

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.
REFER TO THE "SUBMITTAL REQUIREMENTS CHECKLIST"

By signing this Certificate of Appropriateness (COA) application, the applicant affirms:

- All submitted information for this application represents an accurate description of the proposed work.
- The applicant certifies that the project described in this application will be constructed in exact accordance with aforesaid plans and specifications.
- The applicant agrees to conform to all conditions of approval.
- It is understood that approval of this application by the Historic Preservation Officer or the Historic Preservation Advisory Board in no way constitutes approval of a building permit or other required City permit approvals.
- Filing an application does not guarantee approval.
- The COA becomes null and void if authorized construction does not commence within one year. This will require receiving a new CoA approval.
- Work completed in deviation from this Certificate of Appropriateness or without a Certificate of Appropriateness may result in fines and/or misdemeanor charges.

APPLICANT INFORMATION:

Applicant Name: GREG DAWSON
Company: TOLIMAE PROPERTIES
Address: 207 S. COLLEGE
City, State, Zip: MCKINNEY 75069
Phone: 817-925-6862 Email: dawsongregory@att.net

PROPERTY OWNER INFORMATION: (Multiple property owners must complete and sign separate application).

Applicant Name: - SAME -
Company: _____
Address: _____
City, State, Zip: _____
Phone: _____ Email: _____

☒ I will represent the application myself; or

☐ I hereby designate _____ (applicant above) to act as my agent for submittal, processing, representation, and/or presentation of this application. The designee shall be the primary contact person for this application.

☒ I hereby certify that I am the owner of the property and certify that the information provided within this application is true and correct. By signing below, I agree that the City of McKinney is authorized and permitted to provide information contained within this application, including the email address, to the public and in response to a Public Information Request.

DIGITAL SIGNATURES ACCEPTED

Owner Signature: [Signature] Date: 6/4/25

LETTER OF INTENT

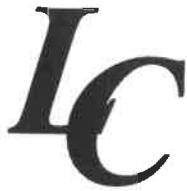
402 Barnes

McKinney

Due to an unfortunate accident while working on the foundation, this house fell off the jacks and was totaled. It is my intent to demolish it as it poses a threat to safety to anyone entering it. This request is for main house only, not A-Frame.

Greg Dawson

Owner



LINGLE ENGINEERS

Civil-Structural Engineers

Planners/Designers

Construction Managers

Division of Lingle Corporation

Texas Regis. No. F-1385

*7001 Westchester Court, Suite 200, McKinney, TX 75070
214-544-9000*

June 12, 2025

Greg Dawson
209 S. College
McKinney, TX 75069

Re: Residential structural inspection at 402 Barnes, McKinney, TX 75069
LE Job # 5144

Dear Mr. Dawson,

The residence located at 402 Barnes in McKinney is a single story, pier and beam structure. On June 6, 2025, I inspected the structure at your request to determine the condition of the house due to damage from a contractor performing repairs to the foundation. The house is an older pier and beam home constructed on Bois d'Arc wood piers. There are some additions that were added to the original house.


A contractor was lifting and levelling the pier and beam house foundation when it rotated off the piers and fell about 3 feet to the south. The piers under the foundation punched through the flooring in several locations and the walls and structure were twisted and warped by the fall and distortion of the structural frame. See Photos.

While it may be possible to rebuild the house, the structure and wall and roof connections have been compromised such that to rebuild properly, it will be too expensive and trying to move it back into position will most likely cause additional damage. I recommend that the house be torn down, and a new structure rebuilt as needed.

This report is a presentation of professional opinion and is prepared solely to determine the structural integrity of the structure. The inspection was made by visual observation only and information available at the time of the investigation. Except as expressly noted, compliance with Building Codes and other specifications are specifically excluded from the site investigation. No performance warranty of any kind is expressed or implied.

Please feel free to contact me if you have any questions or need further assistance.

Yours truly,


Brian E. Lingle, P.E.
President





LINGLE ENGINEERS

Civil-Structural Engineers

Planners/Designers

Construction Managers

Division of Lingle Corporation

Texas Regis. No. F-1385

7001 Westchester Court, Suite 200, McKinney, TX 75072

214-544-9000 Office

June 12, 2025

Greg Dawson
209 S. College
McKinney, TX 75069

INVOICE: **5144-1** Residential structural inspection at 402 Barnes, McKinney, TX 75069
SERVICES: June 1, 2025, through June 12, 2025.

INVOICE

Residential structural inspection at 402 Barnes, McKinney, TX 75069

Inspect structure,
Meet with owner.
Review structural conditions.
Prepare condition report.

Engineering services are billed at the following rates:

Principal (BEL)	250/hr	0 hrs =	0.00
Project Manager (LRF)	220/hr	0 hrs =	0.00
Senior Engineer (PS)	175/hr	0 hrs =	0.00
Structural Engineer (BMP)	170/hr	0 hrs =	0.00
Architect (RSA)	175/hr	0 hrs =	0.00
Project Engr (SK)	150/hr	0 hrs =	0.00
EIT Engineer / CADD	130/hr	0 hrs =	0.00
Survey crew	300/hr	0 hrs =	0.00
Admin / clerical (ABC)	75/hr	0 hrs =	0.00
Copies, printing, supplies	Cost x 1.2	0.00 =	0.00

INVOICE TOTAL

\$ 600.00

TERMS: Net 10 days. Past due accounts will be subject to 1 1/2 % per month service charge.

Thank you for calling on the professional services of **LINGLE ENGINEERS**.

We're here to serve you and we *appreciate your* business!



PHOTO 1 – FRONT OF HOUSE STRUCTURE MOVED TO THE LEFT



PHOTO 2 – NORTH SIDE OF HOUSE FOUNDATION WAS SUPPORTED ON
BOIS D'ARC WOOD PIERS HOUSE SHIFTED TO RIGHT



PHOTO 3 – REAR SOUTHWEST CORNER ADDITION SHOWING THE STRUCTURAL DISTORTION



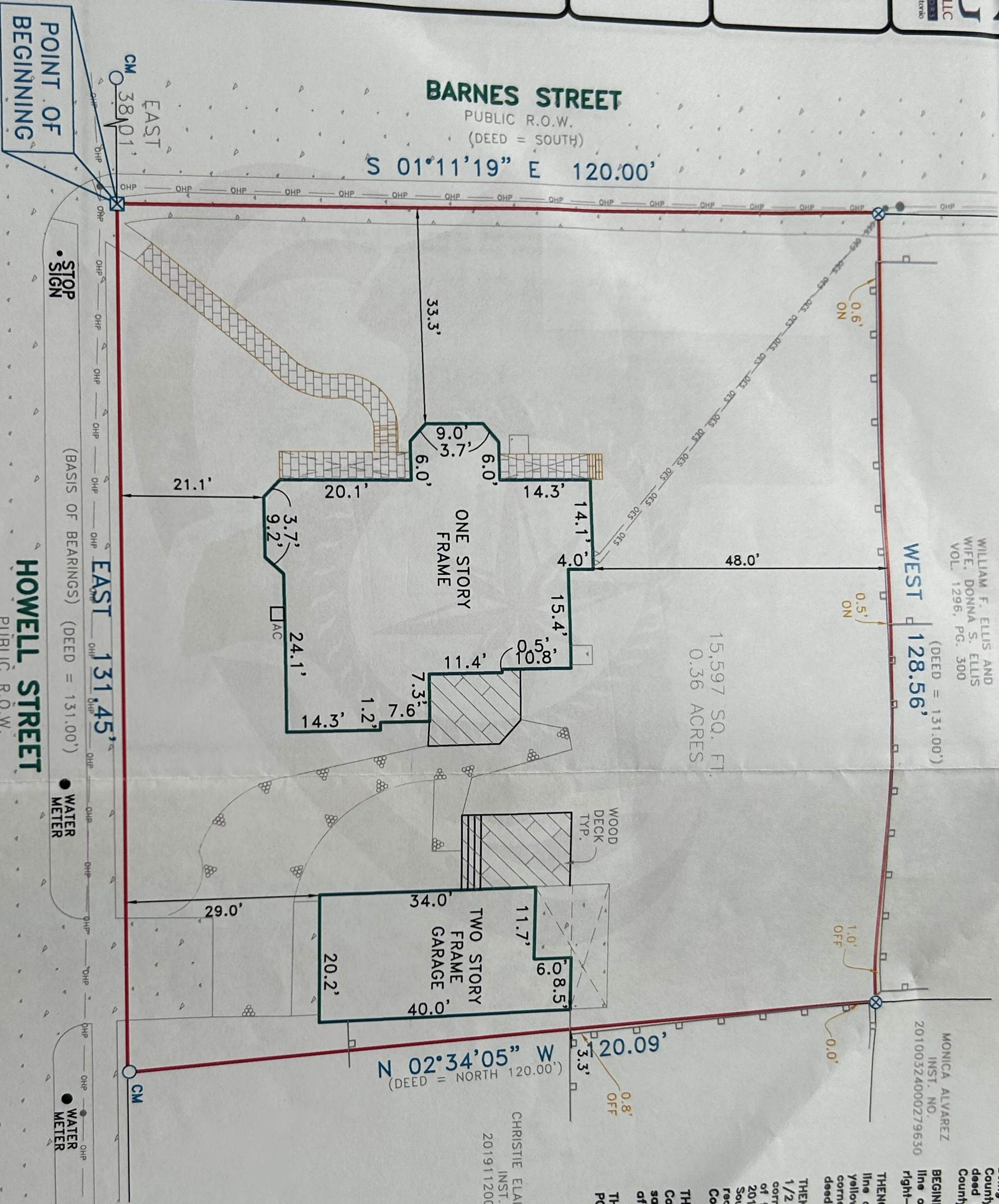
PHOTO 4 – INTERIOR FRONT LIVING ROOM SHOWING FLOOR SEPARATION FROM WALLS AND FRAMING DISTORTION







LEGEND	
○ 1/2" ROD FOUND	□ FENCE POST FOR CORNER
○ 1" PIPE FOUND	CM MONUMENT
⊕ X" FOUND/SET	AIR CONDITIONER
⊕ POINT FOR CORNER	POOL
⊕ 5/8" ROD FOUND	PE EQUIPMENT
TRANSFORMER	● POWER POLE
PAD	△ OVERHEAD ELECTRIC
COLUMN	— II — IRON FENCE
UNDERGROUND ELECTRIC	— X — BARBED WIRE
— OHP — OVERHEAD ELECTRIC	— A — EDGE OF ASPHALT
— OES — OVERHEAD ELECTRIC SERVICE	— G — EDGE OF GRAVEL
CHAIN LINK	— S — STONE
CONCRETE	— C — CONCRETE
COVERED AREA	— B — BRICK
DOUBLE SIDED FENCE	



402 Barnes Street

Being a tract of land situated in the Edward Bradley Survey, Abstract No. 85, Collin County, Texas, same being that tract of land conveyed to Mary Elizabeth Stapleton by deed recorded in Instrument No. 20191001001224560, Official Public Records of Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" set for corner, said corner lying in the intersection of the South line of Barnes Street (public right-of-way) and the West line of Barnes Street (public right-of-way);

THENCE South 01 degrees 11 minutes 19 seconds East, along aforementioned West line of Barnes Street, a distance of 120.00 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "CBG Surveying" for corner, said corner being the North corner of that tract of land conveyed to William F. Ellis and wife, Donna S. Ellis, by deed recorded in Volume 1296, Page 300, Deed Records of Collin County, Texas;

THENCE West, along the North line of said Ellis tract, a distance of 128.56 feet to a 1/2 inch iron rod set with yellow plastic cap stamped "CBG Surveying" for corner, said corner being the Northwest corner of that tract of land conveyed to Monica Alvarez, by deed recorded in Instrument No. 20100324000279630, Official Public Records of Collin County, Texas, and being the Southeast corner of that tract of land conveyed to Christie Elaine Compton, by deed recorded in Instrument No. 20191120001479850, Official Public Records of Collin County, Texas;

THENCE North 02 degrees 34 minutes 05 seconds West, along the East line of Compton tract, a distance of 120.09 feet to a 1/2 inch iron rod found for said corner being the Northeast corner of said Compton tract, and lying at aforementioned South line of Howell Street;

THENCE East, along said South line of Howell Street, a distance of 131.45 feet to the POINT OF BEGINNING and containing 15,597 square feet or 0.36 acres of land.

NOTES:
BEARINGS ARE BASED ON DEED RECORDED IN INST. NO. 20191001001224560.
FLOOD NOTE: According to the F.I.R.M. No. 48085C0280U, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Tiago Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey of the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: _____
Accepted by: _____
Purchaser _____

Drawn By: ML/MARIA

Scale: 1" = 20'

Date: 05/14/2020

GF NO.: TXA204895

Job No. 2008483



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