

Vicinity Map

Property Owner Notification Map

R-12159-00A-0020-1

0 150 300 Feet



200' Buffer
Case

DISCLAIMER: This map and information contained in it were developed exclusively for use by the City of McKinney. Any use or reliance on this map by anyone else is at that party's risk and without liability to the City of McKinney, its officials or employees for any discrepancies, errors, or variances which may exist.



EXHIBIT B

LEGAL DESCRIPTION

SITUATED in the City of McKinney, in the Jacob J. Naugle Survey, Abstract No. 662 of Collin County, Texas and being all of Lots 1 and 2, Block A of Custer Silverado Addition, an addition to the City of McKinney, according to the Conveyance Plat thereof, recorded in Volume 2020, Page 479, Plat Records, Collin County, Texas (P.R.C.C.T.) and same being described in deeds to Custer Silverado Holdings, LLC, recorded in Document No. 20170628000846410 and Document No. 20171129001581490, Deed Records, Collin County, Texas (D.R.C.C.T.) and being more particularly described by metes & bounds as follows:

BEGINNING at an "X" found carved in a concrete sidewalk, on the east right-of-way line of S. Custer Road (variable width right-of-way at this point) for the northwest corner of the above described Lot 1, Block A and same being the most westerly southwest corner of Lot 1, Block A of Discovery At Rowlett Creek Addition, an addition to the City of McKinney, according to the plat thereof, recorded in Volume 2012, Page 372, P.R.C.C.T.;

THENCE: North 89 deg. 23 min. 32 sec. East, departing from S. Custer Road, along the common line of said Custer Silverado Addition and said Discovery At Rowlett Creek Addition, a distance of 256.55 feet to an "X" found carved in a concrete drive for the northeast corner of Lot 1, Block A of said Custer Silverado Addition and same being an inside ell corner of Lot 1, Block A of said Discovery At Rowlett Creek Addition;

THENCE: South 00 deg. 35 min. 47 sec. East, continuing along said common line, a distance of 321.00 feet to a 5/8 inch iron rod, topped with a plastic cap, stamped "RPLS 5698", found for the northwest corner of the above described Lot 2, Block A of Custer Silverado Addition;

THENCE: South 45 deg. 45 min. 46 sec. East, along the common line of said Lot 2, Block A of Custer Silverado Addition and said Lot 1, Block A of Discovery At Rowlett Creek Addition, a distance of 56.57 feet to a 5/8 inch iron rod, topped with a plastic cap, stamped "RPLS 5698", found;

THENCE: North 89 deg. 22 min. 49 sec. East, continuing along said common line, a distance of 580.09 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for the northeast corner of said Lot 2, Block A and same being the northwest corner of Lot 3, Block A of said Custer Silverado Addition;

THENCE: South 00 deg. 38 min. 55 sec. East, along the common line of said Lot 2 and Lot 3, Block A, a distance of 314.52 feet to a point for the southeast corner of said Lot 2, Block A, on the north right-of-way line of Silverado Trail (variable width right-of-way at this point);

THENCE: South 89 deg. 21 min. 40 sec. West, along the common line of said Lot 2, Block A and said Silverado Trail, a distance of 105.90 feet to a point for corner;

THENCE: South 00 deg. 38 min. 20 sec. East, continuing along said common line, a distance of 13.22 feet to a point for corner;

EXHIBIT B

THENCE: North 83 deg. 19 min. 08 sec. West, continuing along said common line, a distance of 68.34 feet to a point for corner;

THENCE: South 88 deg. 02 min. 58 sec. West, continuing along said common line, a distance of 39.84 feet to a point for corner;

THENCE: South 86 deg. 18 min. 10 sec. West, continuing along said common line, a distance of 165.00 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for corner;

THENCE: South 82 deg. 07 min. 09 sec. West, continuing along said common line, a distance of 17.74 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for corner at the beginning of a non-tangent curve to the right, having a radius of 809.57 feet, a central angle of 07 deg. 05 min. 38 sec. and a chord that bears South 85 deg. 43 min. 48 sec. West - 100.17 feet;

THENCE: Continuing along said common line and with said curve to the right, an arc distance of 100.23 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for corner at the end of said curve;

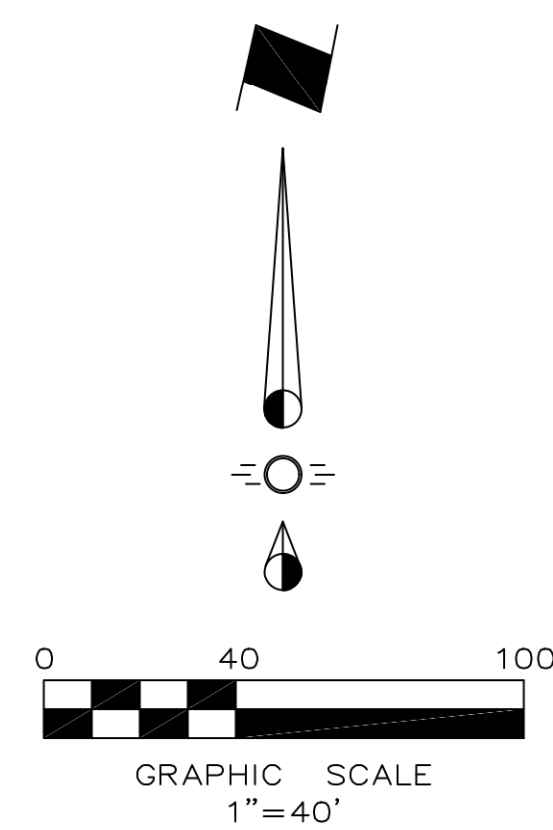
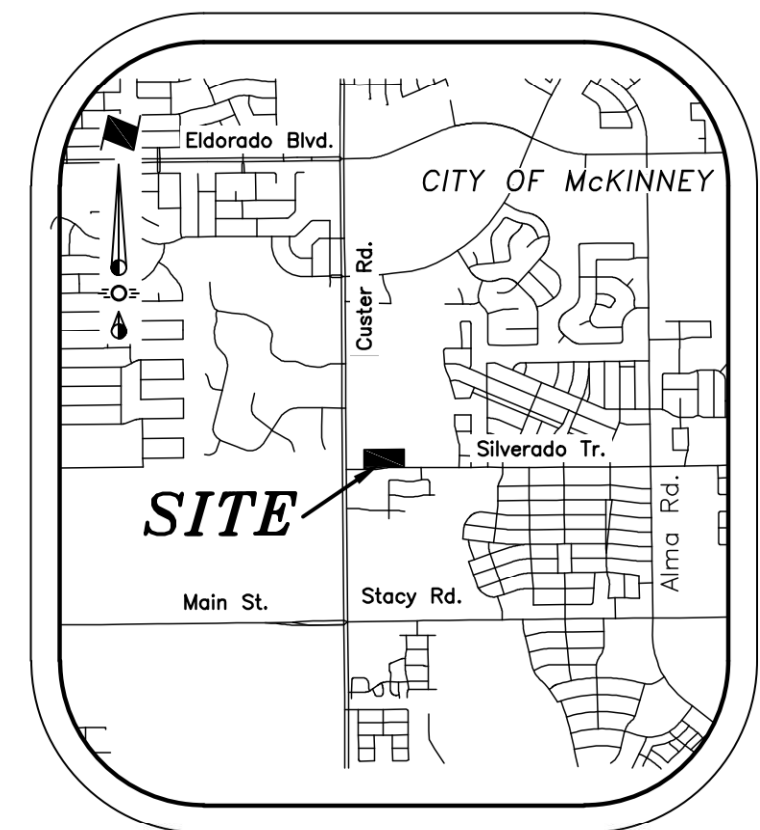
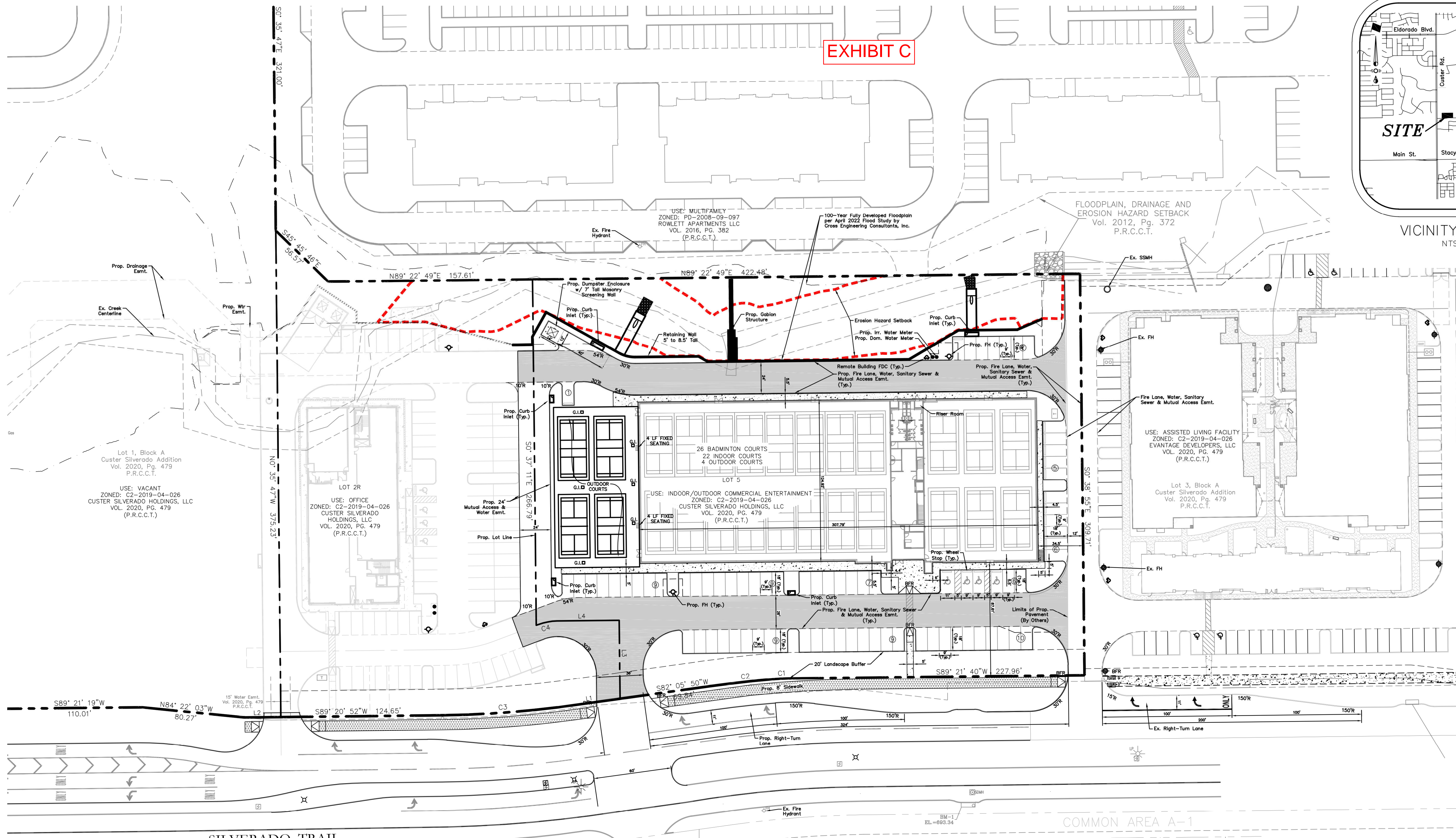
THENCE: South 89 deg. 21 min. 19 sec. West, continuing along said common line, at a distance of 124.66 feet, passing the southwest corner of said Lot 2, Block A and the southeast corner of said Lot 1, Block A and continuing along the common line of said Silverado Trail and Lot 1, Block A for a total distance of 132.02 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for an angle corner;

THENCE: North 84 deg. 22 min. 03 sec. West, continuing along said common line, a distance of 100.60 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for an angle corner;

THENCE: South 89 deg. 21 min. 19 sec. West, continuing along said common line, a distance of 110.01 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for an angle corner;

THENCE: North 45 deg. 35 min. 13 sec. West, continuing along said common line, a distance of 56.51 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for corner on the east right-of-way line of the above mentioned S. Custer Road;

THENCE: North 00 deg. 31 min. 38 sec. West, along the common line of said Lot 1, Block A and said S. Custer Road, a distance of 647.62 feet to the POINT OF BEGINNING and containing 380,072 square feet or 8.725 acres of land.



- LEGEND**
- Firelane
 - Proposed Sidewalk
 - Proposed Retaining Wall
 - Proposed Wheel Stop Typical
 - Existing Fire Hydrant
 - Proposed Fire Hydrant
 - Barrier Free Ramp
 - Grate Inlet
 - Erosion Hazard Setback
 - 100-Year Fully Developed Floodplain per April 2022 Flood Study by Cross Engineering Consultants, Inc.

SITE DATA TABLE	
LOT SIZE	2.956 ACRES
EXISTING ZONING	128,767 SF
BUILDING HEIGHT	C2-2019-04-026
USE / BUILDING AREA	
INDOOR COMMERCIAL ENTERTAINMENT	41,470 SF - 100%
OUTDOOR COMMERCIAL ENTERTAINMENT	0 SF
OFFICE	-
TOTAL	41,470 SF
REQUIRED PARKING CALCULATIONS	
INDOOR COMMERCIAL ENTERTAINMENT	22 COURTS
OUTDOOR COMMERCIAL ENTERTAINMENT	4 COURTS
TOTAL COURTS	26 COURTS
INDOOR (3 SPACES PER COURT)**	66 SPACES
OUTDOOR (FIXED SEATING; 1 SPACE PER 8 LF)	1 SPACES
OFFICE (1 PER 400 S.F.)	-
TOTAL	67 SPACES
PARKING PROVIDED	78 SPACES
HANDICAP REQUIRED	4 SPACES
HANDICAP PROVIDED	4 SPACES
BUILDING FOOTPRINT AREA	38,325 SF
LOT COVERAGE	29.76%
IMPERVIOUS AREA	37,893 SF - 29.4%

* PARKING PROVIDED TOTAL INCLUDES HC PARKING
** PARKING RATIO FOR INDOOR COURTS PER APPROVED SITE PLAN SITE2021-0022

SILVERADO TRAIL
(Variable Width Right-of-way)

JAHAUNUMAN PROPERTIES, LLC
Doc. No. 20160823001112250
D.R.C.C.T.

USE: VACANT
ZONED: PD-2013-08-075
JAHAUNUMAN PROPERTIES, LLC
INST. NO. 20160823001112250
(D.R.C.C.T.)

REMOTE FDC GENERAL COMMENTS

Shall be protected by bollards. Shall be located a minimum of 3 ft. from the face to any landscaping and provided a clear pathway to the fire lane and adjacent fire hydrant. Parking screening and landscaping are considered obstructions. Shall be located no more than 100 ft. from the center of the fire hydrant, as the hose lays. Shall be located 2-6 ft. from back of curb. Shall be located near the corner of the building on the outside edge of the fire lane.

CITY OF MCKINNEY STANDARD NOTES:

Mechanical and Heating and air conditioning equipment in non-residential uses shall be screened from view from the public right-of-way and from adjacent residential properties.

The Lighting for the subject property will be constructed and operated in conformance with Article 6 of the City of McKinney Code of Ordinances.

The Sanitation Container Screening Walls Will Be Brick Masonry, Stone Masonry, Or Other Architectural Masonry Finish, Including A Metal Gate, Primed And Painted, And The Sanitation Container Screening Walls, Gate, And Pad Site Will Be Constructed In Accordance With The City Of McKinney Design Specifications. The Sanitation Screening Walls Will Be A Minimum Of 7' In Height.

FIRE PROTECTION SYSTEMS

Building is required to be protected by an approved automatic fire sprinkler system and fire alarm system with full occupant notification.

FDC CLEAR SPACE AROUND CONNECTIONS

A working space of not less than 36 inches (914 mm) in width, 36 inches (914 mm) in depth and 78 inches (1981 mm) in height shall be provided and maintained in front of and to the sides of wall-mounted fire department connections and around the circumference of free standing fire department connections, except as otherwise required or approved by the fire code official.

ARCHITECT:
Cross Architects, PLLC
879 Junction Dr.
Allen, Texas 75013
Phone (972) 398-6644
Contact: Bret Flory

SURVEYOR:
Ringley & Associates
701 S. Tennessee St.
McKinney, Texas 75069
Phone (972) 542-1266
Fax (972) 542-8682
Contact: Lawrence Ringley

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia St.
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.

OWNER:
Custer Silverado Holdings LLC
6209 Corsica Way
Piano, Texas 75024
Phone (847) 757-2642
Contact: Rajitha Aerrabolu

Issue Dates:
1
2
3
4
5
6

Revision & Date:
1
2
3
4
5
6

CROSS ENGINEERING CONSULTANTS
1720 W. Virginia Street
772.562.4409

McKinney, Texas 75069
Texas P.E. Firm No. F-5935

Drawn By:
C.E.C.I.

Checked By:
C.E.C.I.

Scale:
1"=40'

Line Table		
Line #	Distance	Bearing
L1	48.49	S82° 06' 36"W
L2	27.57	S89° 20' 52"W
L3	60.36	S0° 37' 11"E
L4	48.00	N89° 22' 49"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	12.25	169.36	4.14	S87° 16' 23"W	12.25
C2	49.40	913.54	3.10	S83° 38' 47"W	49.40
C3	89.31	806.92	6.34	S86° 06' 32"W	89.27
C4	14.56	42.00	19.86	N79° 27' 02"E	14.49

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

SPECIFIC USE PERMIT EXHIBIT

SILVERADO BADMINTON

BADMINTON AA REAL ESTATE LLC

MCKINNEY, TEXAS

Sheet No.
SUP

Project No.
21023

SILVERADO BADMINTON