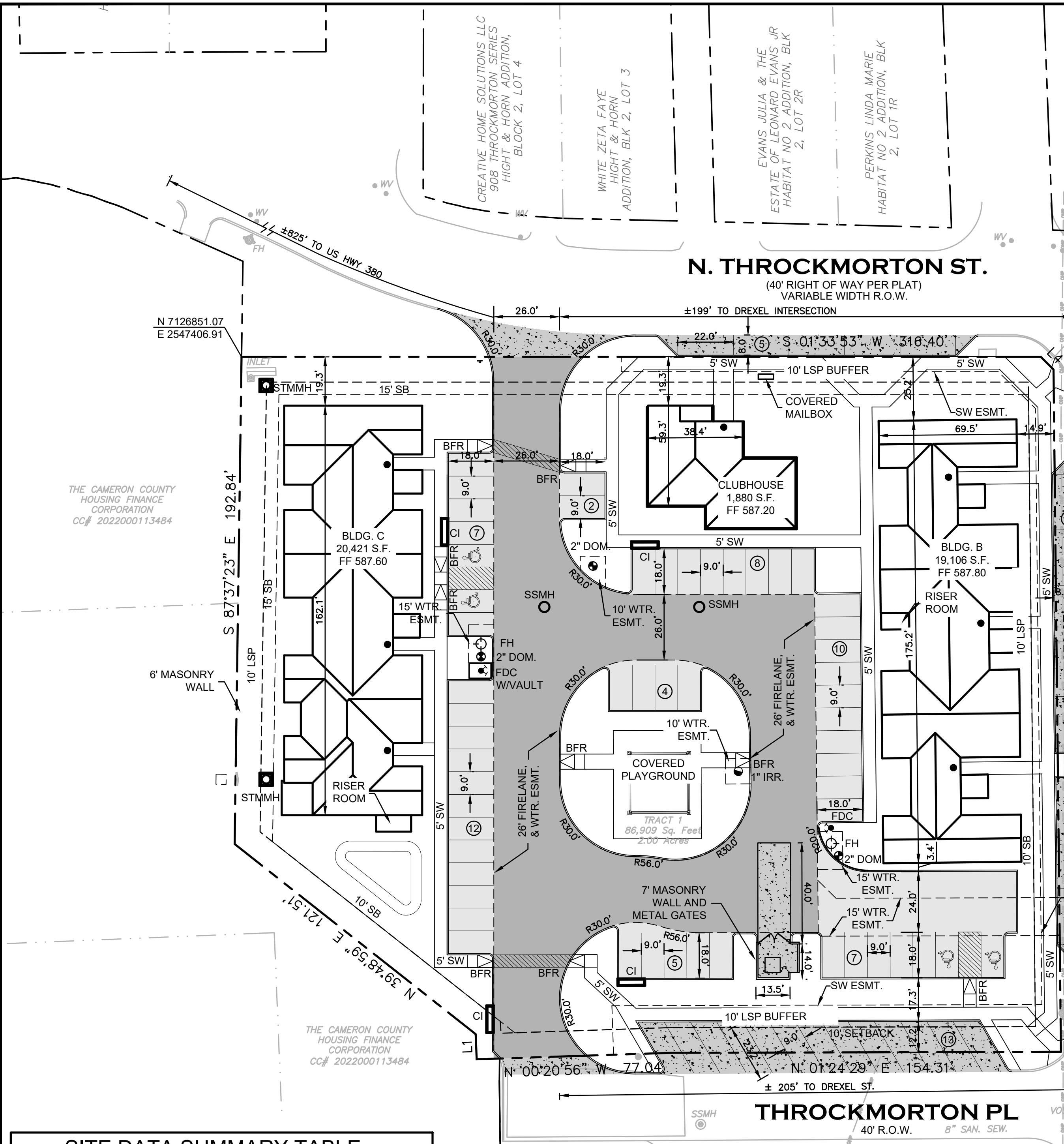
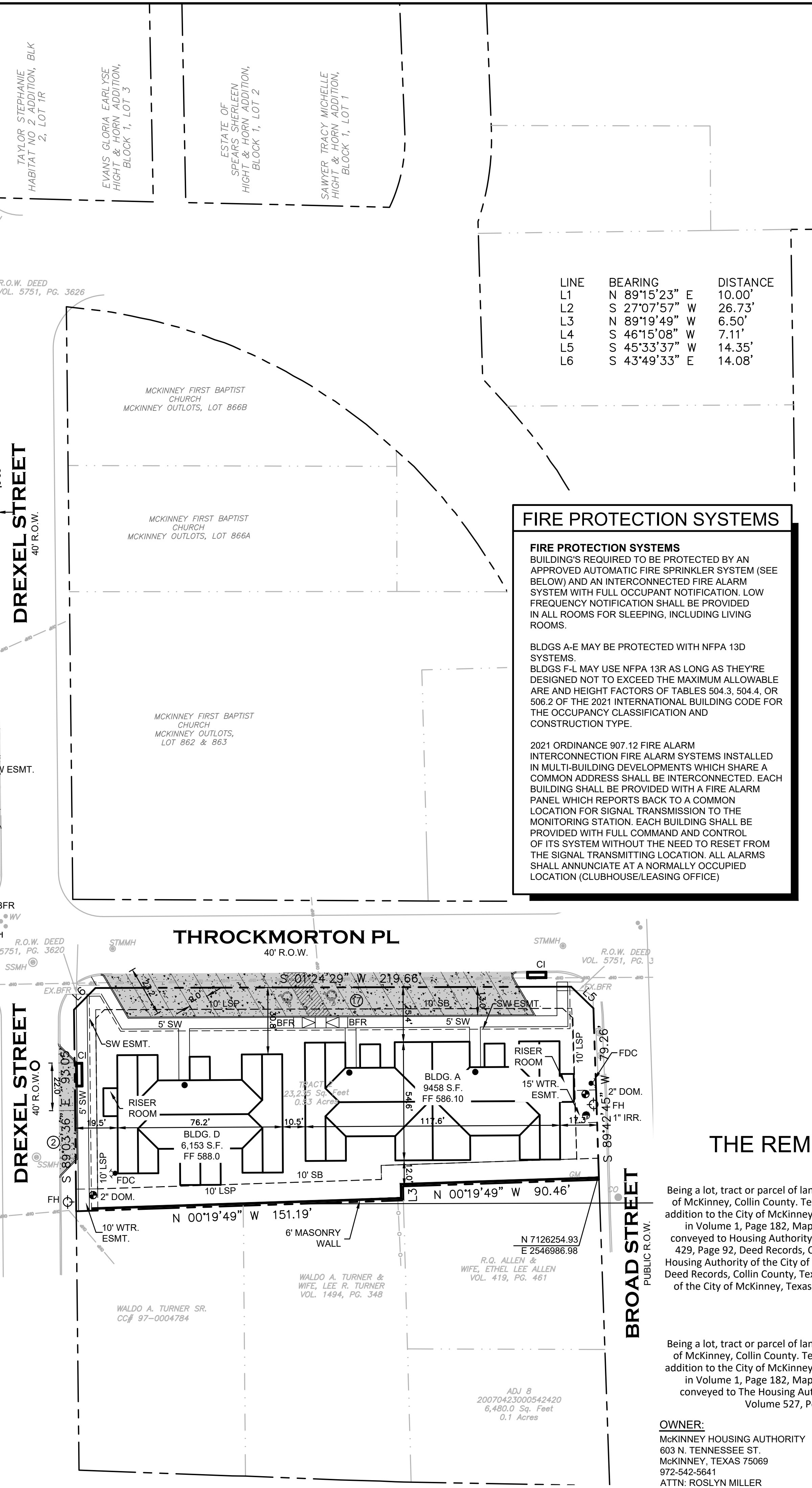




SITE DATA SUMMARY TABLE	
ZONING:	PD 2023-06-040
EXISTING USE:	MULTI-FAMILY DEVELOPMENT
PROPOSED USE:	MULTI-FAMILY DEVELOPMENT
LOT AREA:	2.53 ACRES / 110,144 SQ. FT.
BLDG. "A" HT.	2 STORY - 27'-10"
BLDG. "B" HT.	3 STORY 37'-5 1/2"
BLDG. "C" HT.	3 STORY 38'-5 1/2"
BLDG. "D" HT.	2 STORY 27'-10"
BLDG. CLUBHOUSE	1 STORY 22'-8 1/2"
NUMBER OF BLDGS.	4
No. OF 1 BR DWELLING UNITS	6
No. OF 2 BR DWELLING UNITS	11
No. OF 3 BR DWELLING UNITS	28
No. OF 4 BR DWELLING UNITS	5
TOTAL No. OF DWELLING UNITS	50
TOTAL DWELLING SQ. FOOTAGE:	57,018 SQ. FT.
LANDSCAPE DATA	
INTERIOR LANDSCAPING	36,650 SQ. FT. (33.2%)
IMPERVIOUS AREA:	73,494 SQ. FT. (66.7%)
PARKING REQUIRED	
PARKING REQUIRED	100
2 PARKING SPACES FOR EVERY UNIT	
(HANDICAP REQUIRED = 2% OF TOTAL)	2
PARKING PROVIDED	
HEAD IN UNCOVERED PARKING SPACES	94
HEAD IN HANDICAP PARKING	6
TOTAL PARKING PROVIDED	100
LOT COVERAGE	21.0% (23,169 SQ. FT.)
FLOOR TO AREA RATIO	0.52:1
DWELLING UNITS PER ACRE	19 units per acre

- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL RADII ARE 2.0' UNLESS NOTED OTHERWISE.
 - AMENITIES INCLUDE:
 - PLAYGROUND (4,000 S.F. MIN.)
 - BUSINESS CENTER (500 S.F. MIN.)

- CITY OF MCKINNEY SITE PLAN NOTES**
- THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
 - MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
 - THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.



LINE	BEARING	DISTANCE
L1	N 89°15'23" E	10.00'
L2	S 27°07'57" W	26.73'
L3	N 89°19'49" W	6.50'
L4	S 46°15'08" W	7.11'
L5	S 45°33'37" W	14.35'
L6	S 43°49'33" E	14.08'

FIRE PROTECTION SYSTEMS

FIRE PROTECTION SYSTEMS
BUILDING'S REQUIRED TO BE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM (SEE BELOW) AND AN INTERCONNECTED FIRE ALARM SYSTEM WITH FULL OCCUPANT NOTIFICATION. LOW FREQUENCY NOTIFICATION SHALL BE PROVIDED IN ALL ROOMS FOR SLEEPING, INCLUDING LIVING ROOMS.

BLDGS A-E MAY BE PROTECTED WITH NFPA 13D SYSTEMS.
BLDGS F-L MAY USE NFPA 13R AS LONG AS THEY'RE DESIGNED NOT TO EXCEED THE MAXIMUM ALLOWABLE ARE AND HEIGHT FACTORS OF TABLES 504.3, 504.4, OR 506.2 OF THE 2021 INTERNATIONAL BUILDING CODE FOR THE OCCUPANCY CLASSIFICATION AND CONSTRUCTION TYPE.

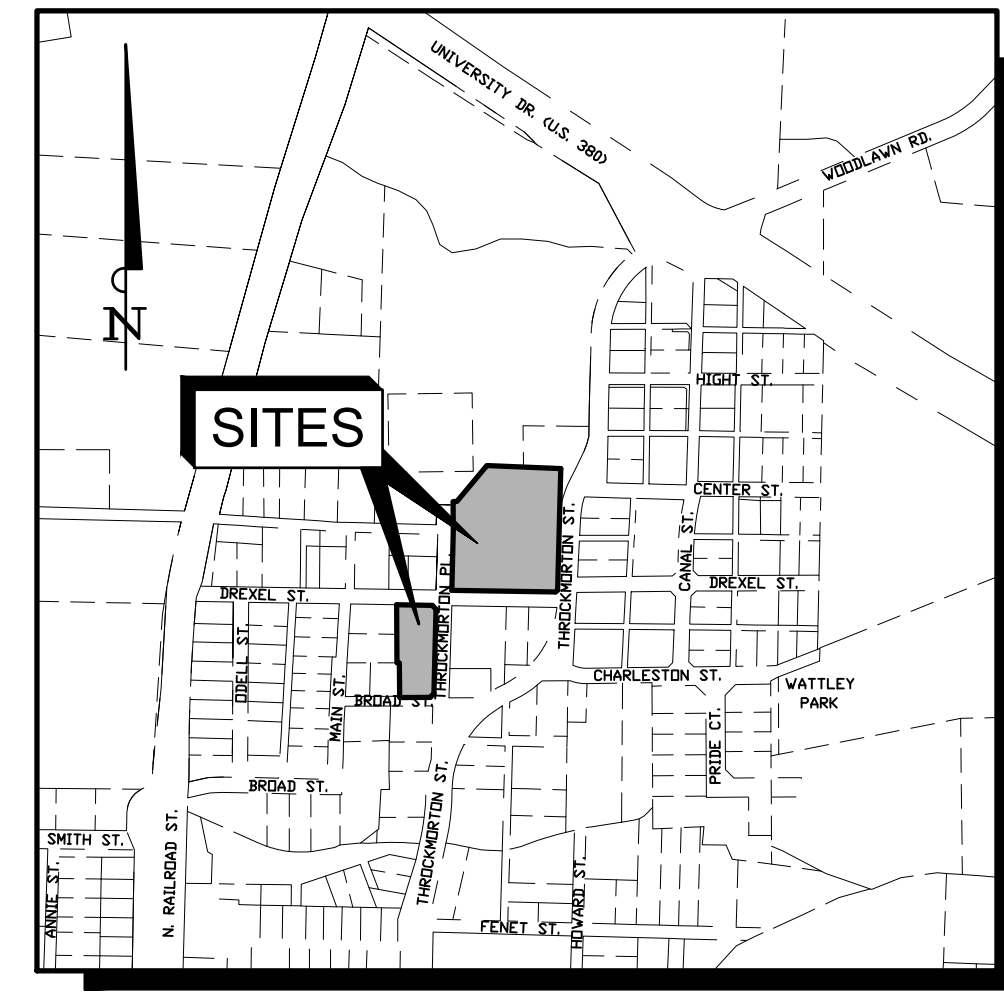
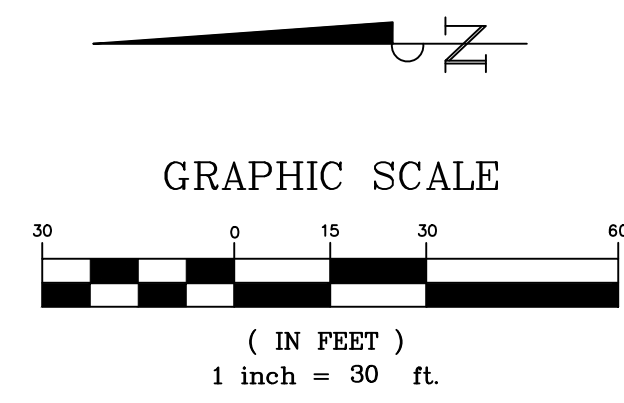
2021 ORDINANCE 907.12 FIRE ALARM INTERCONNECTION FIRE ALARM SYSTEMS INSTALLED IN MULTI-BUILDING DEVELOPMENTS WHICH SHARE A COMMON ADDRESS SHALL BE INTERCONNECTED. EACH BUILDING SHALL BE PROVIDED WITH A FIRE ALARM PANEL WHICH REPORTS BACK TO A COMMON LOCATION FOR SIGNAL TRANSMISSION TO THE MONITORING STATION. EACH BUILDING SHALL BE PROVIDED WITH FULL COMMAND AND CONTROL OF ITS SYSTEM WITHOUT THE NEED TO RESET FROM THE SIGNAL TRANSMITTING LOCATION. ALL ALARMS SHALL ANNUNCIATE AT A NORMALLY OCCUPIED LOCATION (CLUBHOUSE/LEASING OFFICE)

SITE PLAN THE REMNANT AT GREENWOOD II

TRACT 1:
Being a lot, tract or parcel of land situated in the William Davis Survey, Abstract No. 248, City of McKinney, Collin County, Texas, and being a portion of Block 3 o' Lewisville Addition, an addition to the City of McKinney, Collin County, Texas, according to the map thereof recorded in Volume 1, Page 182, Map Records, Collin County, Texas, same being a tract of land conveyed to Housing Authority of the City of McKinney, Texas, by deed recorded in Volume 429, Page 92, Deed Records, Collin County, Texas, same being a tract of land conveyed to Housing Authority of the City of McKinney, Texas, by deed recorded in Volume 429, Page 158, Deed Records, Collin County, Texas, same being a tract of land conveyed to Housing Authority of the City of McKinney, Texas, by deed recorded in Volume 439, Page 466, Deed Records, Collin County, Texas.

TRACT 2:
Being a lot, tract or parcel of land situated in the William Davis Survey, Abstract No. 248, City of McKinney, Collin County, Texas, and being a portion of Block 1 o' Lewisville Addition, an addition to the City of McKinney, Collin County, Texas, according to the map thereof recorded in Volume 1, Page 182, Map Records, Collin County, Texas, same being a tract of land conveyed to The Housing Authority of the City of McKinney, Texas, by deed recorded in Volume 527, Page 599, Deed Records, Collin County, Texas

OWNER: MCKINNEY HOUSING AUTHORITY 603 N. TENNESSEE ST. MCKINNEY, TEXAS 75069 972-542-5641 ATTN: ROSLYN MILLER	ENGINEER: SANCHEZ AND ASSOCIATES, LLC. 210 ADRIATIC PARKWAY, STE 200 MCKINNEY, TEXAS 75072 (469) 424-5900 ATTN: CASEY GREGORY, PE	APPLICANT: SANCHEZ AND ASSOCIATES, LLC. 210 ADRIATIC PARKWAY, STE 200 MCKINNEY, TEXAS 75072 (469) 424-5900 ATTN: CASEY GREGORY, PE
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LOCATION MAP
SCALE: N.T.S

LEGEND

- 8" 4,000 PSI CONCRETE PAVEMENT WITH 8" LIME TREATED SUBGRADE AND #4 BARS @ 18" O.C.E.W.
- 6" 4,000 PSI CONCRETE PAVEMENT WITH 6" LIME TREATED SUB-BASE AND #4 BARS @ 18" O.C.E.W.
- 5" 3,000 PSI CONCRETE PAVEMENT WITH 6" LIME TREATED SUBGRADE AND #3 BARS @ 24" O.C.E.W. (PARKING)
- 4" 3,000 PSI REINFORCED CONCRETE PAVEMENT (INTERNAL SIDEWALKS)
- X' SW
- ⊗ NUMBER OF PARKING SPACES
- R RADIUS
- CI CURB INLET
- SSMH SANITARY SEWER MAN HOLE
- BFR BARRIER FREE RAMP
- SW SIDEWALK
- FH FIRE HYDRANT
- BUILDING ENTRANCE

Master Planning
Civil Engineering
Land Development

210 Adriatic Parkway, Suite 200
McKinney, TX 75072
Tel 469 424 5900
Fax 214 544 3200
Certificate of Registration No. F-8665

SANCHEZ & Associates

THIS DRAWING IS TO BE USED FOR EXHIBIT PURPOSES ONLY

THE REMNANT AT GREENWOOD II

SITE PLAN

Scale: SEE GRAPHIC SCALE

Designed by:	RCG
Drawn by:	DDR
Checked by:	RCG
Date:	7/15/2024
Project No.:	02022.003

EXHIBIT