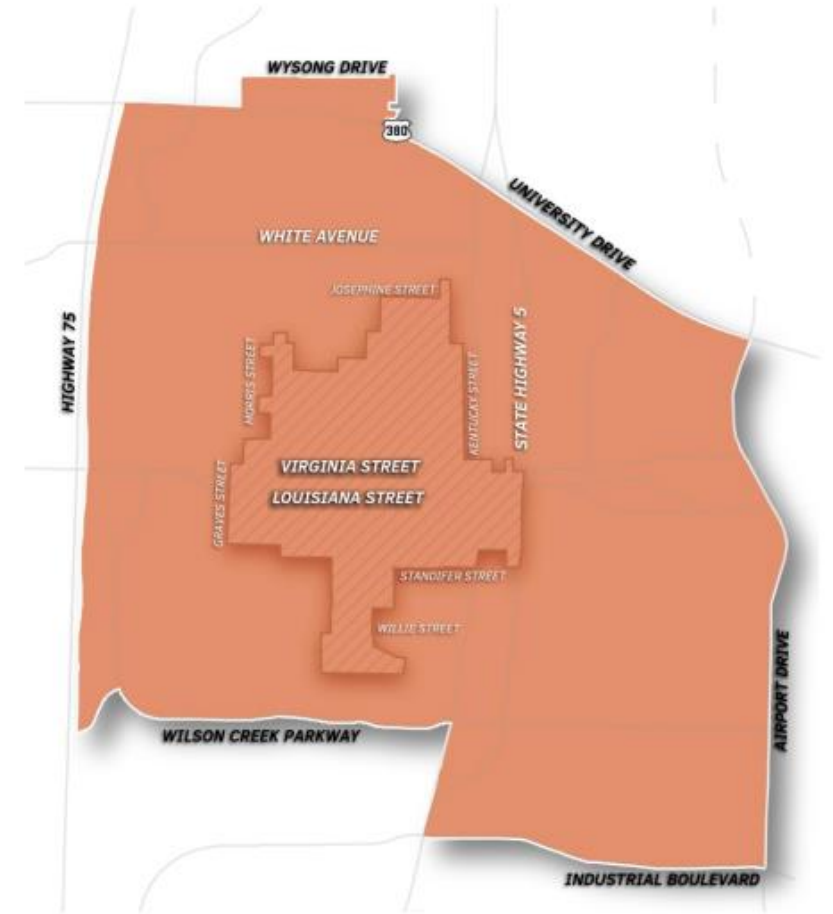


Cotton Mill Neighborhood Empowerment Zone Application

Request for Roadway Impact Fee Reimbursement

Background – Neighborhood Empowerment Zone

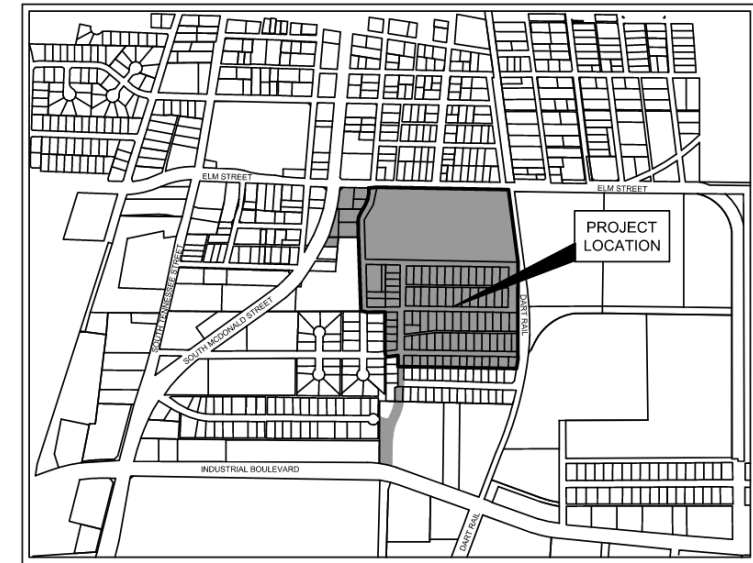
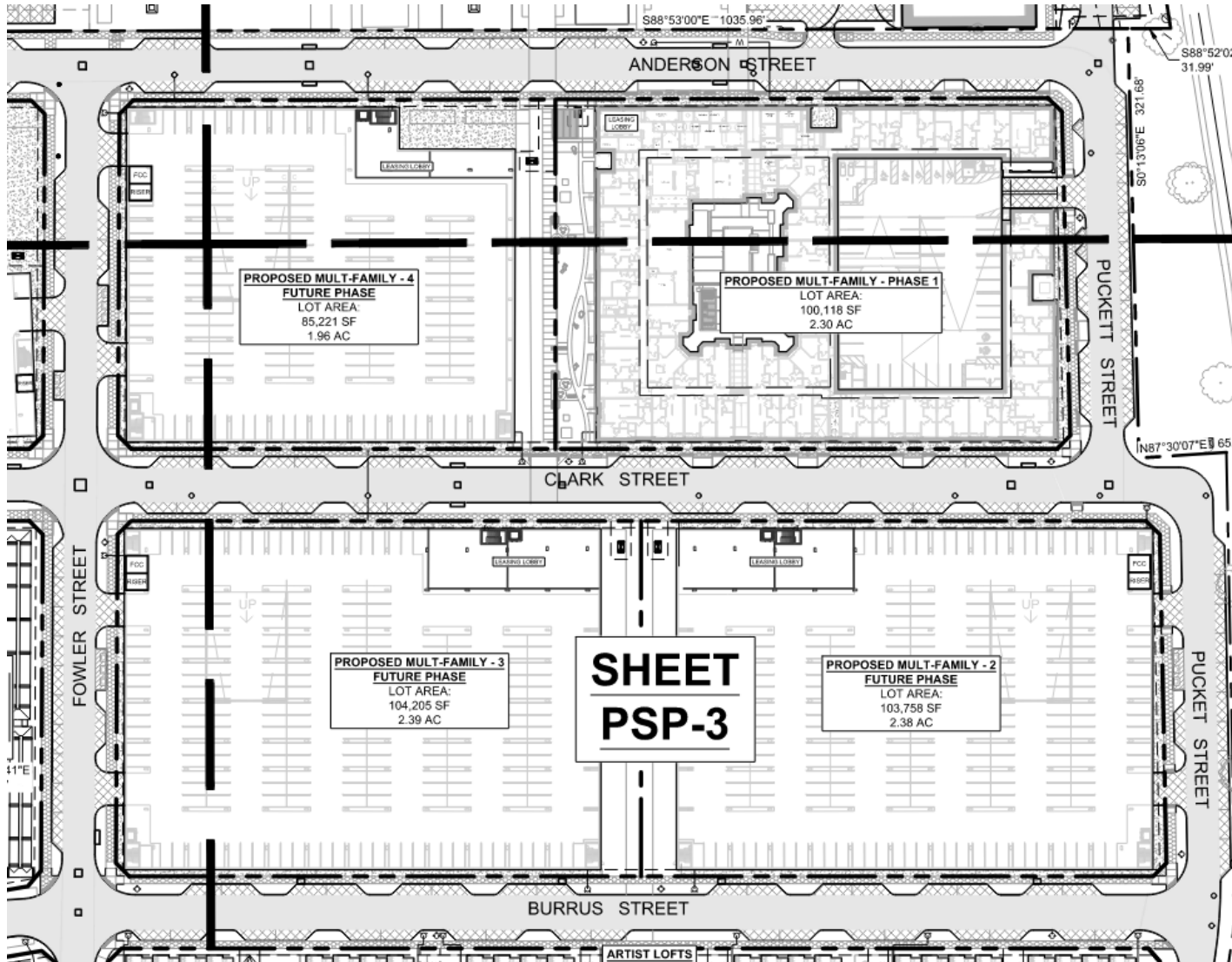
- NEZ program began in 2009 to support infill in the Town Center area
- Provides impact fee reimbursement for construction that meets architectural guidelines defined in Section 98-85
- Multifamily properties are only eligible for roadway impact fee reimbursements
 - All roadway impact fees collected at time of building permit issuance and remitted to owner upon completion and final inspection of compliant construction



Project Scope

- 4 buildings over 4 phases
- 1,140 multifamily units
- Phase 1 – 257 multifamily units
 - 128 units at market rate (50%)
 - 128 units at 80% of AMI (45%)
 - 13 units at 30% of AMI (5%)
- Additional phases proposed market rate

Site Plan



VICINITY MAP
N.T.S.

Elevations – Phase 1 Building (N, S)



Elevations – Phase 1 Building (E, W)



Elevations – Phase 2 Building (N, S)



Elevations – Phase 2 Building (E, W)



Elevations – Phase 3 Building (N, S)



Elevations – Phase 3 Building (E, W)



Elevations – Phase 4 Building (N, S)



Elevations – Phase 4 Building (E, W)



Surrounding Neighborhood - Residential



Surrounding Neighborhood – MF & Commercial



2023 Massing Study



Financial Summary

- Applicant requesting impact fee waiver for all four phases of the project
 - Estimated from the 1,140 multi-family units in the application, this will be \$2,946,900
- To date, nine multi-family properties have been awarded roadway impact fee waivers pursuant NEZ
 - Total of the nine waivers is \$2,912,300

HPO Recommendation - Denial

- Staff recommends denial based on Guidelines for New Construction in the Neighborhood Empowerment Zone
 - **Height:**
 - All new construction in the NEZ should take into consideration **the general height of the buildings in the neighborhood** and shall also comply with the regulating zoning district.
 - **Massing:**
 - The term massing refers to **how the basic shapes of the building are fit together**. Massing can be very simple, such as a single rectangular shape, be more complex with an L-shape, or have a combination of shapes. Additional massing elements are also found among the different architectural styles. For example, in Victorian architecture, elements such as bays, towers, and turrets add to the basic massing of the house. Massing patterns of the neighborhood structures should be considered and reflected in the design of new construction in the NEZ. New construction in the NEZ shall also comply with the floor-area-ratios dictated by the regulating zoning district.

HPO Recommendation – Denial (cont)

- Staff recommends denial based on Guidelines for New Construction in the Neighborhood Empowerment Zone
 - **Scale:**
 - Scale is created by the architectural detailing that relates to the size of a human and by the **building mass as it relates to open space**. A large building on a small lot has a different appearance when compared to a large building on a large lot. This relationship should be considered when designing for a particular neighborhood. New construction in the NEZ should **observe the scale of surrounding and nearby structures**. The window and door lines should be similar to neighboring structures. The detailing should be consistent with the size of the building. For example, a small house should not have massive or oversized details and decorations.