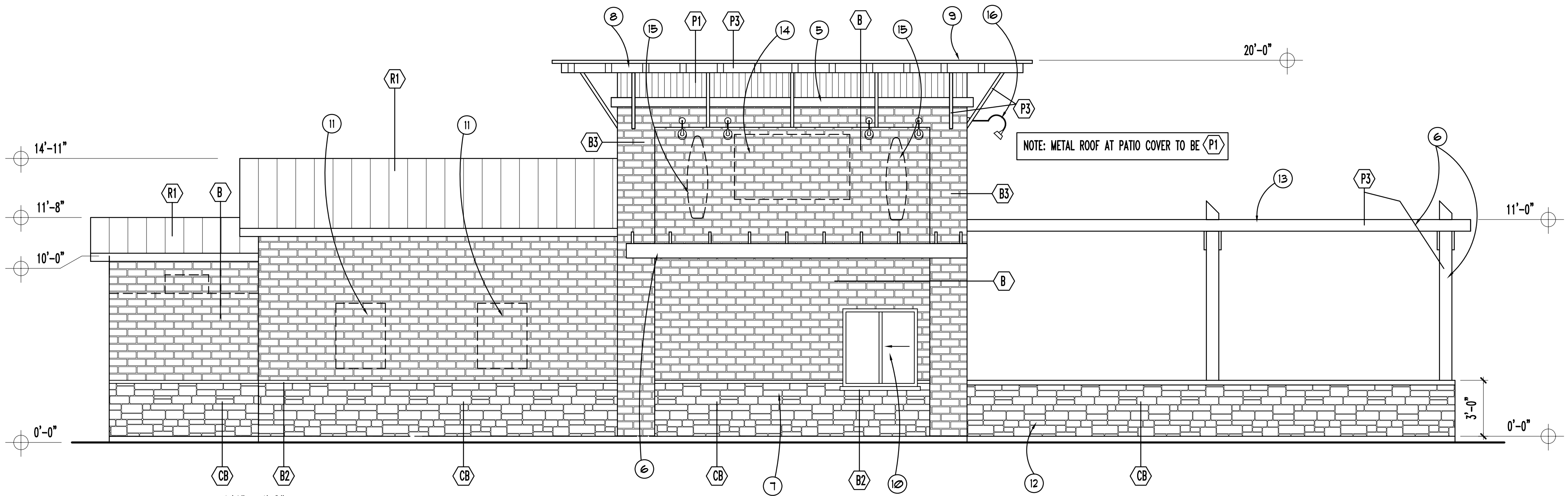
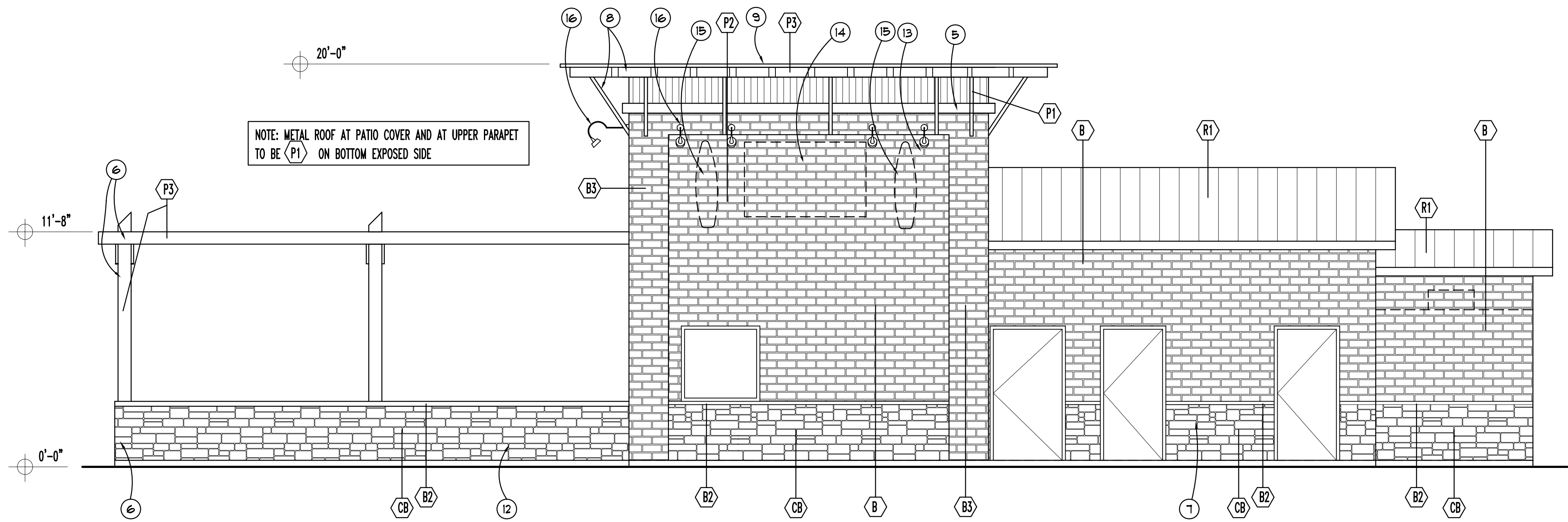
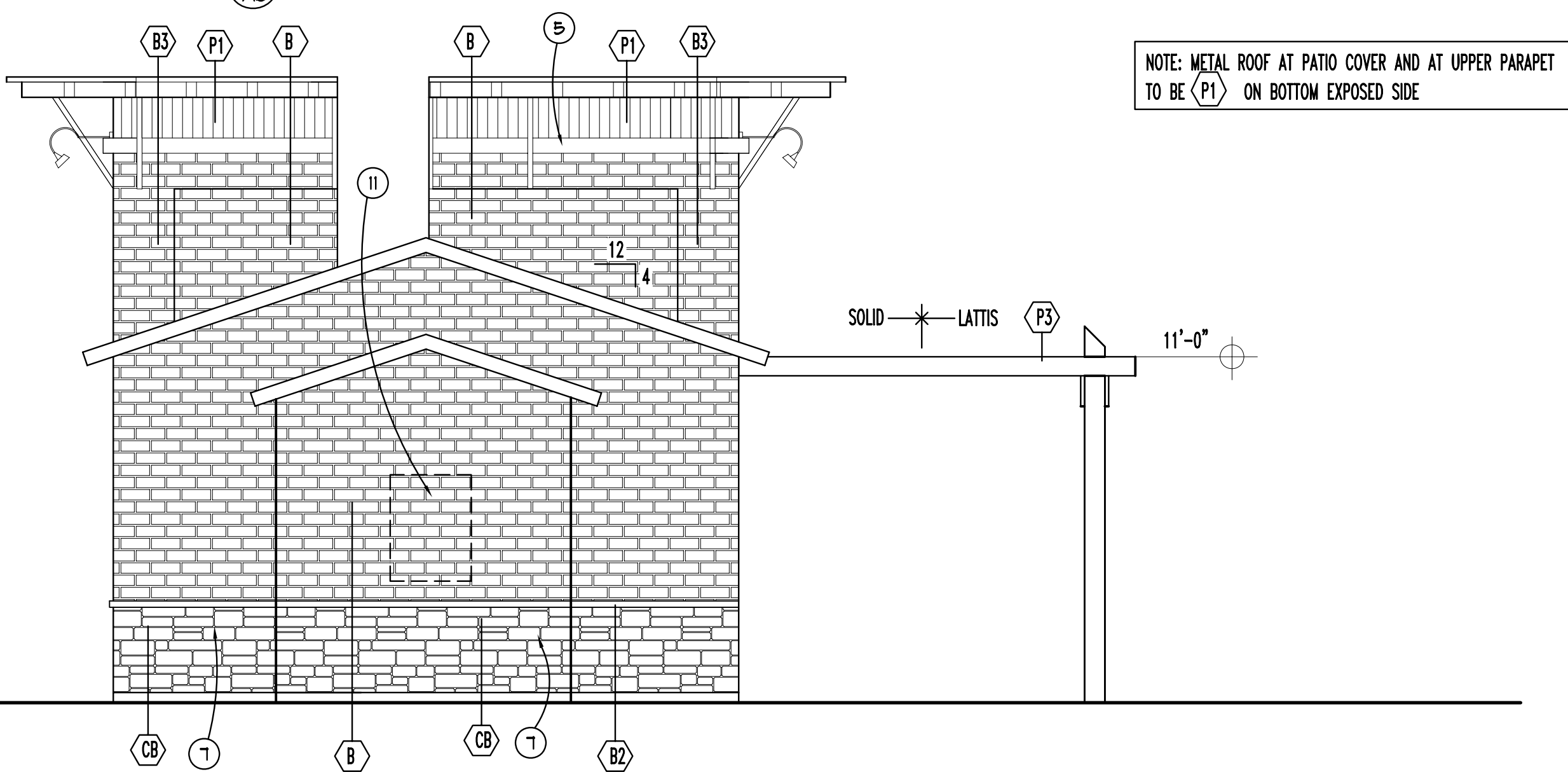




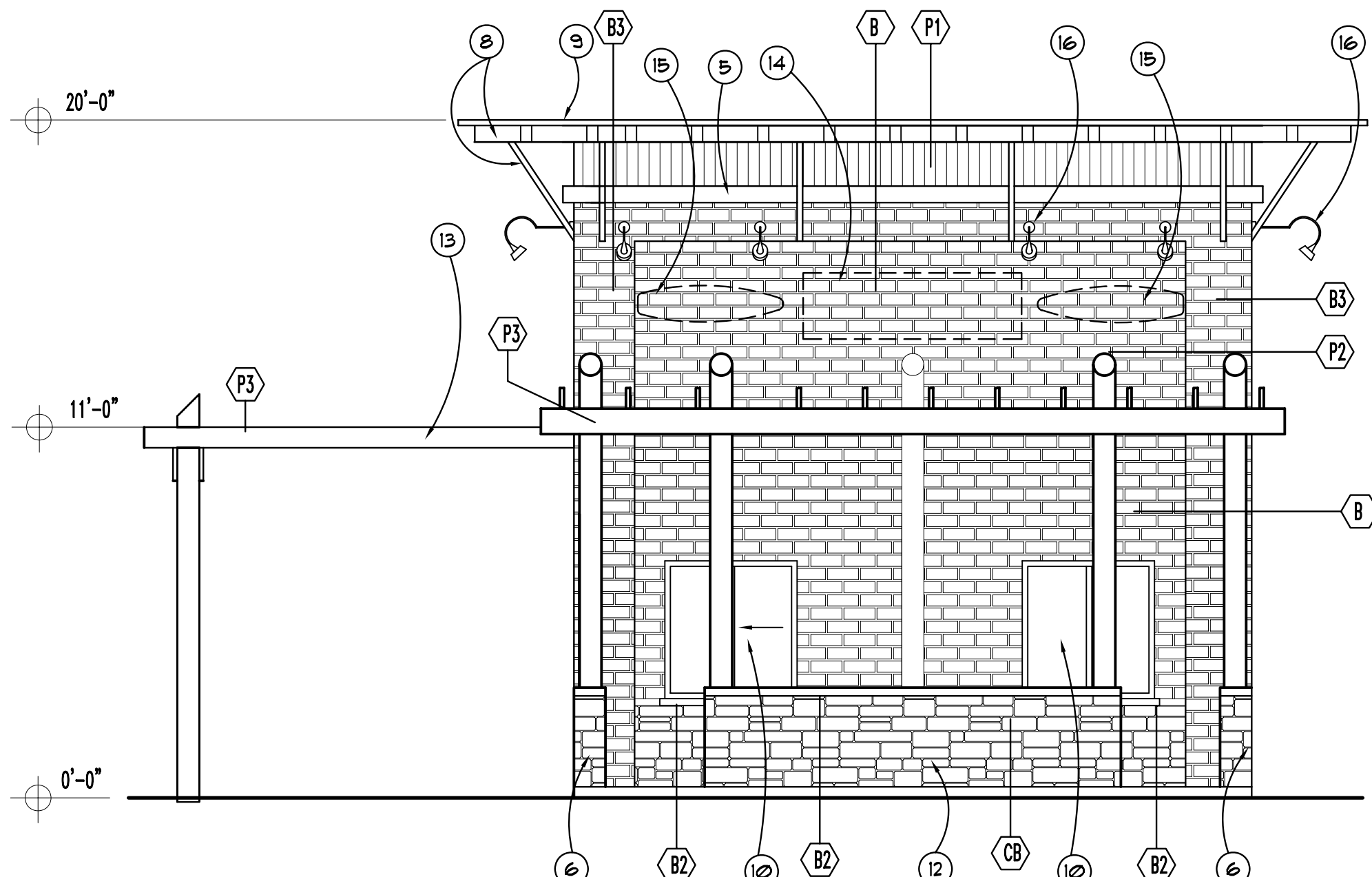
1/4" = 1'-0"
1
A6
ELEVATION



1/4" = 1'-0"
2
A6
ELEVATION



1/4" = 1'-0"
3
A6
ELEVATION



1/4" = 1'-0"
4
A6
ELEVATION

WALL PAINT SCHEDULE

COLOR STRIP #	COLOR NAME	PAINT NUMBER
P1	68 SURF SAIL	SW 1748
P2	39 MESA TAN	SW 7695
P3	B PURE WHITE	SW 7005

BASE STONE SCHEDULE

CB	VENEERSTONE AUSTIN LEDGE STONE 'CREEDE'
B	VENEERSTONE THIN BRICK (KING STONE) WINTER BLEND
B3	VENEERSTONE THIN BRICK (KING STONE) RED WITH BLACK
B2	VENEERSTONE ACCENTS 'ASH' (CAP AND TRIM)

ROOFING MATERIAL

R1	STANDING SEAM METAL ROOFING COLOR SURF SAIL (P1 ABOVE)
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MATERIALS CALCULATIONS TABLE

	TOTAL SURF. AREA	MATERIALS	SQ FTG.	%
N	2128 S.F.	STONE/BRICK	1795 SF	90%
		PAINTED METAL	198 SF	10%
		GLAZING/DOOR	135 SF	0%
S	381 S.F.	STONE/BRICK	312 SF	90%
		PAINTED METAL	37 SF	10%
		GLAZING/DOOR	32 SF	0%
E	713 S.F.	STONE/BRICK	356 SF	90%
		METAL	39 SF	10%
		GLAZING/DOOR	0 SF	0%
W	639 S.F.	STONE/BRICK	627 SF	90%
		METAL	70 SF	10%
		GLAZING/DOOR	16 SF	0%

ROOF AREA

PITCHED ROOF AREA = 474 SF (55%)
FLAT ROOF AREA = 384 SF (45%)

KEYNOTES:

- NOT USED
- NOT USED
- NOT USED
- NOT USED
- BRICK REVEAL TO BE COLOR 'B'
- PAINTED WOOD COLUMN AND COVER
- STONE VENEER
- PAINTED WOOD EAVE
- CORRUGATED METAL ROOF MCCI 'PBD', PREFINISHED
- WINDOW, GLASS TO MATCH CENTER
- 3' WIDE X 4' HIGH DISPLAY BOARD PROVIDED BY BBFC
- 36" HIGH MASONRY WALL
- PAINTED ROUGH SAWN 2X6
- SIGNAGE BY BBFC
- SURF BOARD PROVIDED BY BBFC
- LIGHT FIXTURE

ARCHITECTURAL ELEMENTS LIST

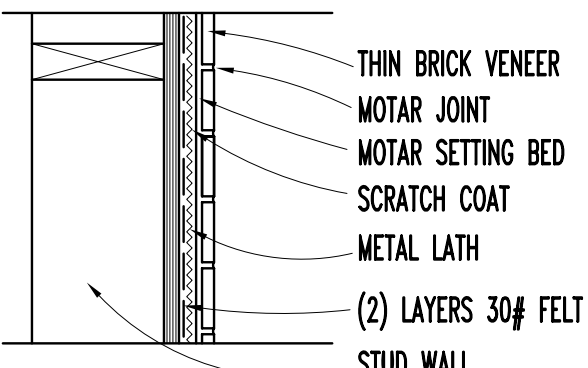
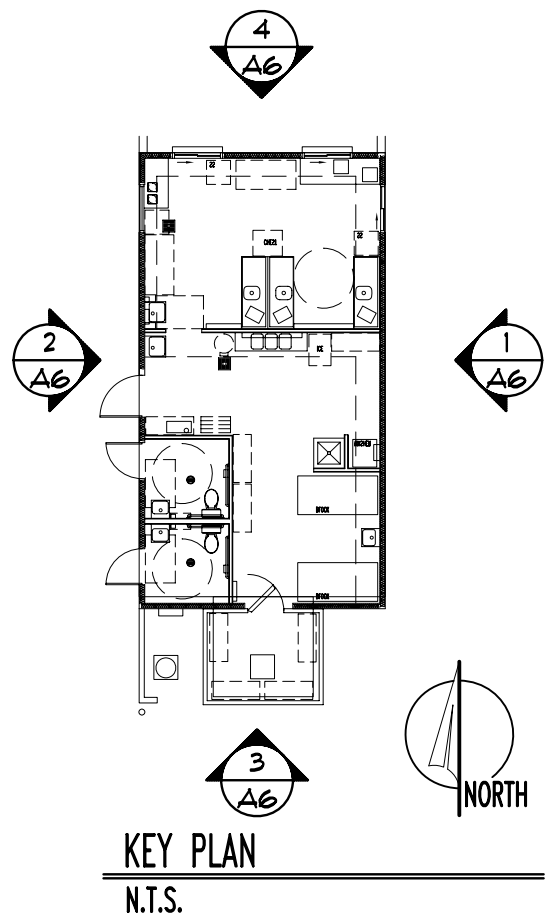
- CANOPIES, AWNINGS, OR PORTICOS
- RECESSES/PROJECTIONS
- OUTDOOR PATIO
- DISPLAY WINDOWS
- ARCHITECTURAL DETAILS (SUCH AS TILE WORK AND MOLDINGS) INTEGRATED INTO THE BUILDING FACADE
- ARTICULATED GROUND FLOOR LEVELS OR BASE
- ARTICULATED CORNICE LINE
- ACCENT MATERIALS (MAX 10% OF EXTERIOR FACADE)
- VARIED ROOF HEIGHTS

FACADE PLAN NOTES

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES
- ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY 146-132 SCREENING REQUIREMENTS
- ALL ROOF AND GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW OR ISOLATED SO AS NOT TO BE VISIBLE FROM ANY PUBLIC RIGHT-A-WAY OR RESIDENTIAL DISTRICT WITHIN 150 FEET OF THE SUBJECT LOT. MEASURED FROM A POINT 5 FEET ABOVE GRADE. SUCH SCREENING SHALL BE COORDINATED WITH THE BUILDING ARCHITECTURE AND SCALE TO MAINTAIN A UNIFIED APPEARANCE. PROPOSED SIGNS SHALL BE PERMITTED SEPARATELY IN ACCORDANCE WITH THE CITY OF MCKINNEY SIGN ORDINANCE
- ROOF ACCESS SHALL BE PROVIDED INTERNALLY, UNLESS OTHERWISE PERMITTED BY THE CHIEF BUILDING OFFICIAL

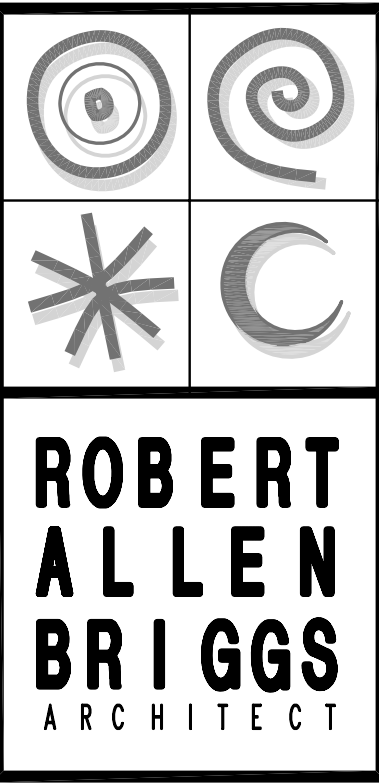
GENERAL NOTE

- LIGHTING FOR THE SUBJECT PROPERTY SHALL BE CONSTRUCTED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES

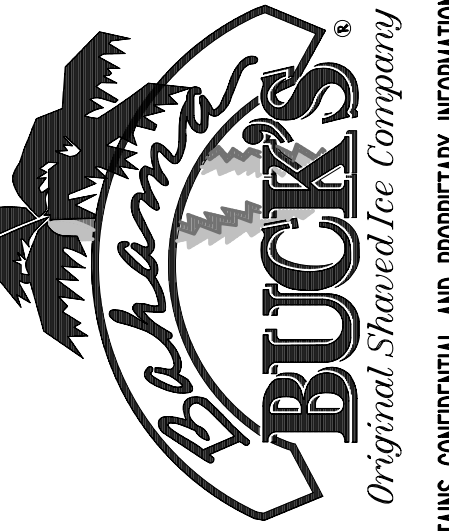


NOT TO SCALE

6
A6
VENEER DETAIL



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BAHAMA BUCKS
NEW BUILDING
PART LOT 2 VIRGINIA PARKWAY PROF. CENTER SOUTH
MCKINNEY, TEXAS

REVISION DATE



JOB NUMBER: 1249
DATE: 3-22-13
CONTENTS: EXTERIOR ELEVATIONS

A-6

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By Karen McCutcheon at 8:52 am, Mar 25, 2013