min	No Max	No Min	No Max	30	50	No Min	35	

N/A = Not Allowed
P = District is permitted and is not subject to a minimum or maximum number of units.

The following minimum development standards apply to all Honey Creek Commercial Development:

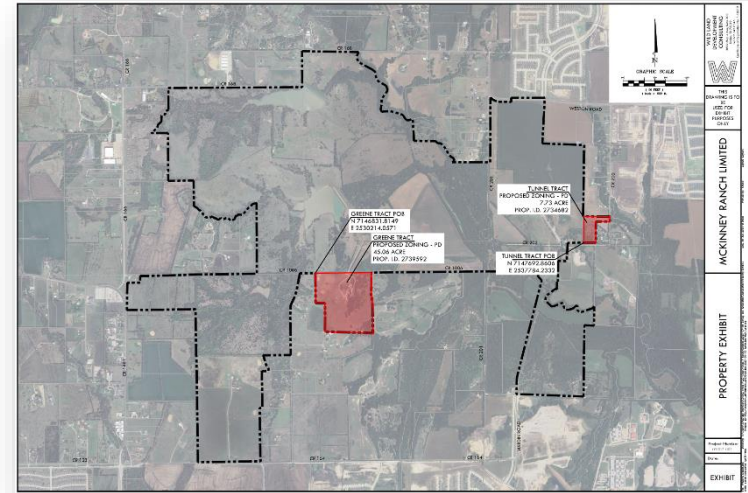
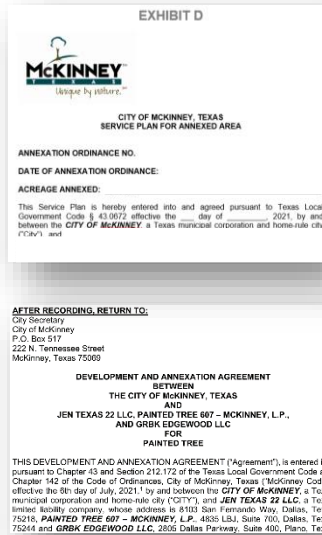
Table C-2: Commercial Building Standards

Unit Type	Lot Standards			Building Setbacks			Max. Height
	Lot Area (sq. ft)	Lot Width (ft)	Lot Depth (ft)	Front Yard (ft)	Rear Yard (ft)	Side Interior (ft)	Building Height [1] (ft)
Neighborhood Commercial "NC"	0	0	0	20	0	0	35
Local Commercial "LC"	0	0	0	20	0	0	45
Regional Commercial "RC"	0	0	0	20	0	0	55

- Notes:
- [1] When a multi-family or non-residential use shares a property line(s) with a single-family, duplex, triplex, or quadplex residential use or a single-family residential zone, the following building setbacks shall apply along the shared property line(s): 30 feet when adjacent to 1 story multi-family or non-residential building, 50 feet when adjacent to 2 story multi-family or non-residential building, 2 feet of setback for each foot of building height when adjacent to 3 story multi-family of non-residential building, and 3 feet of setback for each foot of building height when adjacent to 4 or more story multi-family or non-residential building.
- [2] The architectural and site standards for the non-residential land use areas shall conform to the provisions of the McKinney UDC Article 2, Section 206 (5).

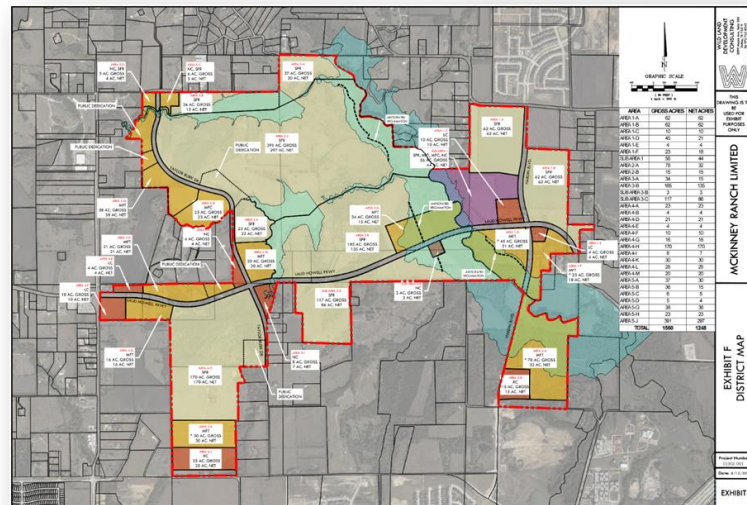
ANNEXATION ITEMS/INFORMATION

- Annexation Ordinance, including Municipal Services Plan
- Annexation Facilities Agreement



ZONING ITEMS/INFORMATION

- Proposed Zoning: “PD” – Planned Development District
 - Single Family Residential Uses
 - Multi-Family Residential Uses
 - Commercial Uses
 - Public Dedication



DEVELOPMENT AGREEMENT AND ANNEXATION ITEMS

- Impact Fee Credits
- Public Land Dedication
- Roadway Dedications
- Park Maintenance and Dedication
- Architectural Standards

