



INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.
REFER TO THE "SUBMITTAL REQUIREMENTS CHECKLIST"

By signing this Certificate of Appropriateness (COA) application, the applicant affirms:

- All submitted information for this application represents an accurate description of the proposed work.
- The applicant certifies that the project described in this application will be constructed in exact accordance with aforesaid plans and specifications.
- The applicant agrees to conform to all conditions of approval.
- It is understood that approval of this application by the Historic Preservation Officer or the Historic Preservation Advisory Board in no way constitutes approval of a building permit or other required City permit approvals.
- Filing an application does not guarantee approval.
- The COA becomes null and void if authorized construction does not commence within one year. This will require receiving a new CoA approval.
- Work completed in deviation from this Certificate of Appropriateness or without a Certificate of Appropriateness may result in fines and/or misdemeanor charges.

APPLICANT INFORMATION:

Applicant Name: Christian Morriss
Company: Bailey Brothers Builders, L.P.
Address: 1205 N. Waddill St.
City, State, Zip: McKinney, TX, 75069
Phone: 214-924-6433 Email: Christian@BaileyBrothersBuilders.com

PROPERTY OWNER INFORMATION: (Multiple property owners must complete and sign separate application).

Applicant Name: Jake Estes
Company: Estes Law Office, PLLC
Address: 105 N. Benge
City, State, Zip: McKinney, Texas 75069
Phone: (972) 418-2919 Email: jake@esteslawoffice.com

- ☐ I will represent the application myself; or
- ☒ I hereby designate Christian Morriss (applicant above) to act as my agent for submittal, processing, representation, and/or presentation of this application. The designee shall be the primary contact person for this application.
- ☒ I hereby certify that I am the owner of the property and certify that the information provided within this application is true and correct. By signing below, I agree that the City of McKinney is authorized and permitted to provide information contained within this application, including the email address, to the public and in response to a Public Information Request.

DIGITAL SIGNATURES ACCEPTED

Owner Signature:  Date: May 27, 2026

Letter of Intent

Date: May 26, 2026

City of McKinney
Planning Department
McKinney, Texas

RE: Letter of Intent – Monument Sign Installation

Property Address: 105 N Bengé St, McKinney, TX

To Whom It May Concern:

This Letter of Intent is submitted in support of the proposed installation of a new monument sign at the property located at 105 N Bengé St, McKinney, Texas.

Owner / Applicant Information

Christian Morriss
Bailey Brothers Builders, L.P.
Christian@baileybrothersbuilders.com
214-924-6433

Description of Proposed Work

The proposed work consists of the installation of a new monument sign intended to identify and advertise a future legal office to be located at the subject property.

The sign location will be identified on the accompanying survey and site documentation submitted with this application.

Scope of Exterior Work

- Structure: No modifications are proposed to the primary structure.
- Siding / Cladding: No changes proposed.
- Fencing: No changes proposed.
- Roof and Roofing Materials: No changes proposed.
- Trim and Decorative Elements: No changes proposed.
- Lighting: No sign lighting is proposed.
- Signage: Installation of a new monument sign.
- Proposed Materials: Brick and cast stone materials matching the existing house materials. Lettering will consist of black metal letters.
- Porches / Awnings: No changes proposed.
- Sidewalks / Steps / Walkways: No changes proposed.
- Windows: No changes proposed.
- Garages / Carriage Houses / Sheds / Carports: No changes proposed.
- Painting: No exterior painting proposed.
- Doors: No changes proposed.

Type of Work Proposed

- Signage
- Alteration

Current and Proposed Use of the Property

- Current Use: Vacant
- Proposed Use: Office / commercial use as a legal office

Current Condition of the Property

The property is currently in habitable condition and generally well maintained.

Property Location Description

The property is located at 105 N Benge St in McKinney, Texas. Exact placement of the proposed monument sign will be shown on the accompanying survey and site plan documentation.

Special Considerations

No variances are being requested at this time.

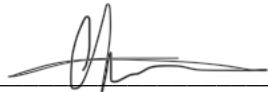
Certificate of Appropriateness Justification

The proposed monument sign has been designed to complement the existing architectural character and materials of the structure located on the property. The use of brick and cast stone materials consistent with the existing building, along with simple black metal lettering, is intended to maintain compatibility with the surrounding area and the architectural character of the property.

The proposed work is intended to comply with the applicable provisions of the City of McKinney Code of Ordinances and the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties.

Please contact me should additional information or documentation be required.

Sincerely,



Christian Morriss
Bailey Brothers Builders, L.P.
Christian@baileybrothersbuilders.com
214-924-6433

ORDINANCE NO. 2002-03-020

AN ORDINANCE AMENDING ZONING ORDINANCE NO. 1270 OF THE CODE OF ORDINANCES OF THE CITY OF MCKINNEY, TEXAS; SO THAT AN APPROXIMATELY 0.297 ACRE TRACT LOCATED AT THE SOUTHWEST CORNER OF BENGE STREET AND VIRGINIA PARKWAY, IS HEREBY REZONED FROM "RD-30" – DUPLEX RESIDENCE DISTRICT, TO "PD" – PLANNED DEVELOPMENT DISTRICT, GENERALLY FOR PROFESSIONAL OFFICE USES; PROVIDING REGULATIONS; PROVIDING FOR SEVERABILITY; PROVIDING FOR INJUNCTIVE RELIEF, PROVIDING FOR NO VESTED INTEREST; PROVIDING FOR THE PUBLICATION OF THE CAPTION OF THIS ORDINANCE; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

WHEREAS, the City of McKinney has considered the rezoning of an approximately 0.297 acre tract located at the southwest corner of Benge Street and Virginia Parkway, from "RD-30" – Duplex Residence District, to "PD" – Planned Development District, generally professional office uses; and,

WHEREAS, after due notice of the requested rezoning as required by law, and the required public hearings held before the Planning and Zoning Commission and the City Council of the City of McKinney, Texas, the City Council is of the opinion that the change in zoning district should be made.

NOW THEREFORE, BE IT HEREBY ORDAINED BY THE CITY COUNCIL OF THE CITY OF MCKINNEY, TEXAS, THAT:

Section 1. Zoning Ordinance No. 1270 of the City of McKinney is hereby amended so that an approximately 0.297 acre tract located at the southwest corner of Benge Street and Virginia Parkway, in the City of McKinney, Collin County, Texas, which is more fully depicted on Exhibit "A" attached hereto, is hereby rezoned from its present classification of "RD-30" – Duplex Residence District to "PD – Planned Development District, generally for professional office uses.

Section 2. Use and development of the subject property shall conform to the special ordinance provisions as follows:

1. Setbacks Requirements:

- | | | |
|-----|------------------------------|------------|
| (a) | Minimum Front Yard: | 25 feet |
| (b) | Minimum Rear Yard: | 25 feet |
| (c) | Minimum Side Yard: | 5 feet |
| (d) | Minimum Side Yard at Corner: | 15 feet |
| (e) | Minimum Lot Width: | 50 feet |
| (f) | Minimum Lot Depth: | 100 feet |
| (g) | Minimum Lot Coverage: | 40 percent |
| (h) | Maximum Height of Building: | 35 feet |

2. Parking Requirements:

- (a) Off-street parking shall be required on the property for a minimum of two (2) spaces if the structure is used for residential purposes and one (1) additional space for every 300 square

feet of floor space within the structure dedicated for nonresidential uses, excluding restrooms, hallways, kitchens, closets and foyers.

- (b) With site plan approval, a credit may be given for any available public parking that is accessible within 750 feet of the structure for the nonresidential parking requirement. If public parking is deemed not to be accessible, then the credit may be denied.
- (c) The driveway of the structure shall be used to meet some of the off-street parking requirements. No more than two cars shall be allowed in the existing driveway of the subject property and no more than three cars shall be allowed to park in the existing circle driveway of the subject property.

3. Landscape Requirements:

- (a) The Director of Planning shall have the authority to approve the landscape plan submitted with the site plan.
- (b) All landscaping shall be consistent with adjacent residential properties and have the same look and feel of a residential home.

4. Screening and Buffering Requirements:

- (a) Screening and buffering shall be required where the subject property backs to a residential use or zoning district.
- (b) A landscaping strip five feet (5') in width with a living screen shall be required along the rear of the property. The living screen must be a minimum of three feet (3') at time of planting. The City Arborist shall have the authority to approve the living screen.
- (c) Trash toters shall be required instead of dumpsters. All trash toters shall be screened from view with the use of a living screen or shall be kept in the rear of the property. The Director of Planning shall have the authority to approve trash toter screening.

5. Site and Building Requirements:

- (a) No window displays or exterior display of merchandise shall be allowed.
- (b) A site plan shall be required. A landscape plan shall be submitted with the site plan.
- (c) Structures used for nonresidential uses shall maintain their residential appearance.
- (d) The structure may be used for residential and permitted office uses concurrently.
- (e) The Historic Preservation Advisory Board shall have the authority to review and approve any exterior changes to the structure.

6. Lighting Requirements:

- (a) Exterior lighting, if used, shall be shielded, residential lighting, installed to minimize glare on adjacent properties.

- (b) The light source(s) shall be concealed so as not to be visible from adjoining properties.
- (c) Pole mounted lights shall not be taller than six feet (6').
- (d) The Director of Planning shall have the authority to approve all lighting for the property.

7. Signage.

- (a) The subject property shall be limited to one monument ground sign that shall not exceed 9 square feet in area and shall be no more than four feet (4') in height.
- (b) The sign shall be set back a minimum of ten feet (10') from any property line and shall not be set in the visibility triangle at the corner of the lot.
- (c) If a monument sign is not used, a nameplate sign not exceeding two square feet in area attached to the structure shall be permitted.
- (d) The illumination of signs shall not be permitted.
- (e) Flashing lights or neon signs shall not be permitted.
- (f) All signage is subject to review and approval by the Historic Preservation Advisory Board and the Residential Plans Examiner.

8. Limitation of uses.

- (a) All activities of permitted uses shall be conducted entirely within the structure.
- (b) The hours of operation shall be limited to between 7:00 a.m. and 7:00 p.m.
- (c) The following uses shall be allowed:
 - (1) Accessory building, residential
 - (2) Professional services including accounting, financial, insurance, legal, design, engineering, surveying, medical, dental, travel, real estate, and similar professional services
 - (3) Offices for outside sales (excluding retail sales or storage of goods for sale on the subject property)
 - (4) Offices for non-client based civic and non-profit agencies
 - (5) Neighborhood services including beauty salons, barber shops, shoe repair, watch, clock, camera and jewelry repair, tailor/seamstress, acting and music instruction, art gallery and photographic studios

Section 3.

If any section, subsection, paragraph, sentence, phrase or clause of this Ordinance shall be declared invalid for any reason whatsoever, such decision shall not affect the remaining portions of this Ordinance which shall remain in full force and effect, and to this end, the provisions of this Ordinance are declared to be severable.

Section 4.

It shall be unlawful for any person, firm or corporation to develop this property, or any portion thereof, in any manner other than is authorized by this Ordinance, and upon conviction therefore, shall be fined any sum not exceeding \$2000.00, and each day that such violation shall continue shall be considered a separate offense. These penal provisions shall not prevent an action on behalf of the City of

McKinney to enjoin any violation or threatened violation of the terms of this Ordinance, or an action for mandatory injunction to remove any previous violation hereof.

Section 5.

That no developer or property owner shall acquire any vested interest in this Ordinance, the Planned Development, or specific regulations contained herein. The ordinance, and the subsequent site plans (if any) and regulations may be amended or repealed by the City Council of the City of McKinney, Texas, in the manner provided by law.

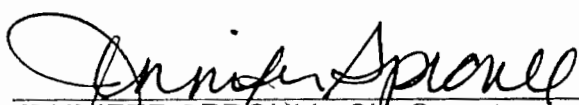
Section 6.

The caption of this Ordinance shall be published one time in a newspaper having general circulation in the City of McKinney, and shall become effective upon such publication.

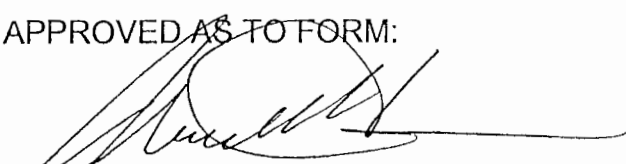
**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF
McKINNEY, TEXAS, ON THIS 5th DAY OF MARCH, 2002.**

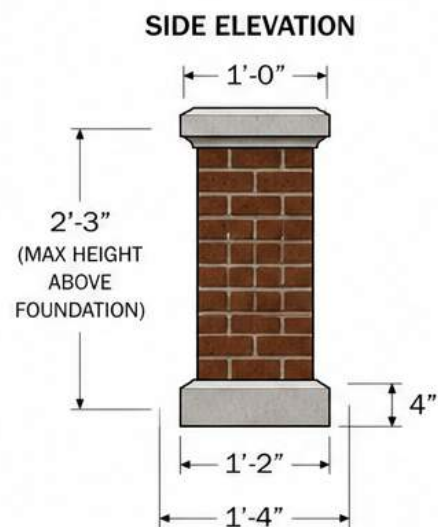
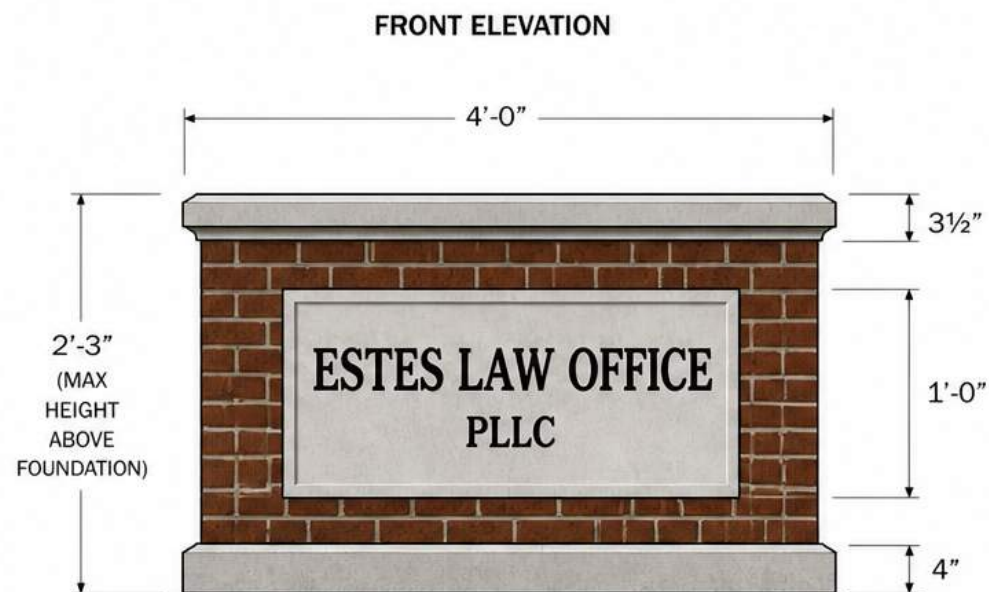

DON DOZIER, Mayor

ATTEST:


JENNIFER SPROULL, City Secretary
BEVERLY COWINGTON, Deputy City Secretary

APPROVED AS TO FORM:


MARK S. HOUSER, City Attorney



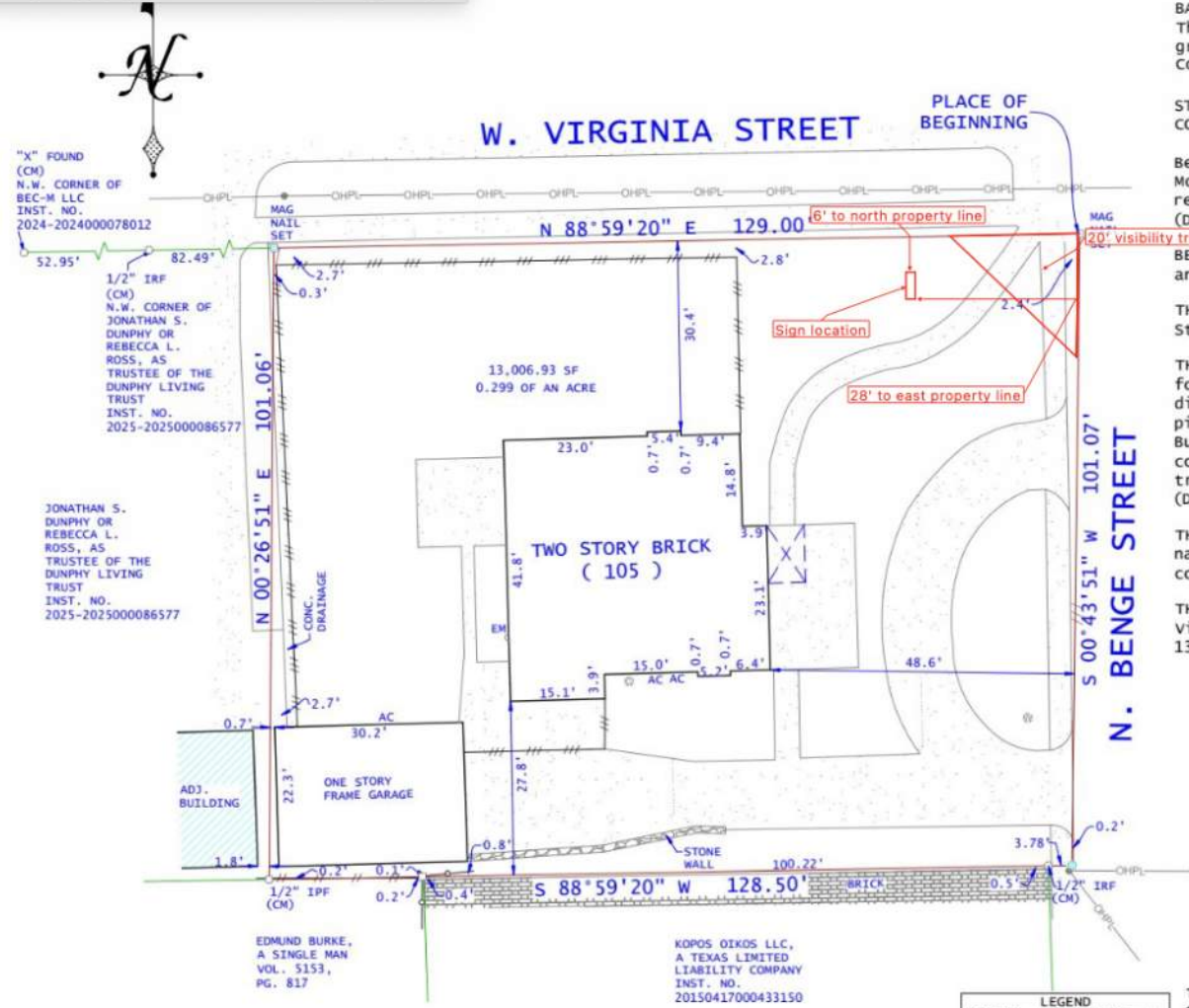
DIMENSION SUMMARY

- Overall Width: 4'-0"
- Overall Height Above Foundation (Max): 2'-3" (2.25')
- Overall Depth: 1'-4" 1'-4"
- Total Area Above Foundation (Front Face): 8.88 SQ FT

*Note: Foundation not included in height measurement.
All dimensions are approximate.*







Bearings shown hereon are referenced to the Texas Coordinate System of 1983, North Central Zone (4202), and are based upon the North American Datum of 1983 (NAD 83), 2011 Adjustment, Epoch 2010.



LEGEND	
WOOD FENCE	IRON FENCE
CHAIN LINK	WIRE FENCE
BOUNDARY LINE	
EASEMENT SETBACK	
CM - CONTROLLING MONUMENT	
HD - MONUMENT OF RECORD DIGNITY	
POINT FOR CORNER	
1/2" IRON ROD WITH CAP STAMPED	
"BURNS SURVEYING" SET	
8-GIT FOUND OR SET (AS NOTED)	
FENCE POST FOR CORNER	
MONUMENT FOUND	
EH - ELECTRIC METER	
○ - CABLE	○ - ELECTRIC
○ - CLEAN OUT	○ - POOL EQUIP
○ - GAS METER	○ - POWER POLE
○ - FIRE HYDRANT	○ - TELEPHONE
○ - LIGHT POLE	○ - WATER METER
○ - MANHOLE	○ - WATER VALVE
(UNLESS OTHERWISE NOTED)	

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366

BOUNDARY SURVEY

BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 105 N. BENGE STREET, in the City of MCKINNEY, COLLIN County, Texas.

STATE OF TEXAS:
COUNTY OF COLLIN:

Being all of Lot 211 and part of Lot 224, Block 52 of the Old Donation to the City of McKinney, Collin County, Texas, being the same land described in deed to Sharon M. Daerr, recorded in Instrument No. 20101222001408270, Deed Records, Collin County, Texas (D.R.C.C.T.) and being more particularly described as follows:

BEGINNING at a mag nail set at the intersection of the South line of W. Virginia Street and in the West line of N. Bengé Street, at the Northeast corner of said Daerr tract;

THENCE South 00 degrees 43 minutes 51 seconds West, with the said West line of N. Bengé Street, a distance of 101.07 feet to a point for corner;

THENCE South 88 degrees 59 minutes 20 seconds west, passing a 1/2 inch iron rod found for reference, a distance of 3.78 feet passing a fence post found for reference, a distance of 100.22 feet and continuing a total distance of 128.50 feet to a 1/2 inch iron pipe found for corner in the North line of a tract of land described in deed to Edmund Burke, a single man, recorded in Volume 5153, Page 817 (D.R.C.C.T.), at the Southeast corner of a tract of land described in deed to Jonathan S. Dunphy or Rebecca L. Ross, as trustee of the Dunphy living trust, recorded in Instrument No. 2025-2025000086577 (D.R.C.C.T.);

THENCE North 00 degrees 26 minutes 51 seconds East, a distance of 101.06 feet to a mag nail set for corner in the said South line of W. Virginia Street, at the Northeast corner of said Dunphy tract;

THENCE North 88 degrees 59 minutes 20 seconds East, with the said South line of W. Virginia Street, a distance of 129.00 feet to the PLACE OF BEGINNING and containing 13,006.93 square feet or 0.299 of an acre of land.

ACCEPTED BY: _____

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated. TITLE AND ABSTRACTING WORK FURNISHED BY CAPITAL TITLE

Scale: 1" = 20'
Date: 10/06/2025
G. F. No.: 25-889935-JF
Job no.: 202508663
Drawn by: CMR

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR CAPITAL TITLE

2701 SUNSET RIDGE DRIVE, STE 303
ROCKWALL, TEXAS 75032
FIRM REGISTRATION NO. 10194366

BOUNDARY SURVEY

BURNS
SURVEYING

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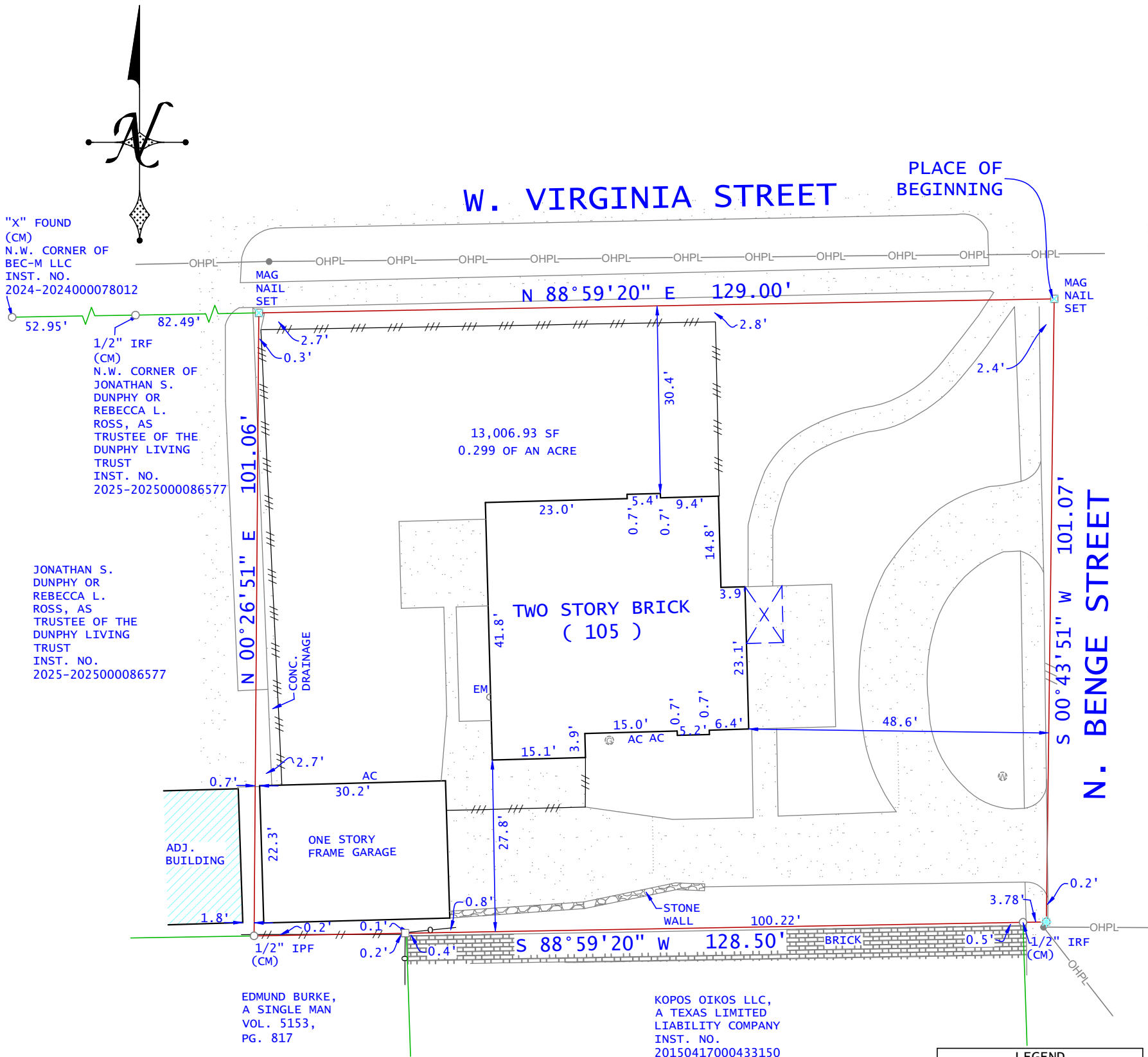
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KOPOS OIKOS LLC,
A TEXAS LIMITED
LIABILITY COMPANY
INST. NO.
20150417000433150



LEGEND			
WOOD FENCE	---	IRON FENCE	---
CHAIN LINK	---	WIRE FENCE	---
BOUNDARY LINE	---		
EASEMENT SETBACK	---		
CM - CONTROLLING MONUMENT			
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L - LIGHT POLE		T - TELEPHONE	
M - MANHOLE		W - WATER METER	
		V - WATER VALVE	
(UNLESS OTHERWISE NOTED)			

ACCEPTED BY: _____

Capital Title
A Shaddock Company

This parcel depicted hereon is a true, correct, and accurate representation of the property as determined by survey; The lines and dimensions of said property being as indicated by the plat; The size, location, and type(s) of building(s) are as shown, all improvements being within the boundaries of the property setback from the property lines the distance indicated.
TITLE AND ABSTRACTING WORK FURNISHED BY CAPITAL TITLE
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

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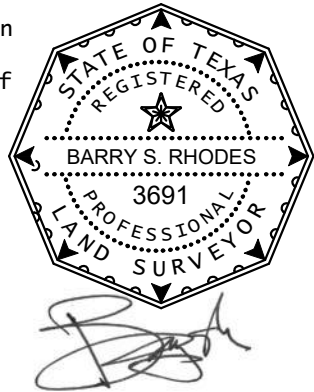
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CAPITAL TITLE



[illegible]

NO. 92-24361