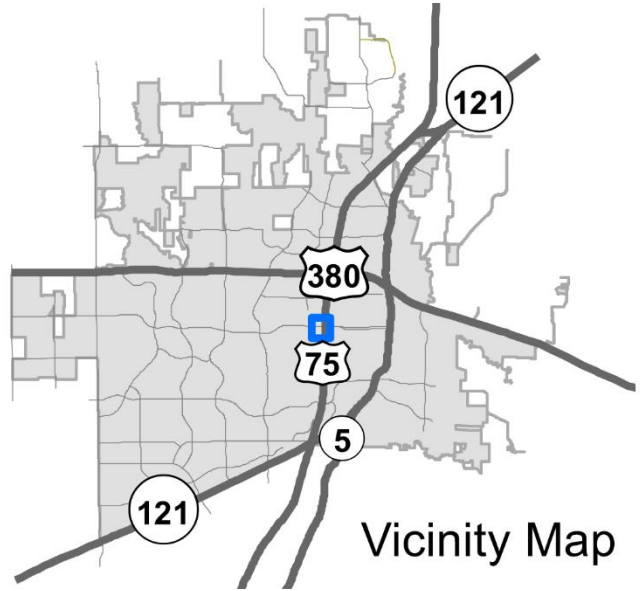
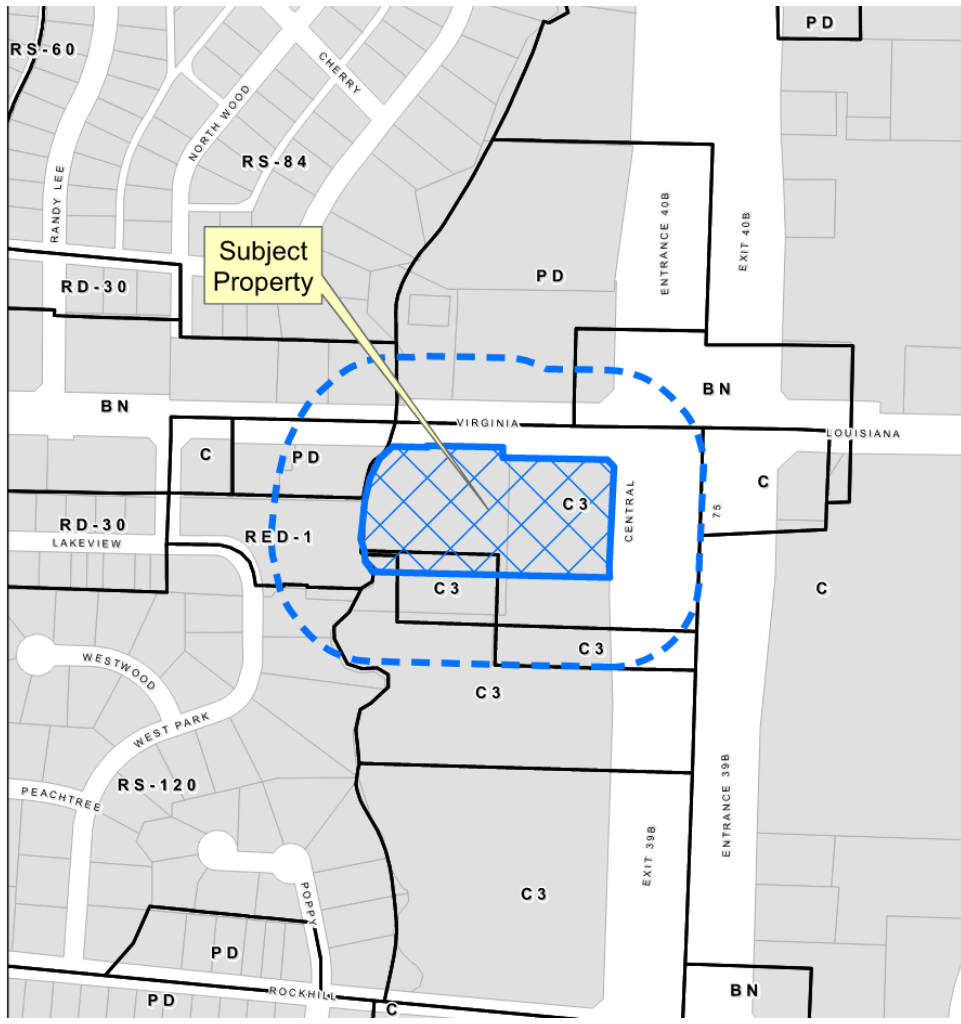


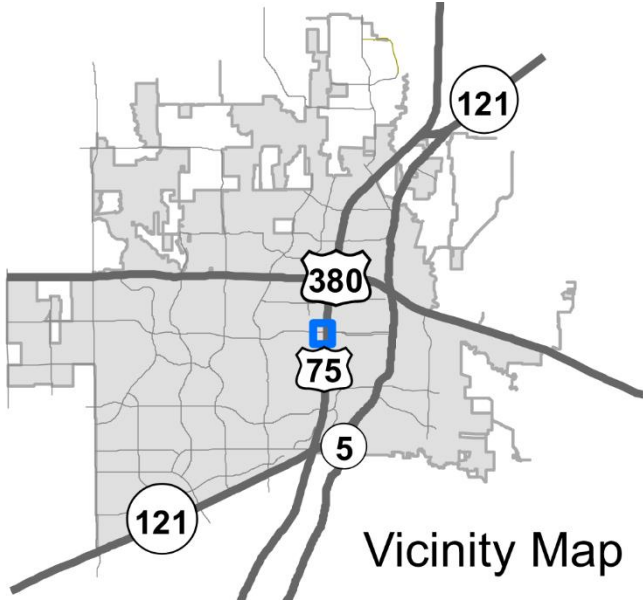
Sprouts Site Plan

22-0069SP

Location Map



Aerial Exhibit



Vicinity Map

Proposed Site Plan

GENERAL NOTES:

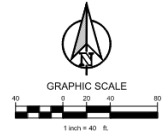
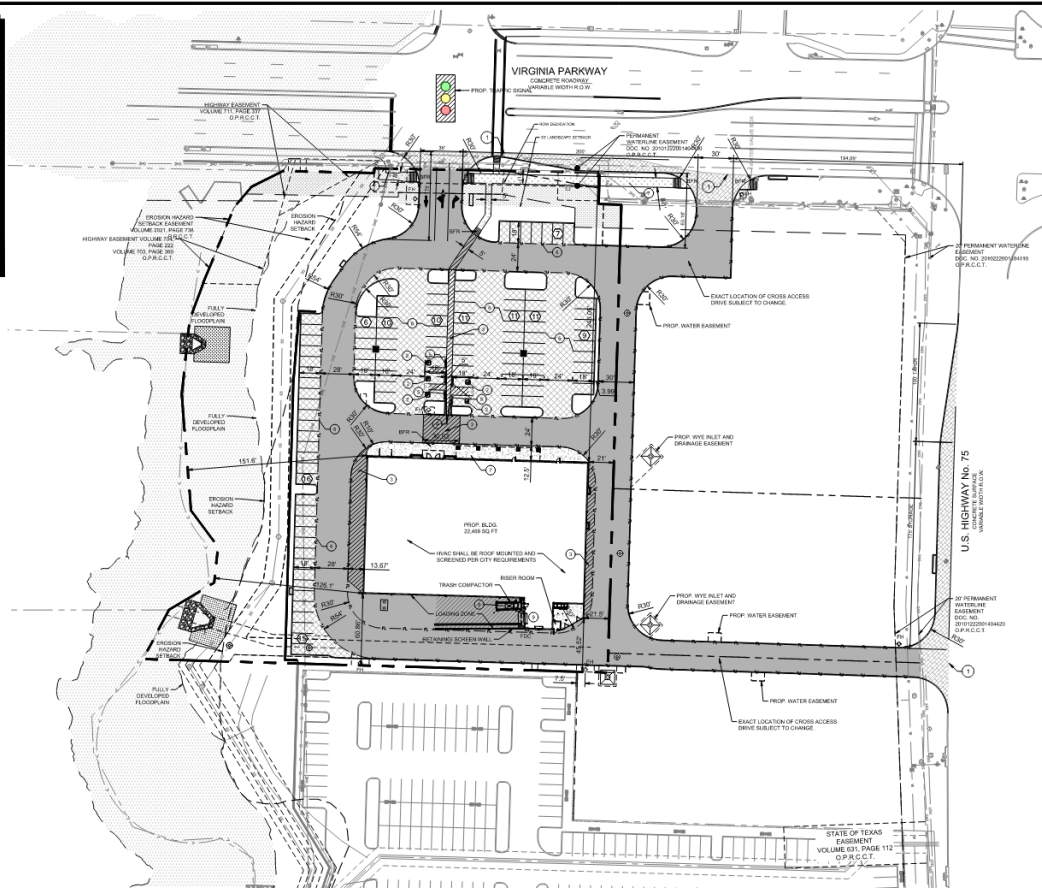
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
- SANITATION CONTAINERS (REBANDING WALLS) WILL BE BRICK MASONRY, STONE MASONRY OR C-24 ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE. REBANDING WALLS, GATES, AND PAD SITE WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S DESIGN SPECIFICATIONS.
- MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT IN NON-RESIDENTIAL USES SHALL BE SCREENED FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
- IF THE SUBJECT PROPERTY WILL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH CHAPTERS 15 OF THE CITY OF MCKINNEY CODES OF ORDINANCES CONCERNING ZONING, USE OF LAND IS SUBJECT TO APPROVAL OF THE CITY ENGINEER AND BOARD OF ZONING.

PERMITS:

- PERMITS SHALL BE OBTAINED BY FOLLOWERS. PERMITS SHALL BE LOCATED A MINIMUM OF 5 FT FROM THE WALL TO SIGN, MASONRY AND FINISHES AT ALL TIMES TO THE SIDE AND ADJACENT FIRE HYDRANT, PARKING, SIDEWALKS AND LANDSCAPING ARE CONSIDERED OBSTRUCTIONS.
- PERMITS SHALL BE LOCATED ADJACENT TO A FIRE HYDRANT, 5 FT TO THE CENTER OF THE FIRE HYDRANT.
- PERMITS SHALL BE LOCATED AS PRACTICAL, NEAR THE CORNER OF THE BUILDING ON THE OUTSIDE EDGE OF THE FIRE LANE.

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.



LEGEND

- OVERALL PROPERTY BOUNDARY / ZONING LIMITS
- - - - - LOT LINES
- ▬ PROPOSED FIRE LANE
- ▨ POST DEVELOPMENT FLOORPLAN
- ▩ PROPOSED CONCRETE CURB & GUTTER
- ⊙ PROPOSED PARKING COUNTS

CONSTRUCTION SCHEDULE

- ① SAW CUT FILL DEPTH EXISTING PAVEMENT
- ② PROPOSED HANDICAP SYMBOL
- ③ PROPOSED PAVEMENT STRIPING
- ④ PROPOSED HANDICAP SIGN
- ⑤ PROPOSED CURB STOP
- ⑥ 4" PARKING STALL STRIPING COOR. WHITE (TYP)
- ⑦ PROPOSED CONCRETE SIDEWALK
- ⑧ DUMPSTER WITH ENCLOSURE (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- ⑨ TRUCK DOCK/RAMP (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
- ⑩ PROPOSED LIGHT POLE

FLOODPLAIN NOTE

THE PROPERTY IS LOCATED IN "NON-FLOOD ZONE" X & "ZONE AT" AS SHOWN FROM THE 1:2.5 MILA FLOOD INSURANCE RATE MAP DATED JUNE 7, 2017 AND IS LOCATED IN CONVEYANCE NUMBER 2022-0069 (SEE CONVEYANCE NUMBER) FOR VERTICAL CURB AND COLLECTED AT THE TIME OF PREPARATION OF THIS SITE PLAN. FOR THE EXACT FLOOD ZONE DESIGNATION PLEASE CONTACT THE CITY ENGINEER.

SITE2022-0069
McKINNEY SPROUTS
319 ACRES
LEGAL DESCRIPTION:
BEING A TRACT OF LAND OUT OF THE W.D. THOMPSON SURVEY, ABSTRACT NUMBER 881, SITUATED IN THE CITY OF MCKINNEY, COLLIN COUNTY, TEXAS, AND BEING PART OF LOTS 16 & 20, BLOCK A OF WYOMING HOSPITAL, ADDITION, A SUBDIVISION OF RECORD IN THE PUBLIC RECORDS OF COLLIN COUNTY, TEXAS.

OWNER: MCKINNEY INVESTMENTS PARTNERS, L.L.C.
CITY: MCKINNEY, TEXAS
COUNTY: COLLIN
SURVEY: W.D. THOMPSON SURVEY
ABSTRACT NO.: 881

DATE: MAY 23rd 2023
SHEET: SP-1

SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT)	# OF STORIES	LOT COVERAGE			PARKING			HANDICAP SP.		TOTAL IMPERVIOUS		TOTAL PERVIOUS			
							RES.	PROV.	MAX	RES. RATIO	TOTAL RES.	TOTAL	PROV.	RES.	PROV.	(SQ. FT.)	(%)	(SQ. FT.)	(%)	
PROPOSED LOT 16	C3	Retail	3.88	117,385	22,488	2F	1	70%	15.2%	1.0 MAX	0.15	1.1 RATIO	90	30%	5	5	94,509	64%	52,896	36%

ENGINEER
TEXAS REGISTRATION #1919
DREW MOORE
1803 OVERLOOK BLVD
SUITE #406
BEDFORD, TX 75021
PH: 817.281.0574
FAX: 817.281.0574
CONTACT: DREW DONOSKY, PE
EMAIL: DREW@CLAYMOOREENG.COM

OWNER / DEVELOPER
MCKINNEY 75 INVESTMENTS PARTNERS, L.L.C.
8010 OVERLOOK BLVD
BRENTWOOD, TN 37027
PH: 615.620.4604
CONTACT: TIM MONDELLO
EMAIL: TMONDELLO@BBTRETY.COM

CLAYMOORE ENGINEERING
1803 OVERLOOK BLVD
SUITE #406
BEDFORD, TX 75021
PH: 817.281.0574
FAX: 817.281.0574
CONTACT: DREW DONOSKY, PE
EMAIL: DREW@CLAYMOOREENG.COM

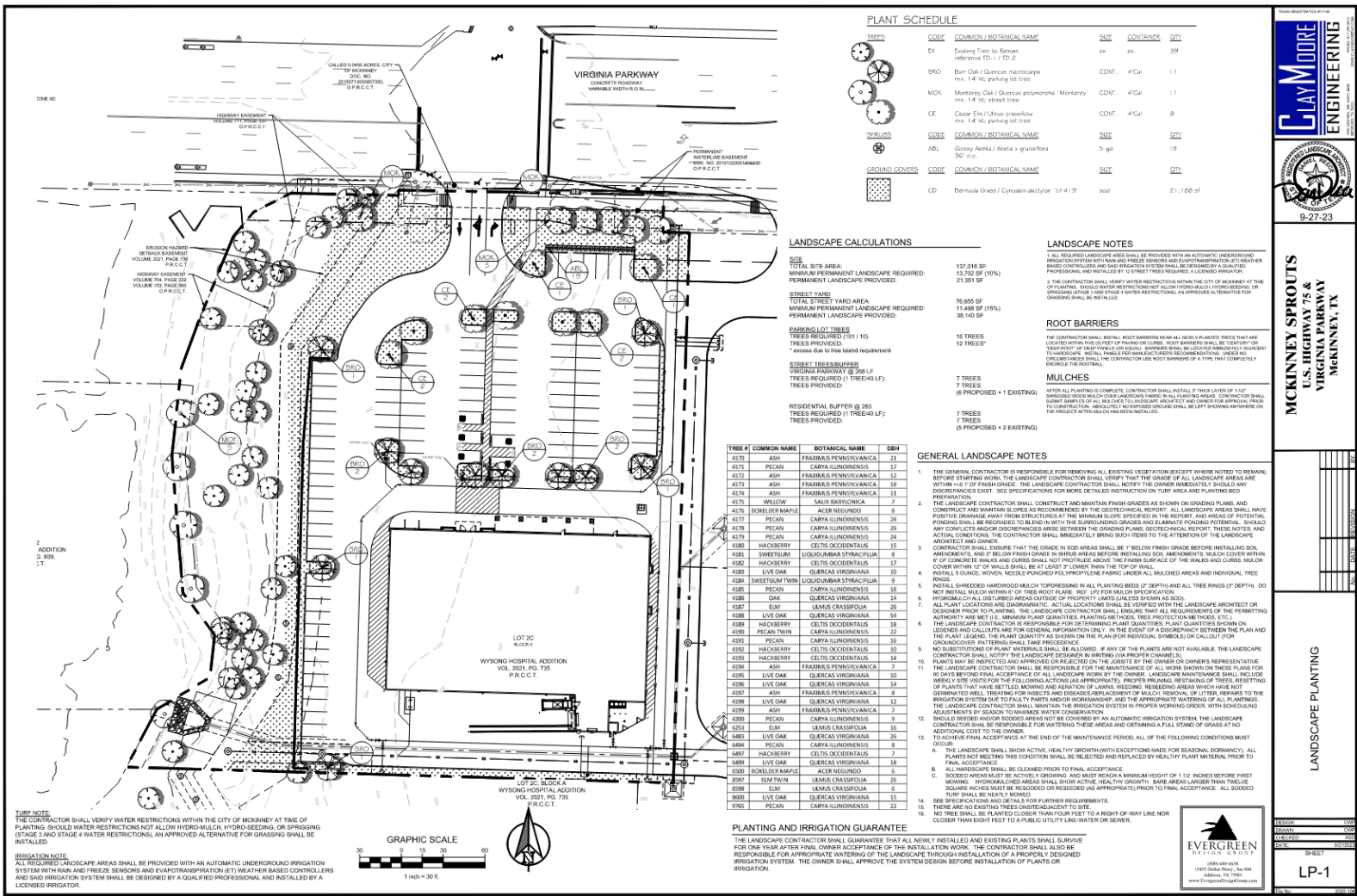
MCKINNEY SPROUTS
U.S. HIGHWAY 75 & VIRGINIA PARKWAY
MCKINNEY, TX

SITE PLAN

SP-1

PLOTTED BY: DAVIS BETHEA
 DATE: 05/23/2023 10:54 AM
 LAYOUT: 20230523_1054
 PROJECT: MCKINNEY SPROUTS 2022-0069
 SHEET: MCKINNEY SPROUTS 2022-0069 SITE PLAN SITE PLAN

Proposed Landscape Plan



MCKINNEY SPROUTS
 U.S. HIGHWAY 75 &
 VIRGINIA PARKWAY
 MCKINNEY, TX



LANDSCAPE PLANTING

EVERGREEN
 1515 11th Street, Suite 300
 Dallas, TX 75204
 Phone: 972-342-1111
 www.EvergreenLandscape.com

SCALE: 1" = 30'-0"

LP-1

Site Line Study

SPROUTS - MCKINNEY, TX
 2201 VIRGINIA PARKWAY
 PERMIT #: COM2023-04-00479
 -SITE LINE STUDY

