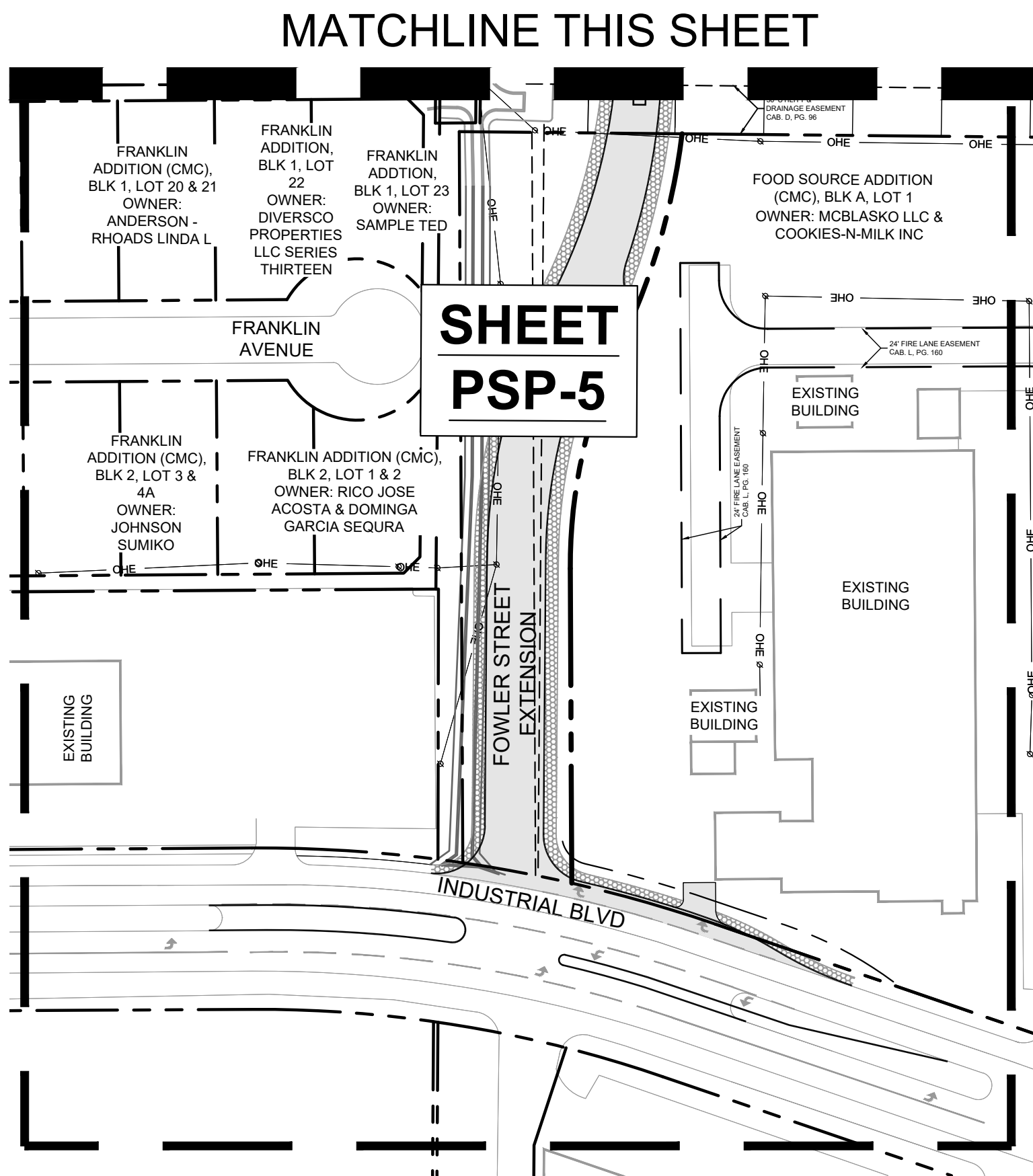
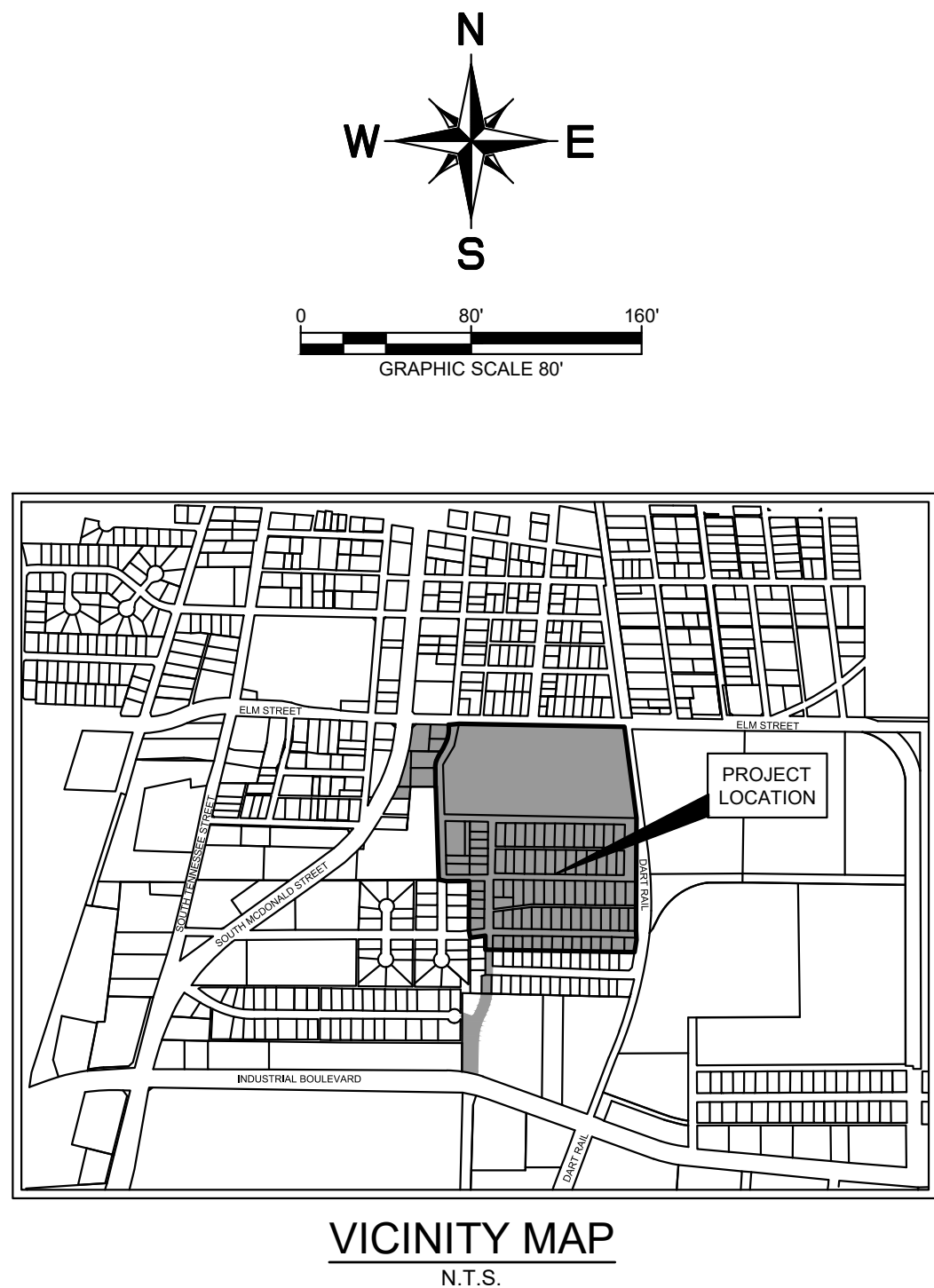
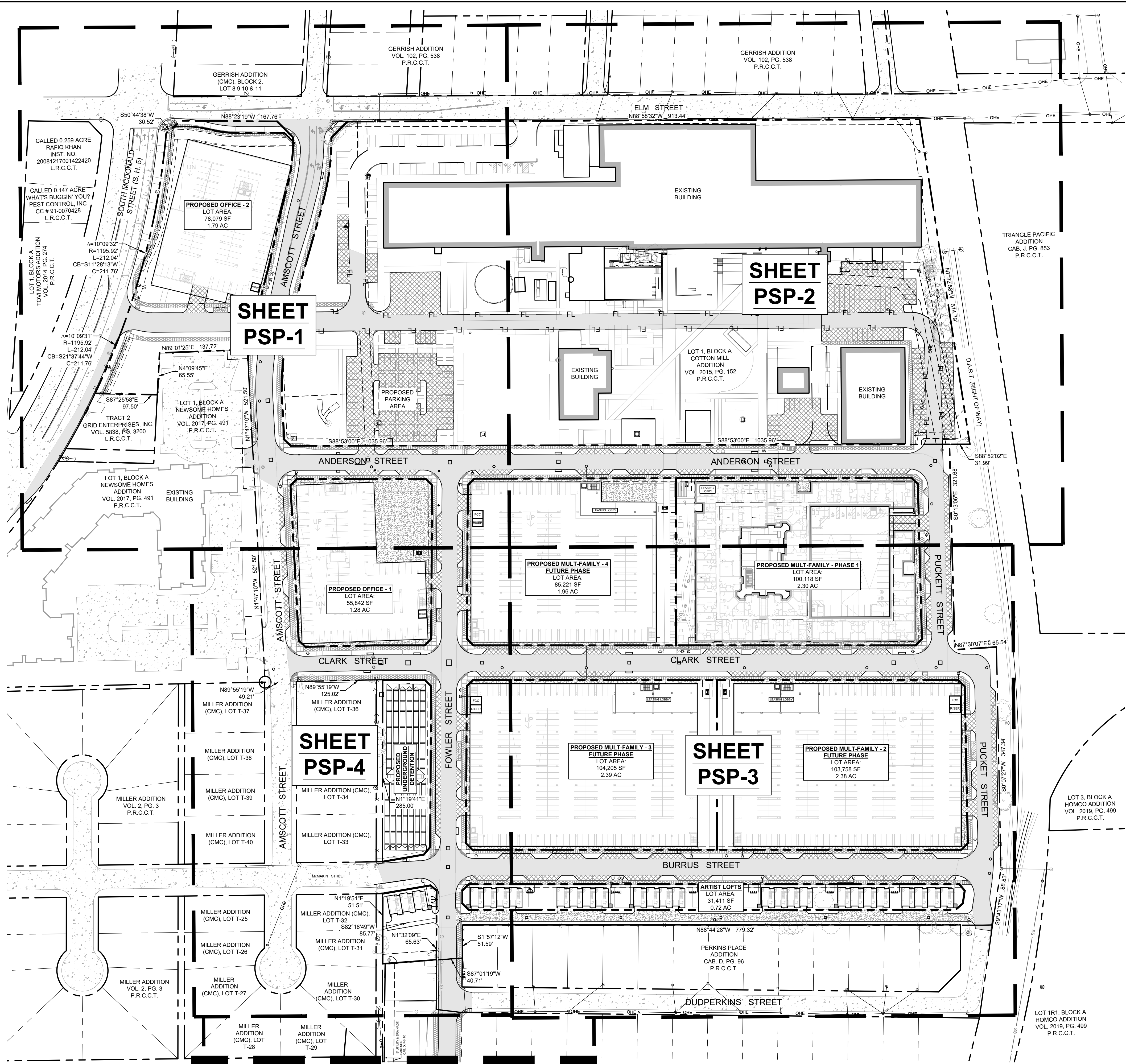


Plotted By: Cotarrubius, Raphael Date: April 14, 2025 11:34:54am File Path: K:\DAL CIVIL\06928111 - Cotton Mill\CastPlan\Sheets\ Draft\Exp\Overall Site Plan.dwg
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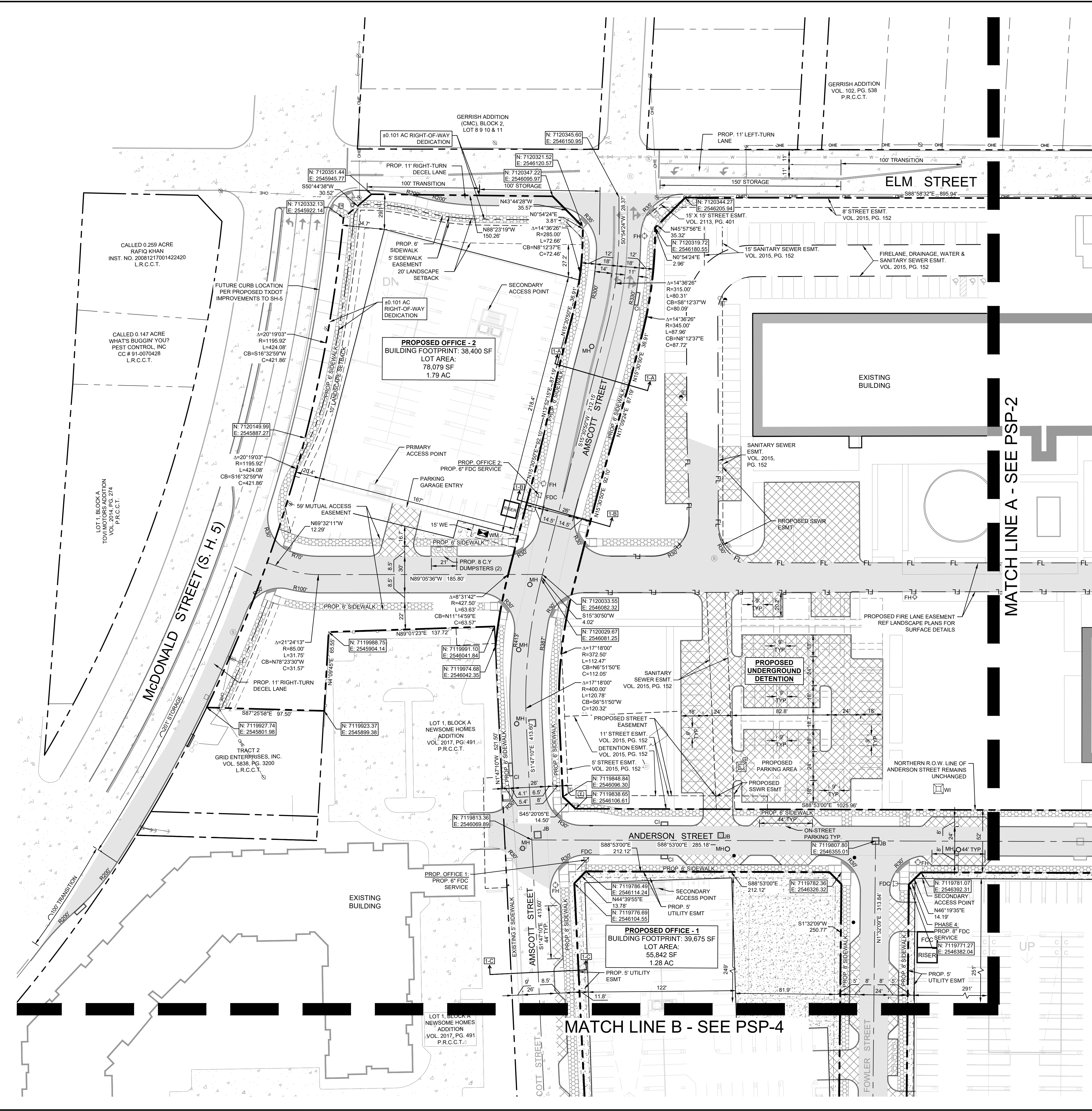
- SITE PLAN NOTE:
1. FOWLER STREET EXTENSION IS NOT REQUIRED UNTIL DEVELOPMENT OF AN OFFICE OR RESIDENTIAL MULTI-FAMILY BUILDING BEYOND THE MULTI-FAMILY BUILDING IDENTIFIED AS PHASE 1 IN THIS SITE PLAN.

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Approved by the Planning Dept.
06/03/2025

2600 N. CENTRAL EXPRESSWAY, SUITE 400
RICHARDSON, TX 75080
PHONE: 972-707-1300
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TPE Firm No. 628

KHA PROJECT	06928111	DATE	04/14/2025	SCALE	AS SHOWN	DESIGNED BY	RPS	DRAWN BY	RPS	CHECKED BY	RCL
COTTON MILL ELM STREET, MCKINNEY, COLLIN COUNTY, TEXAS											
OVERALL SITE PLAN											
SHEET NUMBER											BY
PSP-0											DATE
REVISIONS											No.

Plotted By: Cotnam, R. Date: April 14, 2025 11:35:02am File Path: K:\DAL Civil\060924811 - Cotton Mill\SitePlan\Sheet\060924811 - Cotton Mill\SitePlan\Sheet.dwg Plot Date: 04/14/2025 11:35:02am File Path: K:\DAL Civil\060924811 - Cotton Mill\SitePlan\Sheet\060924811 - Cotton Mill\SitePlan\Sheet.dwg



VICINITY MAP
N.T.S.

CITY OF MCKINNEY SITE PLAN NOTES:

- THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
- MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.
- ALL FIRE HYDRANTS AND WATER METERS ARE CENTERED IN 15' WIDE WATER EASEMENTS. EASEMENTS EXTEND 5' BEYOND THE CENTER OF THE HYDRANT/METER.
- CLEANOUTS SHALL BE PROVIDED FOR ALL SANITARY SEWER SERVICE LINES, AND SHALL BE LOCATED AS NEAR TO THE PROPERTY LINE AS POSSIBLE.
- REMOTE FDC'S SHALL BE PROTECTED BY BOLLARDS. CIVIL ENGINEERING PLANS SHALL PROVIDE DETAILS.
- REMOTE FDC SIGNS SHALL BE PROVIDED AS REQUIRED BY IFC SECTION 511. WAYFARING SIGNS IN ACCORDANCE WITH IFC SECTION 505.3, AS AMENDED, WILL BE REQUIRED.

LEGEND

FL	PROPOSED FIRE LANE
FL	EXISTING PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PARKING
	PROPOSED BUILDING
	EXISTING CONTOUR LINE - MAJOR
	EXISTING CONTOUR LINE - MINOR
	BARRIER FREE RAMP (BFR)
	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
WM	WATER METER (AND VAULT)
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
TYP	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

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Approved by the Planning Dept.
06/03/2025

SITE PLAN
COTTON MILL ADDITION
32.10 Acres
Southeast Corner of Elm St.
& McDonald St. (S.H. 5)
City of McKinney, Collin County, Texas
Subdivision

Owner/Developer
Presidium Cotton Mill LLC
3100 McKinnon, Suite 250
Dallas, TX 75201
Contact: Josh Eames
Phone: (699) 602-8106

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COTTON MILL
ELM STREET,
MCKINNEY, COLLIN COUNTY, TEXAS

SITE PLAN

KHA PROJECT	069258111	DATE	04/14/2025	SCALE	AS SHOWN	DESIGNED BY	RPS	DRAWN BY	RPS	CHECKED BY	RCL
SHEET NUMBER PSP-1											

REVISIONS

No.	DATE	BY



VICINITY MAP
N.T.S.

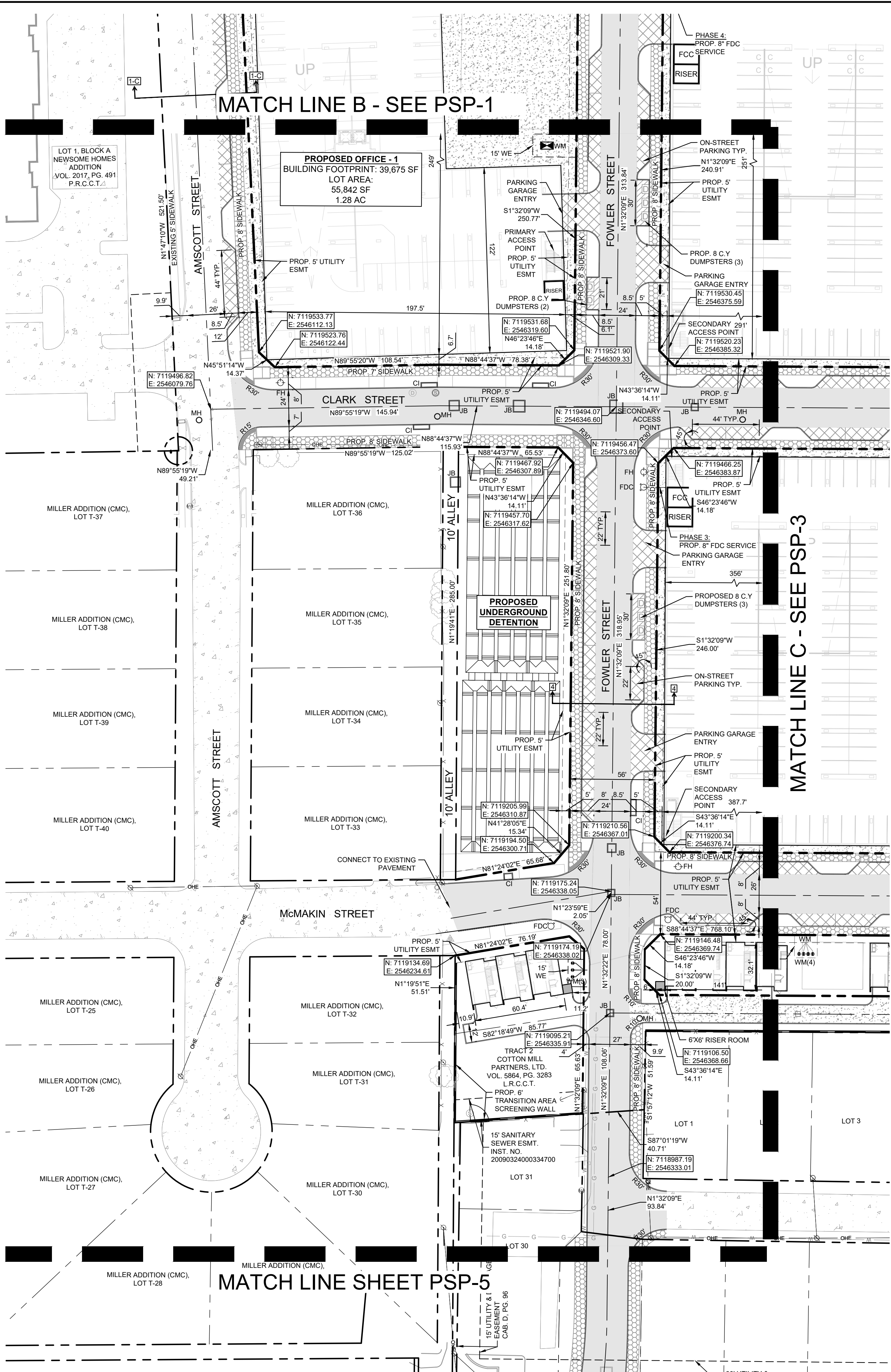
1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SIDE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF DENVER SPECIFICATIONS.
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8. DEVELOPER WILL REQUIRE DUMPMSTER SHARING AGREEMENT BETWEEN LOTS 33R AND 33R.



- | | |
|--|-------------------------------|
| | PROPOSED FIRE LANE |
| | EXISTING PAVEMENT |
| | PROPOSED SIDEWALK |
| | PROPOSED CONCRETE PAVEMENT |
| | PROPOSED PARKING |
| | PROPOSED BUILDING |
| | EXISTING CONTOUR LINE - MAJOR |
| | EXISTING CONTOUR LINE - MINOR |
| | BARRIER FREE RAMP (BFR) |
| | ACCESSIBLE PARKING SYMBOL |
| | NUMBER OF PARKING SPACES |
| | WATER METER (AND VAULT) |
| | FIRE HYDRANT |
| | FIRE DEPARTMENT CONNECTION |
| | SANITARY SEWER MANHOLE |
| | TRANSFORMER PAD |
| | CURB INLET |
| | GRATE INLET |
| | JUNCTION BOX OR WYE INLET |
| | HEADWALL |
| | TYPICAL |
| | SANITARY SEWER EASEMENT |
| | WATER EASEMENT |
| | DRAINAGE EASEMENT |
| | BARRIER FREE RAMP |
| | SIDEWALK |
| | BUILDING LINE/SETBACK |
| | CURB INLET |
| | GRATE INLET |
| | WYE INLET |
| | JUNCTION BOX |
| | MANHOLE |
| | EXISTING |
| | PROPOSED |

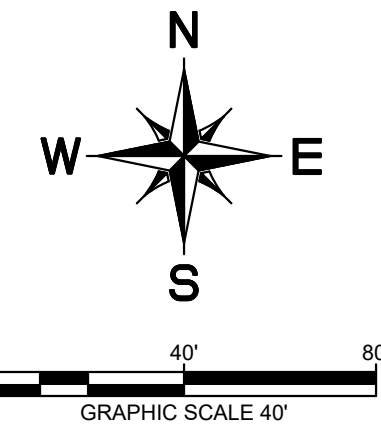
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1. FOWLER STREET EXTENSION IS NOT REQUIRED UNTIL DEVELOPMENT OF AN OFFICE OR RESIDENTIAL BUILDING BEYOND THE MULTI-FAMILY BUILDING IDENTIFIED AS PHASE 1 IN THIS SITE PLAN.



	PROPOSED FIRE LANE
	EXISTING PAVEMENT
	PROPOSED SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED PARKING
	PROPOSED BUILDING
	EXISTING CONTOUR LINE - MAJOR
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	ACCESSIBLE PARKING SYMBOL
	NUMBER OF PARKING SPACES
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	SANITARY SEWER MANHOLE
	TRANSFORMER PAD
	CURB INLET
	GRATE INLET
	JUNCTION BOX OR WYE INLET
	HEADWALL
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SSE	SANITARY SEWER EASEMENT
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DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING LINE/SETBACK
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
EX	EXISTING
PROP.	PROPOSED

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8. DEVELOPER WILL REQUIRE DUMPER SHARING AGREEMENT BETWEEN LOTS 3AR AND 3BR.

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COTTON MILL
ELM STREET,
MCKINNEY, COLLIN COUNTY, TEXAS

SITE PLAN

SHEET NUMBER

PSP-5

No.	REVISIONS	DATE	BY
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REVISIONS

No.	
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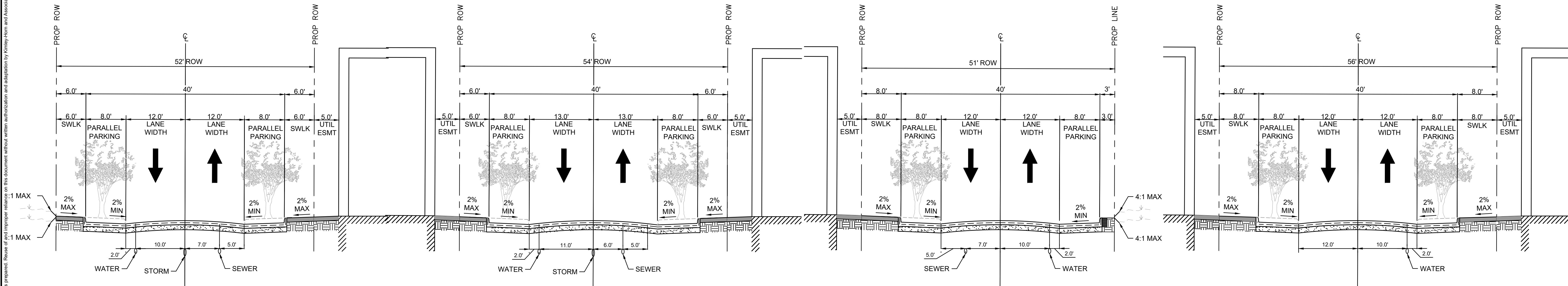
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SITE DATA SUMMARY TABLE							
GENERAL SITE DATA	MF1 - PHASE 1 (NE)	MF2 - FUTURE PHASE (SE)	MF3- FUTURE PHASE (SW)	MF4 - FUTURE PHASE (NW)	OFFICE 1	OFFICE 2	ARTIST LOFTS
ZONING	MTC - CMC	MTC - CME/CMC	MTC - CME/CMC	MTC - CMC	MTC - CME	MTC - CMC	MTC - CME
LAND USE	MULTI-FAMILY	MULTI-FAMILY	MULTI-FAMILY	MULTI-FAMILY	OFFICE	OFFICE	MULTI-FAMILY
LOT AREA (SQ. FT.)	100,018	103,758	104,205	85,221	55,842	78,079	31,409
LOT AREA (ACRES)	2.30	2.38	2.39	1.96	1.28	1.79	0.72
DWELLING UNITS	257	318	318	247	NA	NA	27
BUILDING FOOTPRINT AREA (SQ. FT.)	52,849	70,301	70,301	54,550	39,675	38,400	700
BUILDING GROSS AREA (SQ. FT.)	271,331	351,505	351,505	272,750	79,350	115,200	8,400
BUILDING HEIGHT (FT/STY)	58.28/5	83.28/7	83.28/7	60/4	60/4	60/4	35.58/3
PARKING STRUCTURE FOOTPRINT AREA (SQ. FT.)	20,327	90,826	90,826	69,670	39,675	38,400	NA
PARKING STRUCTURE GROSS AREA (SQ. FT.)	120,658	181,652	181,652	139,340	119,025	115,200	NA
TOTAL GROSS AREA (SQ. FT.)	391,989	533,157	533,157	412,090	198,375	230,400	56,700
LOT COVERAGE	73.16%	87.55%	87.16%	81.75%	76.13%	49.18%	60.17%
FLOOR AREA RATIO	3.9:1	3.4:1	3.4:1	3.2:1	1.5:1	1.5:1	1.8:1
PARKING							
REQUIRED PARKING RATIO	1 SP / UNIT	1 SP / UNIT	1 SP / UNIT	1 SP / UNIT	1 SP / 400 SF	1 SP / 400 SF	1 SP / UNIT
REQUIRED PARKING	257	318	247	198	288	288	31
PARKING PROVIDED (SPACES)	307	447	447	335	294	228	54
HANDICAP PARKING REQUIRED	6.14	8.94	8.94	6.7	9	9	N/A
HANDICAP PARKING PROVIDED	7	9	9	7	9	9	N/A
*PODIUM STYLE PARKING STRUCTURES							

ON-STREET PARKING PROVIDED
135 SPACES
COTTON MILL OFF-STREET PARKING PROVIDED
193 SPACES

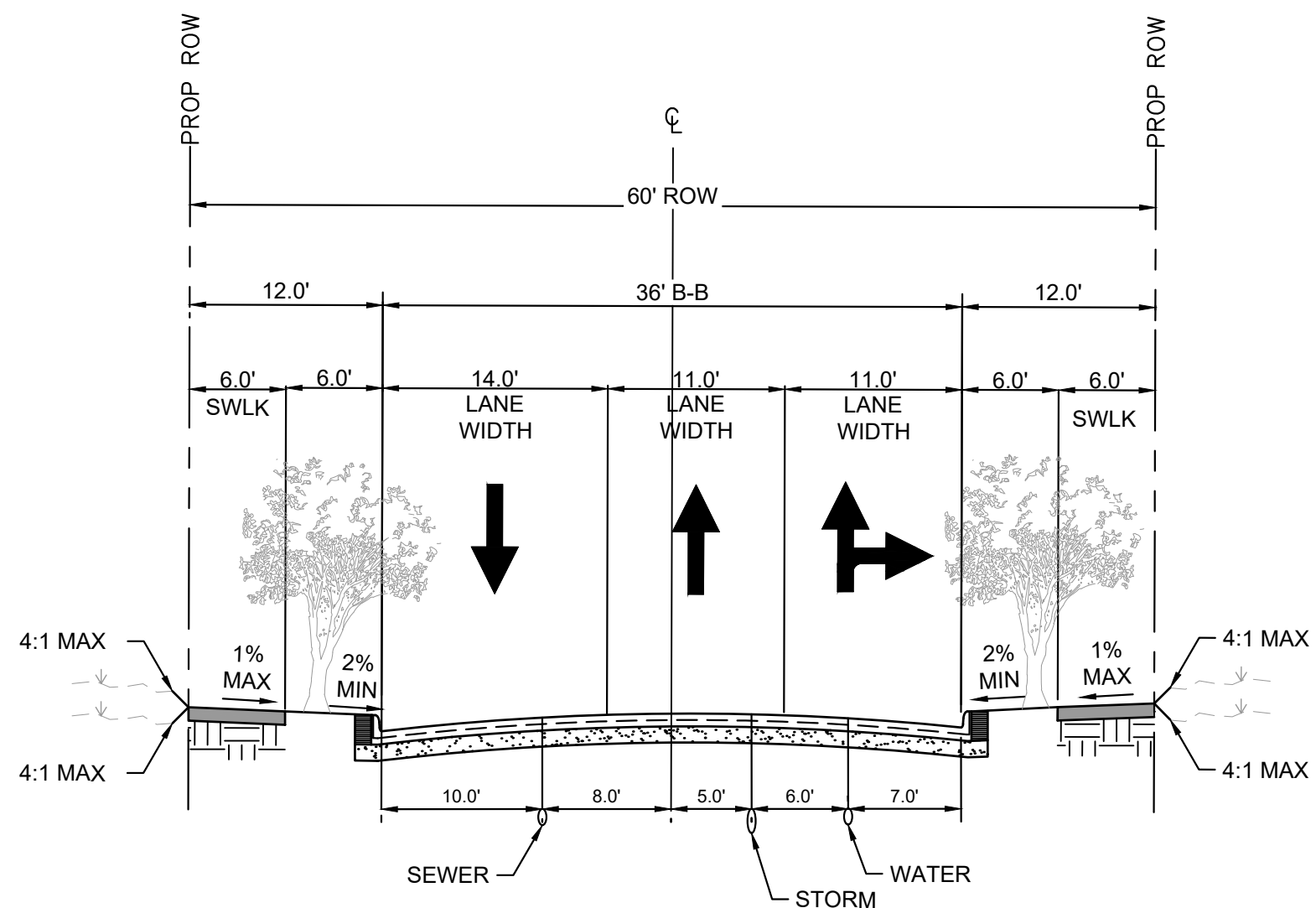


2 2-LANE UNDIVIDED CONCRETE
ANDERSON STREET (WITH PARALLEL PARKING)
SCALE: H: 1"=10'
V: 1"=5'

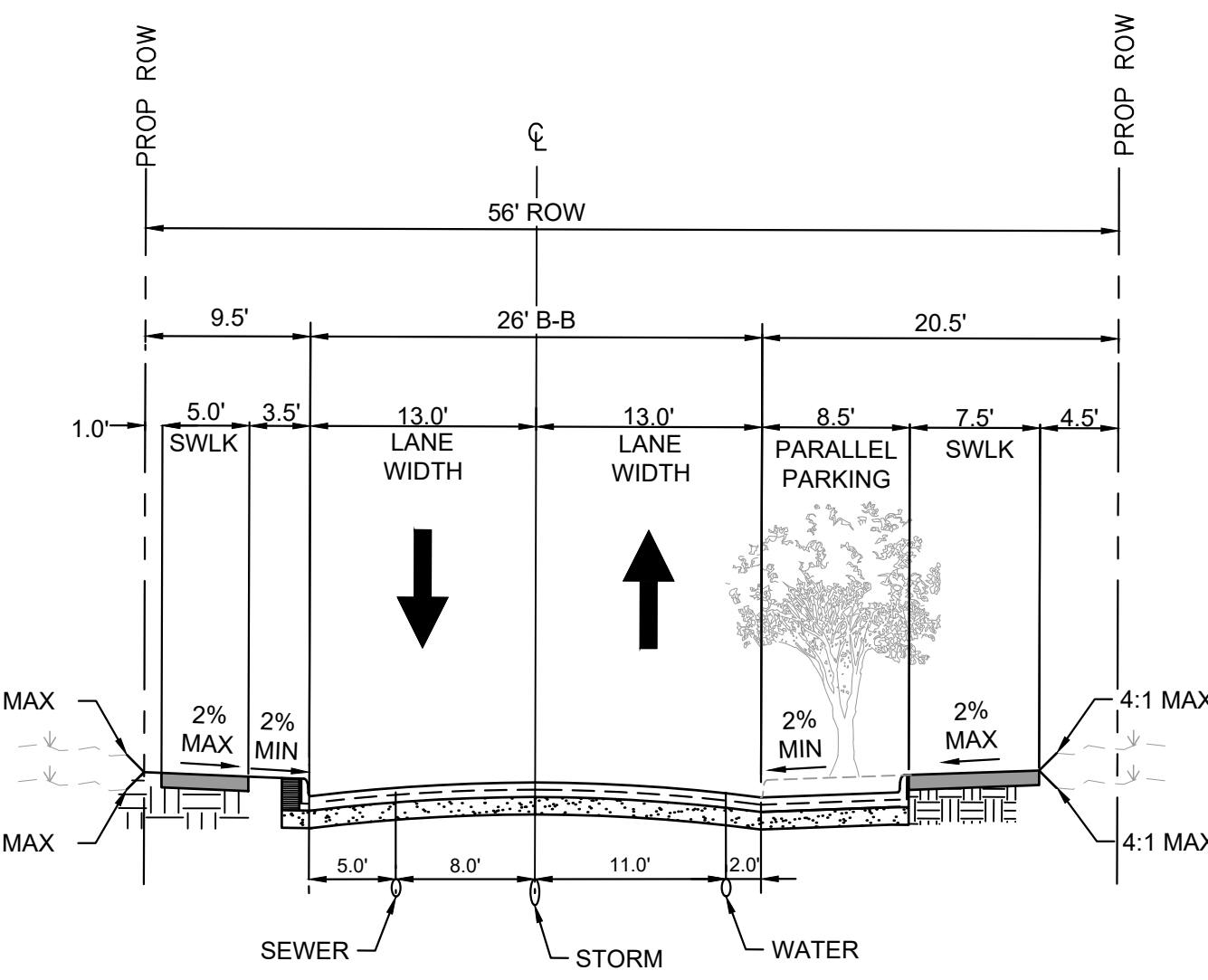
3 2-LANE UNDIVIDED CONCRETE
CLARK/BURRUS STREET (WITH PARALLEL PARKING)
SCALE: H: 1"=10'
V: 1"=5'

4 2-LANE UNDIVIDED CONCRETE
PUCKETT STREET (WITH PARALLEL PARKING)
SCALE: H: 1"=10'
V: 1"=5'

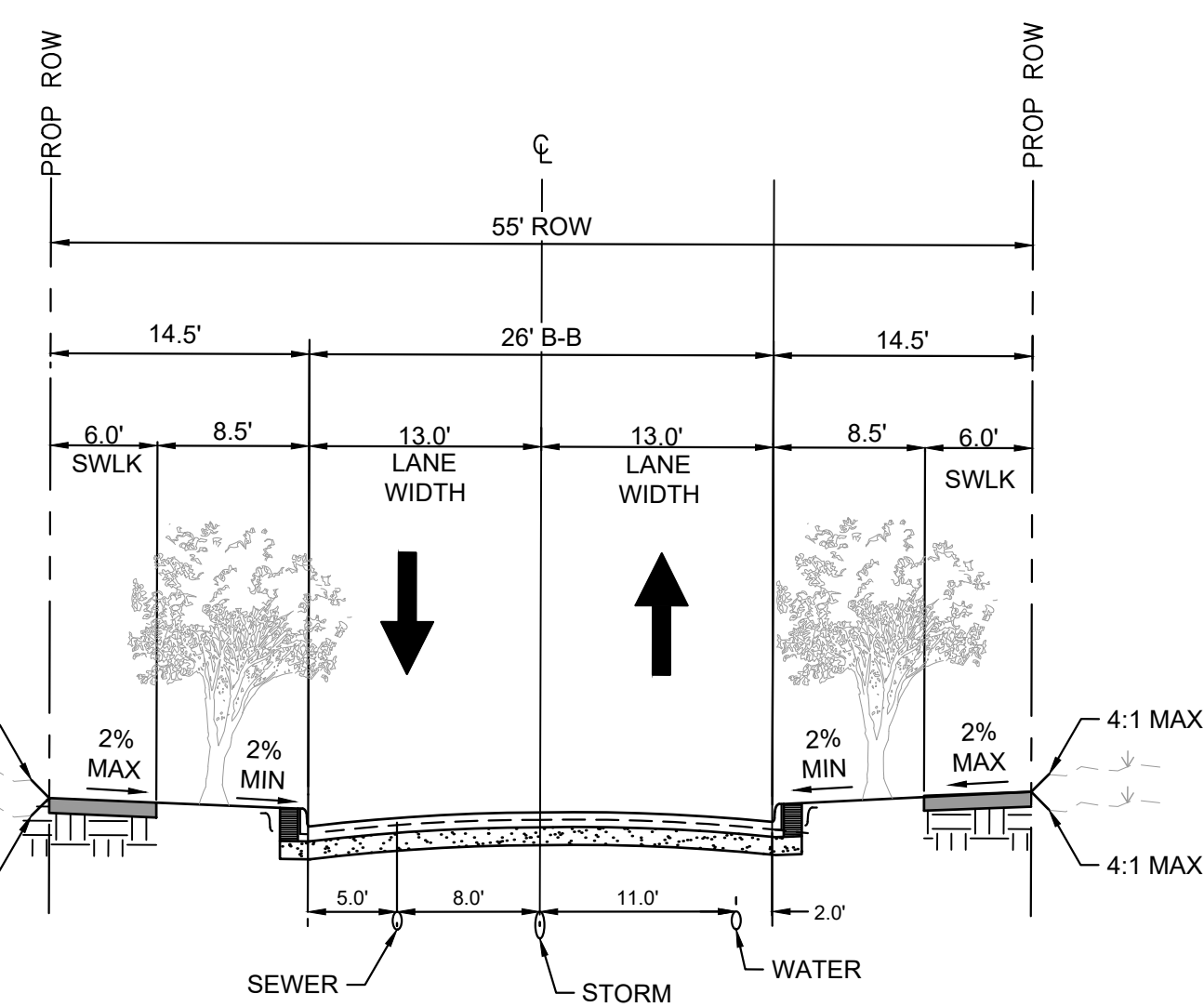
5 2-LANE UNDIVIDED CONCRETE
FOWLER STREET (WITH PARALLEL PARKING)
SCALE: H: 1"=10'
V: 1"=5'



1-A 3-LANE UNDIVIDED CONCRETE
AMSCOTT STREET (A-A)
SCALE: H: 1"=10'
V: 1"=5'



1-C 2-LANE UNDIVIDED CONCRETE
AMSCOTT STREET (C-C)
SCALE: H: 1"=10'
V: 1"=5'



1-B 2-LANE UNDIVIDED CONCRETE
AMSCOTT STREET (B-B)
SCALE: H: 1"=10'
V: 1"=5'

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KHA PROJECT
069258111

DATE
04/14/2025

SCALE: AS SHOWN

DESIGNED BY: RPS

DRAWN BY: RPS

CHECKED BY: RCL

COTTON MILL

ELM STREET,
MCKINNEY, COLLIN COUNTY, TEXAS

SITE DATA

SHEET NUMBER
PSP-6

REVISIONS

BY
DATE