

## **CITY COUNCIL WORK SESSION**

**JANUARY 7, 2025**

The City Council of the City of McKinney, Texas met in work session in the City Hall Council Chambers, 222 N. Tennessee Street, McKinney, Texas on Tuesday, January 7, 2025 at 3:00 p.m.

The work session was broadcast live on cable television Spectrum Channel 16 and AT&T U-Verse Channel 99; and online at <https://mckinneytx.new.swagit.com/views/130>. A video recording of the meeting is available to members of the public through the City of McKinney meeting archive.

Mayor George Fuller called the work session to order at 3:00 p.m. upon determining a quorum of the City Council consisting of himself and the following members were present: Mayor Pro Tem Geré Feltus, and members Justin Beller, Patrick Cloutier, and Michael Jones.

These City of McKinney Staff were present: City Manager Paul Grimes, Assistant City Manager Kim Flom, Assistant City Manager Barry Shelton, Assistant City Manager Steve Tilton, City Attorney Mark Houser, Assistant City Attorney Alan Lathrom, Director of Organizational Development & Performance Management Joe Mazzola, Director of Strategic Services Trevor Minyard, City Secretary Empress Drane, Deputy City Secretary Tenitrus Bethel Parchman, City Secretary Accreditation & Reporting Specialist Edith Ruiz, City Secretary Permit Technician Katelyn Hardaway, City Secretary Administrative Assistant Sheridan Burns, Audio / Video Technician Joshua Arias, Director of McKinney Cultural District Andrew Jones, Facilities Construction Manager Patricia Jackson, Chief Financial Officer Mark Holloway, Stormwater Administrator Brianna Nisi, Environmental Manager Kyle Odom, Procurement Services Manager Tracey Epps, President & Chief Executive Officer of McKinney Economic Development Corporation (MEDC) Michael Kowski, Fire Chief Paul Dow, Director of Housing & Community Development Margaret Li, Transit Administrator Akia Pichon, Director of Planning Jennifer Arnold, Executive Director of Visit McKinney Aaron Werner, Director of Engineering Gary Graham, President of McKinney Community Development Corporation (MCDC) Cindy Schneible, Executive Director of Development Services Michael Quint, and Capital Improvement Projects Manager Katie McKenzie.

There were six (6) members of the public present in the audience including these appointed officials of the city: Building & Standards Commission member Daniel Porzio, Planning & Zoning Commission member Bill Cox, Parks, Recreation & Open Space (PROS) Advisory Board member Bruce Mead, and MCDC member Deborah Bradford.

Mayor Fuller called for Public Comments. There were no requests to speak to the City Council.

Mayor Fuller called for discussion of agenda items for the City Council Regular Meeting to be held on Tuesday, January 7, 2025 at 6:00 p.m. There was no discussion of the Regular Meeting agenda.

Mayor Fuller called for the Work Session items:

**24-2320** Presentation on the McKinney National Airport East Side Development

Mitchell McAnally (Garver Aviation Project Manager) and Adam Giombetti (WJ Advisors Project Consultant) provided information.

Council member Charlie Philips joined the work session at 3:06 p.m., at the beginning of the airport presentation (agenda item #24-2320).

Council member Rick Franklin joined the work session at 3:54 p.m. during the airport presentation.

The agenda item presentation and related site plan not posted on the work session agenda are included in these minutes as *Appendix A: Agenda Item #24-2320 Presentation and Site Plan*.

**24-2321** Update on DART Railroad Crossing Projects

Council provided direction for staff to continue discussions about Lamar Street and Wilmeth Road railroad crossing options, and to improve litter maintenance at the Broad Street railroad crossing.

Mayor Fuller called for Council Liaison updates regarding City Boards & Commissions. There were no updates.

Mayor Fuller called for the Executive Session at 4:45 p.m., in accordance with the Texas Government Code:

A. Section 551.071(2) Consultations with Attorney on any Work Session, Special Session, or Regular Session agenda item requiring confidential attorney/client advice necessitated by the deliberation or discussion of said items (as needed)

- Colmena Ranch Development Agreement

B. Section 551.071 (A) Pending or contemplated litigation

- City of McKinney, Texas v. Hui Li, Zhe Sun, Hisun Motors Corp., U.S.A., and  
310 E. University Drive, McKinney, Texas 75069, In Rem, Cause No. 471-06812-2024,  
471st District Court of Collin County, Texas

C. Section 551.089. Deliberation Regarding Security Devices or Security Audits

- Security assessments and network security information

Council returned to the work session at 5:45 p.m. All members except Council member Charlie Philips were present. No action was taken on items discussed in the Executive Session.

Council unanimously approved the motion by Mayor Pro Tem Geré Feltus, seconded by Council member Rick Franklin, to adjourn the work session at 5:45 p.m.

These minutes were approved by the City Council on January 21, 2025.

SIGNED:

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GEORGE C. FULLER, Mayor  
GERÉ FELTUS, Mayor Pro Tem

ATTEST:

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EMPRESS DRANE, City Secretary  
TENITRUS BETHEL, Deputy City Secretary

City of McKinney, Texas

★ ★ ★ ★ ★

*(next page) Appendix A: Agenda Item #24-2320 Presentation and Site Plan*



# Eastside Development Update



January 7, 2025

## Airport Eastside Development Update

Terminal GO Bond Election failed

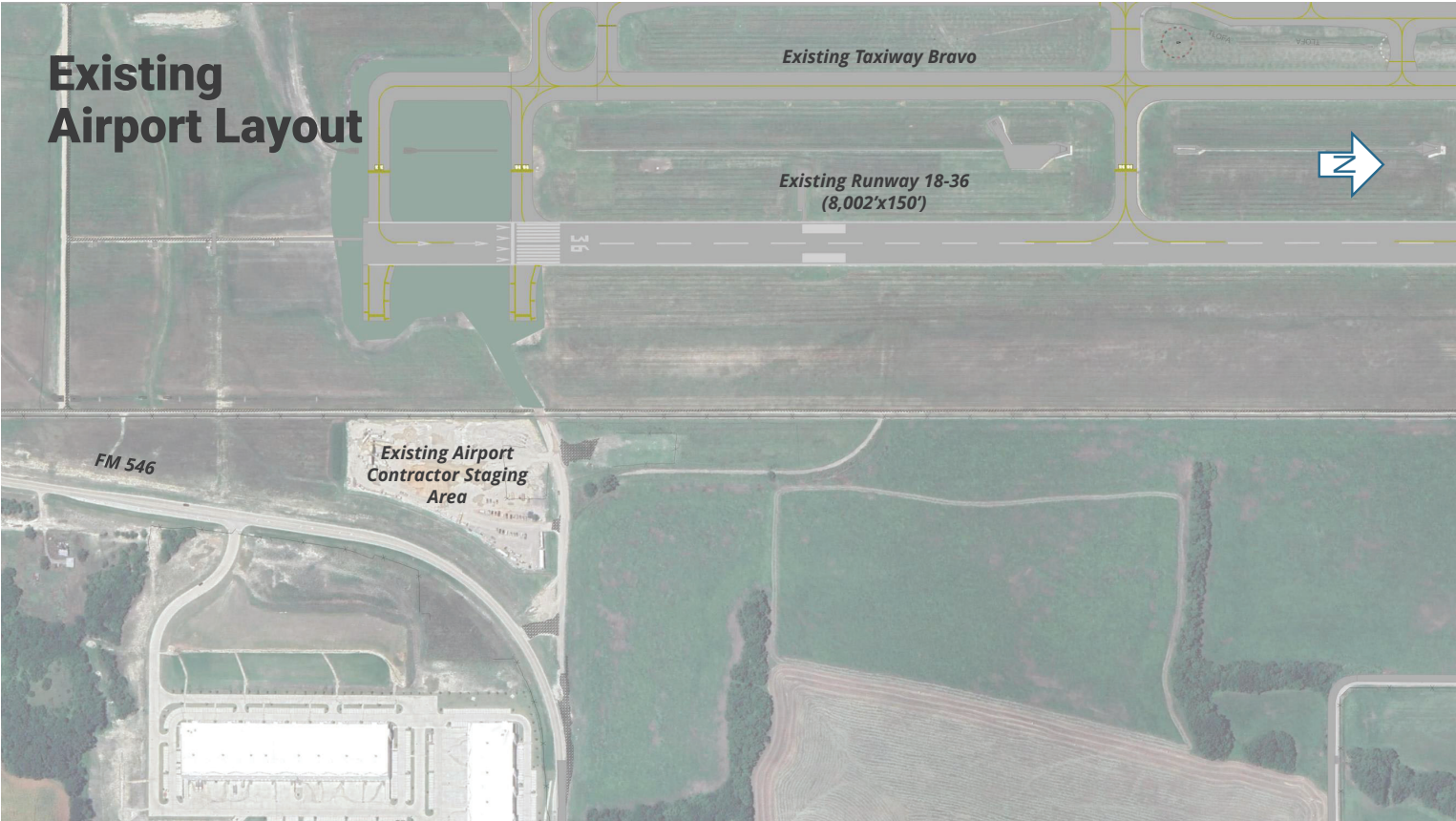
Program was reevaluated with a continued interest by the airlines

Concurrently, General Aviation development on the west side of the airport is approaching build out

Eastside development focused on providing the backbone infrastructure with a new parallel taxiway and roadway connection

Highest and best use of the property would develop first

| Program Tasks |                           | 2022  | 2023                                                                                           | 2024  | 2025 | 2026 |
|---------------|---------------------------|-------|------------------------------------------------------------------------------------------------|-------|------|------|
| Pre-Bond      | Environmental Assessment  | ■■■■■ | ■■■■■                                                                                          | ■■■■■ | ■■■  |      |
|               | 30% Programming Documents | ■     |                                                                                                |       |      |      |
|               | Bond Election             |       |  May 2023 |       |      |      |
|               | Program Adjustments       |       | ■■■■■                                                                                          |       |      |      |





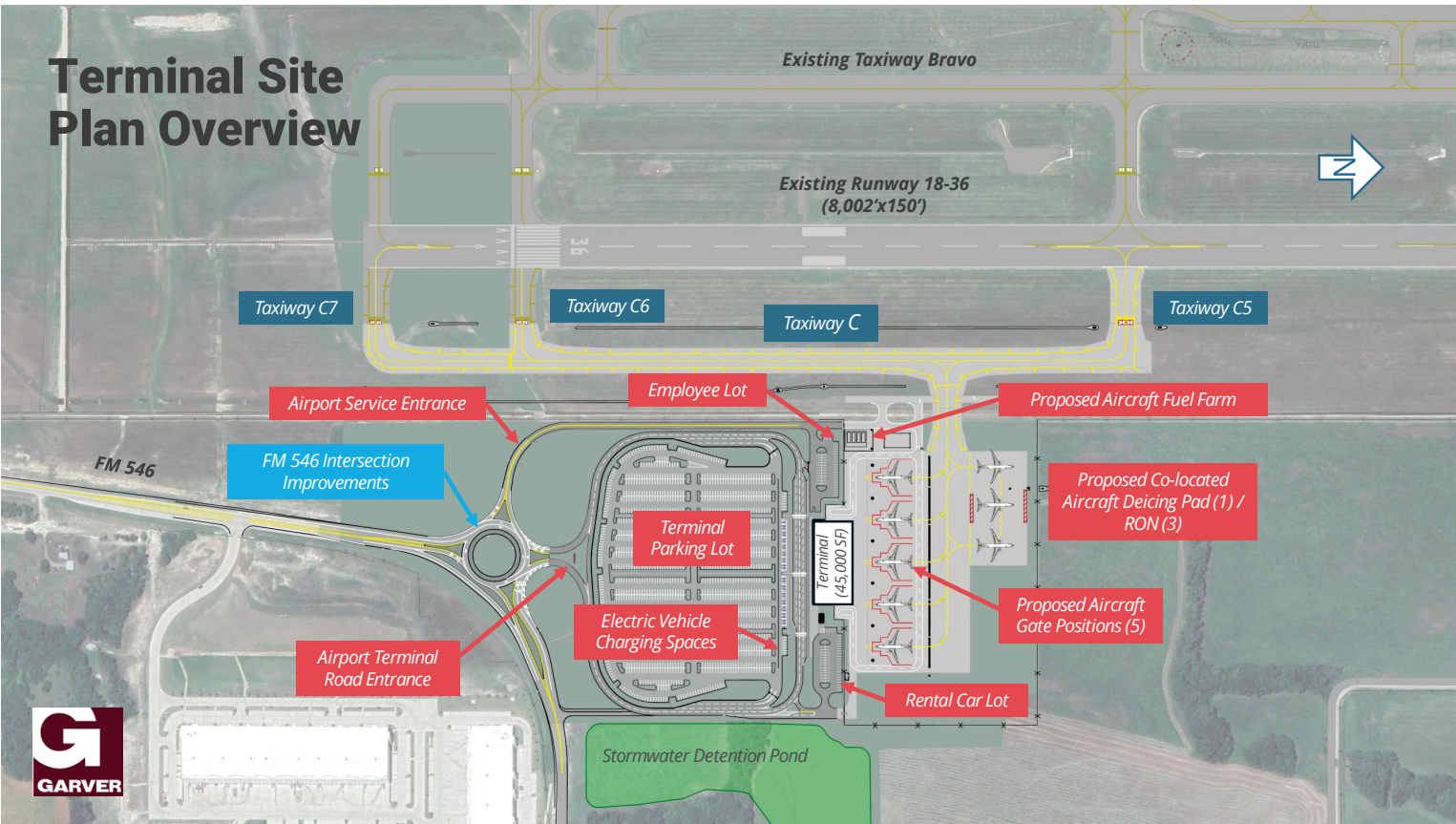
# New Taxiway Charlie



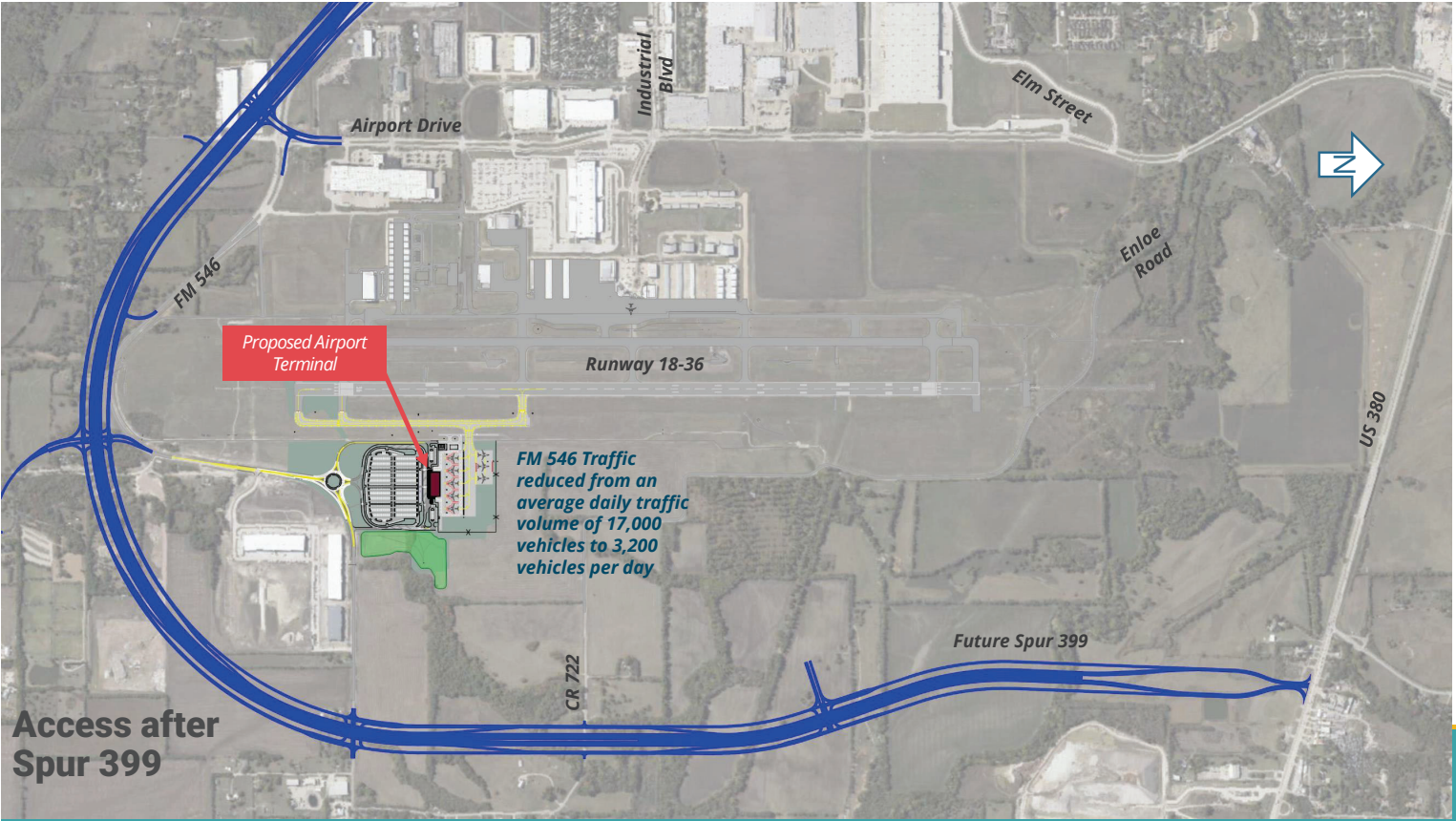
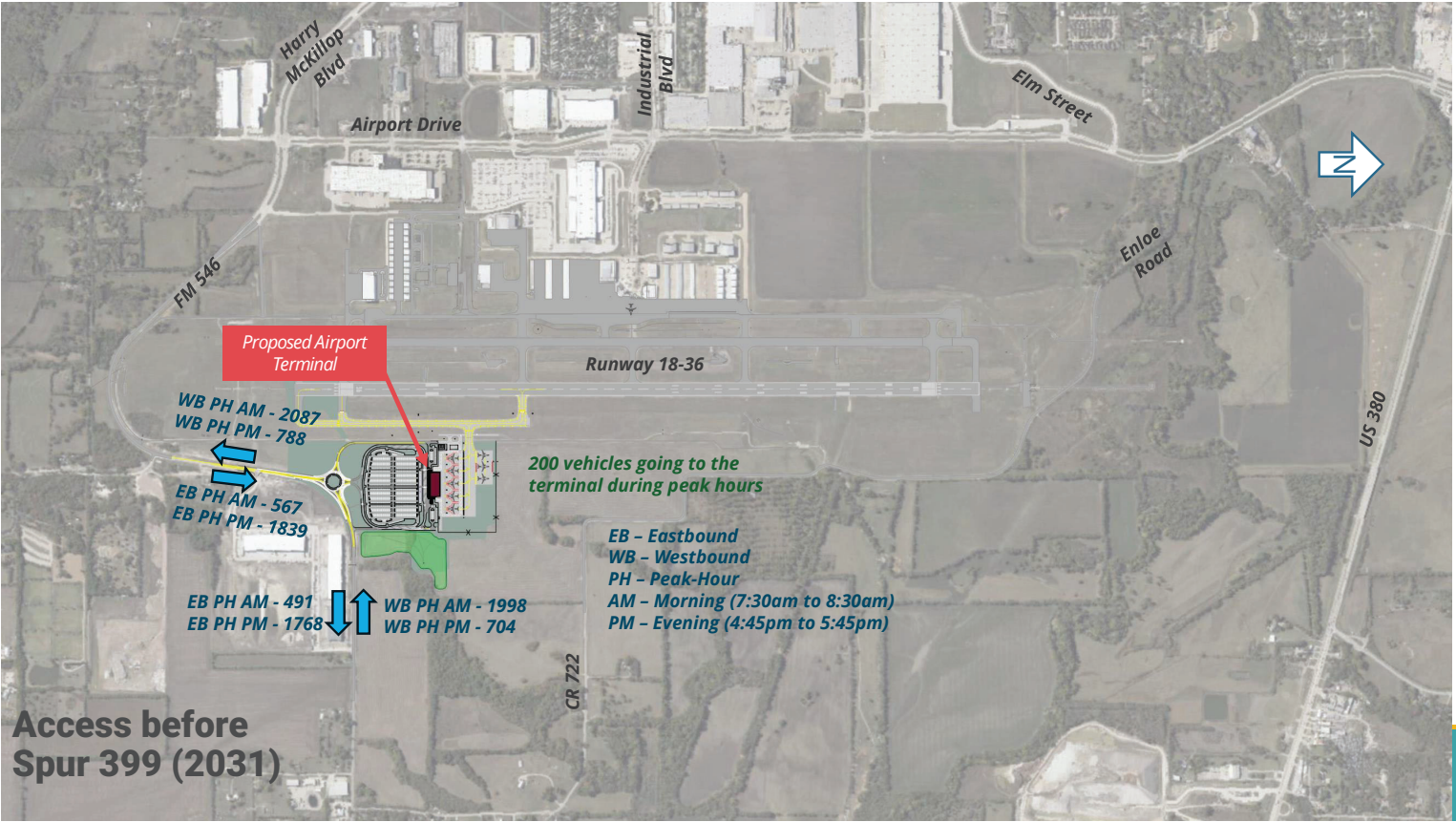
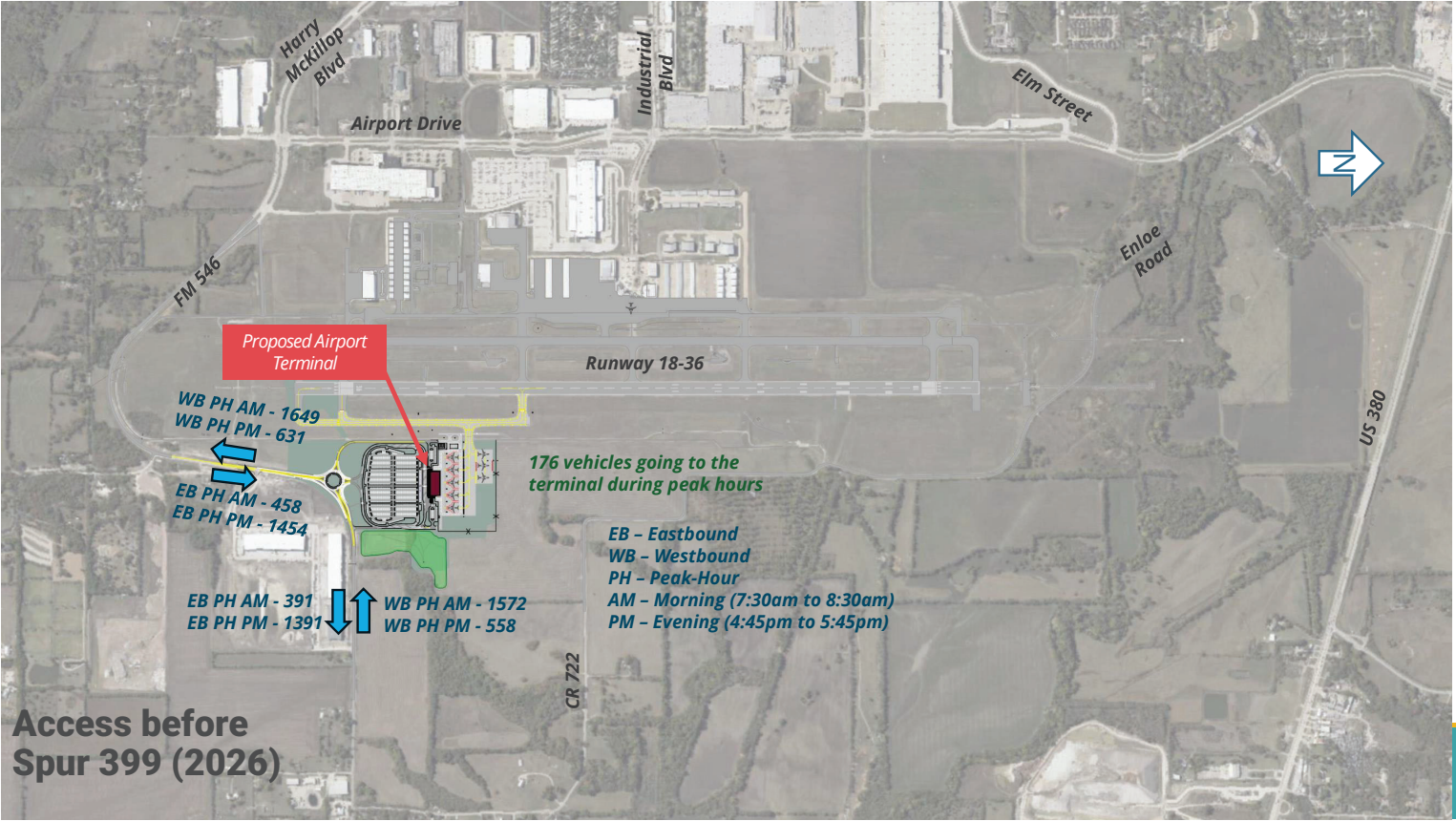
# FM 546 Connection



# Terminal Site Plan Overview















# Project Cost

Preliminary estimates for initial airport terminal operation

CMAR will provide refined construction estimates this Spring

| Project Elements                                                         | Cost Estimate |
|--------------------------------------------------------------------------|---------------|
| Terminal Apron Pavement                                                  | \$14.0M       |
| Parallel Taxiway C (Phase 1) – Partial Parallel Taxiway to Runway 36 End | \$15.9M       |
| FM 546 Roadway Connection & Loop Roadway                                 | \$10.5M       |
| Parking Lots                                                             | \$12.5M       |
| New ARFF Equipment                                                       | \$1.6M        |
| New East Side Fuel Farm                                                  | \$2.5M        |
| Terminal Building                                                        | \$15.0M       |
| Project Total                                                            | \$72.0M       |



**\$5.3M awarded to date from MEDC and MCDC grants**

| Funding Sources                        | Cost Estimate  |
|----------------------------------------|----------------|
| Estimated Total Cost                   | \$72.0M        |
| MEDC Grant (awarded)                   | \$1.7M         |
| MCDC Grant (awarded)                   | \$3.6M         |
| TIFIA Loan (MCDC) w/ interim financing | \$30.0M        |
| MEDC Grant                             | \$22.4M        |
| Funding Gap (FAA,TxDOT,TIRZ)           | \$14.3M        |
| <b>Project Total</b>                   | <b>\$72.0M</b> |



## Milestone Dates



**01/09/25\*** EA Public Meeting

**01/31/25** EA Public Hearing Closes

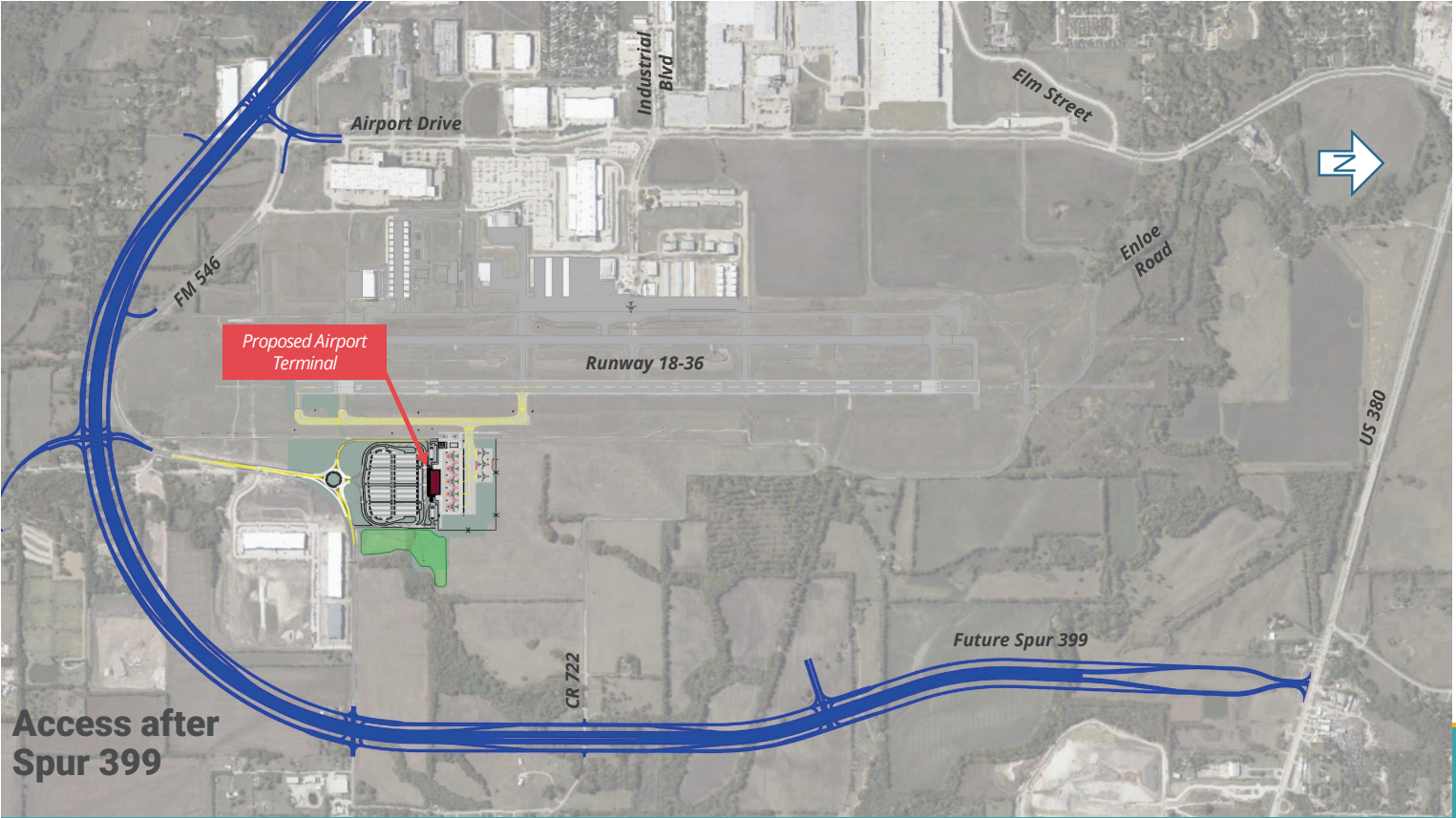
**Feb 25** Marketing Firm Selection

**May 25** Groundbreaking

| Program Tasks |                                                      | 2022 | 2023 | 2024 | 2025 | 2026 |
|---------------|------------------------------------------------------|------|------|------|------|------|
| Pre-Bond      | Environmental Assessment                             |      |      |      |      |      |
|               | 30% Programming Documents                            |      |      |      |      |      |
|               | Bond Election                                        |      |      |      |      |      |
| Post-Bond     | Program Adjustments                                  |      |      |      |      |      |
|               | CMAR Contractor Procurement                          |      |      |      |      |      |
|               | Design Document (DD) and Construction Documents (CD) |      |      |      |      |      |
|               | Construction Pricing and Contract Execution          |      |      |      |      |      |
|               | Construction                                         |      |      |      |      |      |
|               | Terminal Opens                                       |      |      |      |      |      |







CITY OF MCKINNEY STANDARD NOTATIONS:

1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT FOR NON-RESIDENTIAL AND MULTI-FAMILY USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
3. THE LIGHTING FOR THE SUBJECT PROPERTY SHALL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH ARTICLE 6 OF THIS CODE AND CHAPTER 58 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.

CITY SURVEY CONTROL MONUMENTS

| NAME        | NORTHING   | EASTING    | ELEVATION | DESCRIPTION          |
|-------------|------------|------------|-----------|----------------------|
| MONUMENT 34 | 7113361.06 | 2557552.48 | 570.22    | MONUMENT IN HEADWALL |
| MONUMENT 58 | 7110756.78 | 2550105.36 | 542.47    | CONCRETE MONUMENT    |



CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

TEXAS STATE LAW, THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES SUFFICIENT ADVANCE NOTIFICATION THROUGH THE TEXAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPLOSIVES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-245-4545. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE TEXAS ONE-CALL SYSTEM. THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES AS WELL AS THE ONE-CALL SYSTEM.

| GEOGRAPHIC ID     | LEGAL DESCRIPTION OF PROPERTY                                 |
|-------------------|---------------------------------------------------------------|
| R-6691-001-0030-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 3, 15.2271 ACRES   |
| R-6691-001-0030-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 3, 15.2271 ACRES   |
| R-6517-001-1180-1 | ABS A0517 R H LOCKE SURVEY, SHEET 1, TRACT 118, 147.612 ACRES |
| R-6691-001-0340-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 34, 1592 ACRES     |
| R-6691-001-0360-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 6, 69.511 ACRES    |
| R-6691-001-0430-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 43, 33.683 ACRES   |
| R-6674-000-0200-1 | ABS A0674 RUFUS SEWELL SURVEY, TRACT 20, 50.069 ACRES         |
| R-6674-000-0010-1 | ABS A0674 RUFUS SEWELL SURVEY, TRACT 1, 17.8788 ACRES         |



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REGISTRATION NO. F-5713

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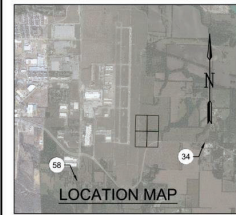
| REV. | DATE | DESCRIPTION |
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| 1    |      |             |

MCKINNEY NATIONAL AIRPORT  
MCKINNEY, TX

EASTSIDE TERMINAL  
INFRASTRUCTURE DESIGN

SITE PLAN OVERVIEW

JOB NO.: 23A11174  
DATE: NOV. 2024



LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- FIRE LANE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED LIGHT POLE
- PROPOSED HANDHOLE

SITE DATA TABLE

|                                    |                               |
|------------------------------------|-------------------------------|
| PROPOSED USE                       | AIRPORT TERMINAL              |
| ZONING                             | AP                            |
| TOTAL BUILDING AREA                | 48,000 SF                     |
| BUILDING HEIGHT                    | <30'                          |
| DETENTION POND AND LANDSCAPE AREAS | 507,585 SQ FT (30%)           |
| FLOOR AREA RATIO                   | 48.000 SQ FT (3%)             |
| IMPERVIOUS AREA                    | 1,128,010 SQ FT (87%)         |
| TOTAL LOT AREA                     | 1,683,595 SQ FT (38.65 ACRES) |
| PARKING REQUIRED                   | NO REQUIREMENTS               |
| STANDARD SURFACE PARKING PROVIDED  | 1609 SPACES                   |
| HANDICAP REQUIRED                  | 27 SPACES                     |
| HANDICAP PROVIDED                  | 30 SPACES                     |
| TOTAL SPACES PROVIDED              | 1639 SPACES                   |

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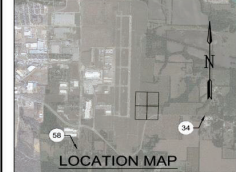
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EASTSIDE TERMINAL  
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SITE PLAN 1

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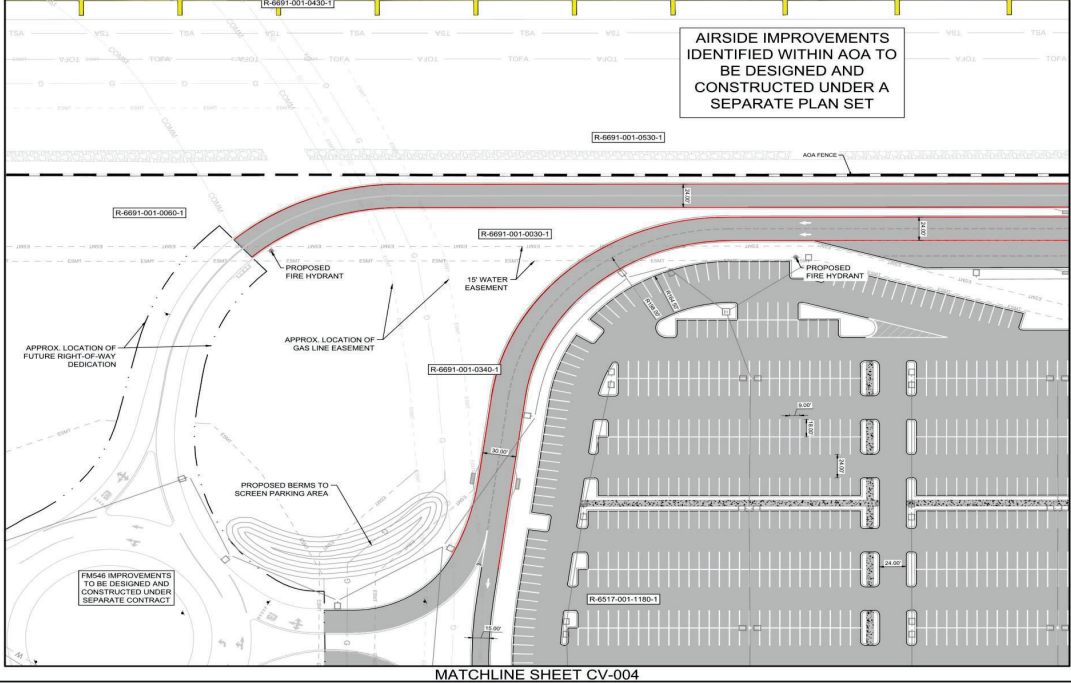
LEGEND

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SITE DATA TABLE

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| DETENTION POND AND LANDSCAPE AREAS | 507,585 SQ FT (30%)           |
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| PARKING REQUIRED                   | NO REQUIREMENTS               |
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| HANDICAP REQUIRED                  | 27 SPACES                     |
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MATCHLINE SHEET CV-004

MATCHLINE SHEET CV-003

MATCHLINE SHEET CV-002

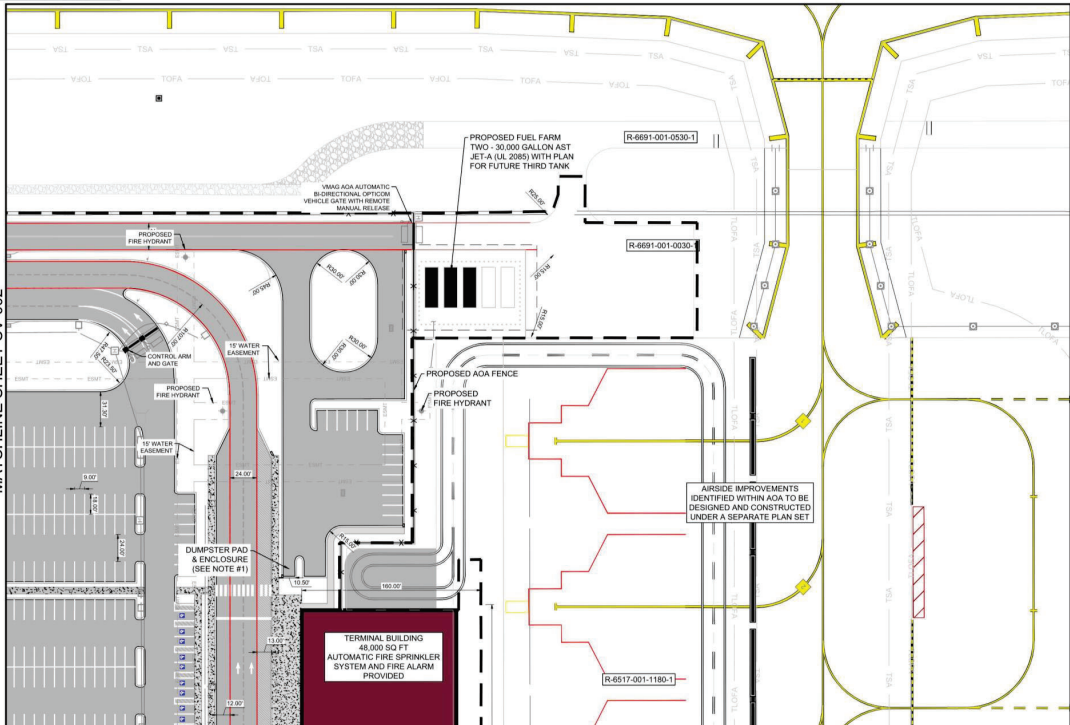
SHEET NUMBER 6





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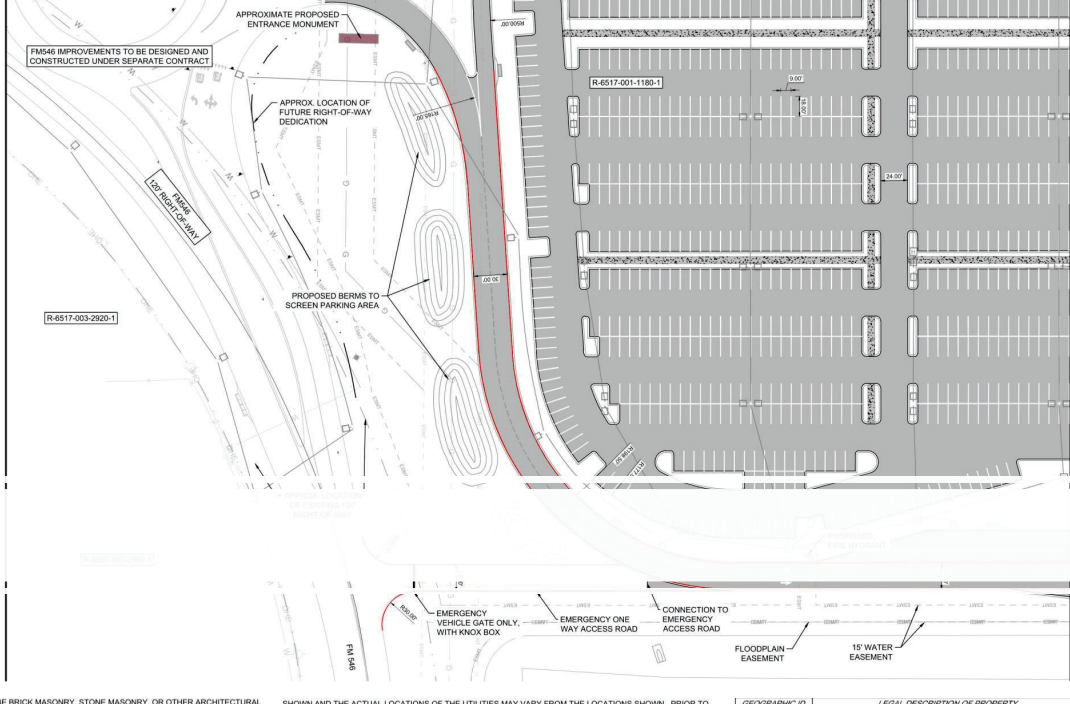
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DRAWN BY: KCP

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ORIGINAL DRAWING

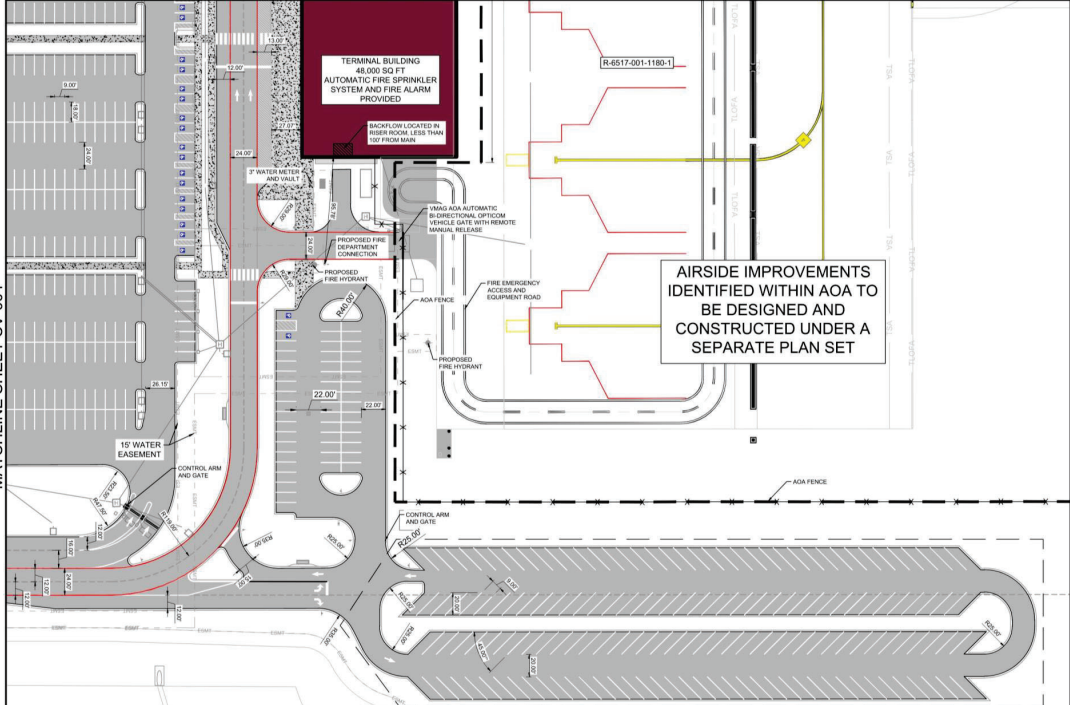
1" = 1"

IF NOT ONE INCH ON THIS SHEET



**MATCHLINE SHEET CV-005**

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IDENTIFIED WITHIN AOA  
BE DESIGNED AND  
CONSTRUCTED UNDER  
SEPARATE PLAN SET

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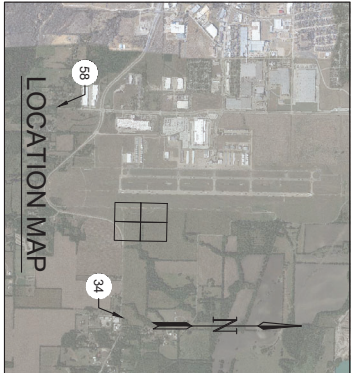


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## CITY SURVEY CONTROL MONUMENTS

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| MONUMENT 58 | 7110756.78 | 2550105.36 | 542.47    | CONCRETE MONUMENT    |



## LEGEND

- |                                                                                   |                                |
|-----------------------------------------------------------------------------------|--------------------------------|
|  | PROPOSED CONCRETE<br>PAVEMENT  |
|  | PROPOSED CONCRETE SIDE<br>WALK |
|  | FIRE LANE                      |
|  | PROPOSED PROPERTY LINE         |
|  | EXISTING PROPERTY LINE         |
|  | PROPOSED LIGHT POLE            |
|  | PROPOSED HANDHOLE              |

## SITE DATA TABLE

|                                    |                               |
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| TOTAL BUILDING AREA                | 48,000 SF                     |
| BUILDING HEIGHT                    | <30'                          |
| DETENTION POND AND LANDSCAPE AREAS | 507,565 SQ FT (30%)           |
| FLOOR AREA RATIO                   | 48,000 SQ FT (3%)             |
| IMPERVIOUS AREA                    | 1,183,010 SQ FT (67%)         |
| TOTAL LOT AREA                     | 1,839,565 SQ FT (38.66 ACRES) |
| PARKING REQUIRED                   | NO REQUIREMENTS               |
| STANDARD SURFACE PARKING PROVIDED  | 1,609 SPACES                  |
| HANDICAP REQUIRED                  | 27 SPACES                     |
| HANDICAP PROVIDED                  | 30 SPACES                     |
| TOTAL SPACES PROVIDED              | 1,639 SPACES                  |

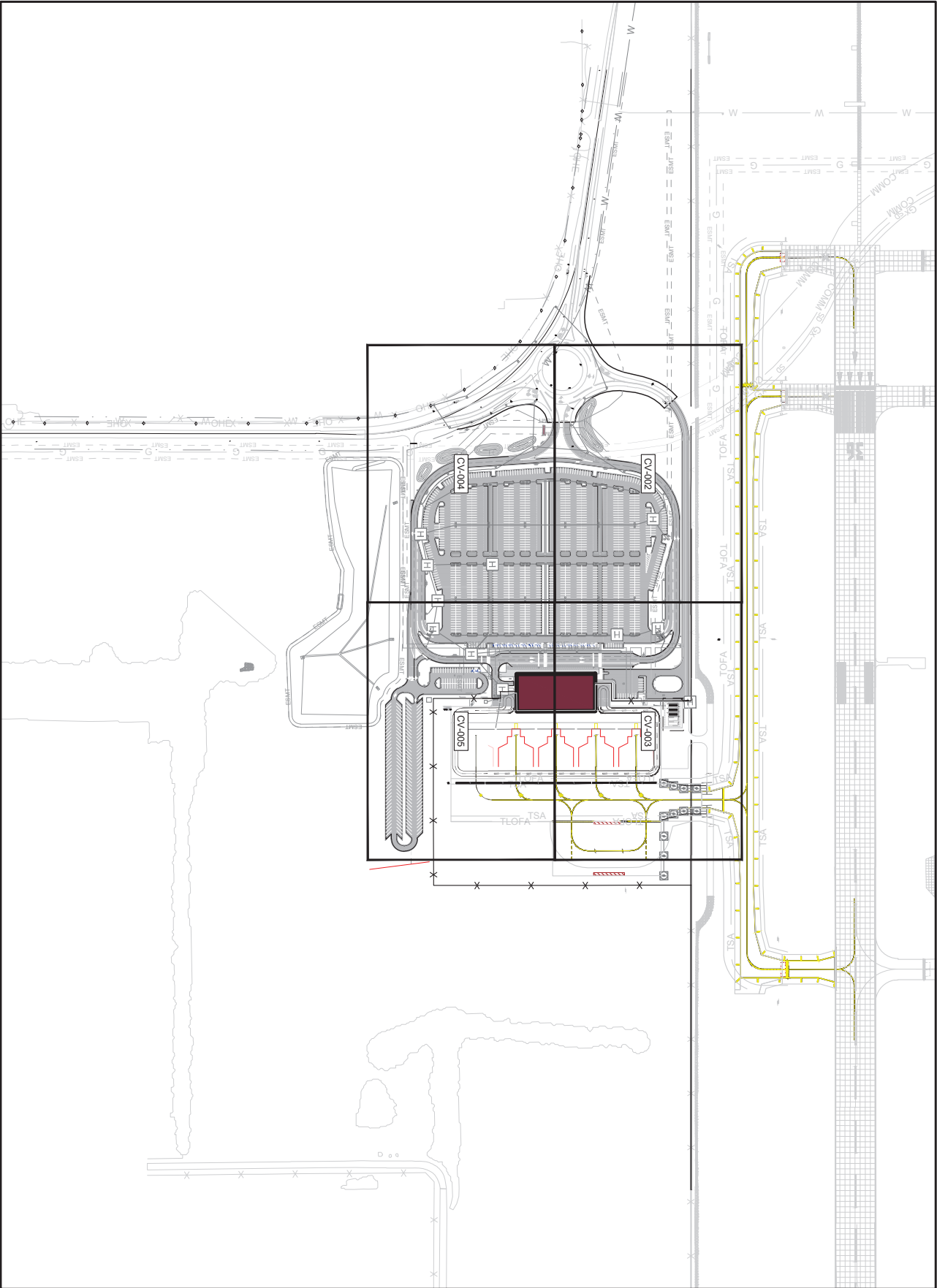
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2. HVAC SHALL BE ROOF MOUNTED.

CAUTION. UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

TEXAS STATE LAW, THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES SURFICANT ADVANCE NOTIFICATION THROUGH THE TEXAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPOSURES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-245-4455. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE TEXAS ONE-CALL SYSTEM. THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES AS WELL AS THE ONE-CALL SYSTEM.

| GEORGAPHIC ID        | LEGAL DESCRIPTION OF PROPERTY                                 |
|----------------------|---------------------------------------------------------------|
| R-6691-00-01-00-30-1 | ABS A0091 G B PLANT SURVEY, SHEET 1, TRACT 3, 16.221 ACRES    |
| R-6691-00-01-00-30-1 | ABS A0091 G B PLANT SURVEY, SHEET 1, TRACT 5, 19.4051 ACRES   |
| R-6691-00-01-00-30-1 | ABS A0517 R B HOOKS SURVEY, SHEET 1, TRACT 118, 141.612 ACRES |
| R-6691-00-01-00-30-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 54, 1.582 ACRES    |
| R-6691-00-01-00-30-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 6, 0.6931 ACRES    |
| R-6691-00-01-00-30-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 43, 33.656 ACRES   |
| R-6691-00-01-00-30-1 | ABS A0674 RUPUS SEWELL SURVEY, TRACT 20, 50.000 ACRES         |
| R-6691-00-01-00-30-1 | ABS A0674 RUPUS SEWELL SURVEY, TRACT 1, 17.8708 ACRES         |



THIS DOCUMENT, ALONG WITH THE IDEAS AND DESIGNS CONVEYED HEREIN, SHALL BE CONSIDERED INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROPERTY OF GARYER, LLC. ANY USE, REPRODUCTION, OR DISTRIBUTION OF THIS DOCUMENT, ALONG WITH THE IDEAS AND DESIGNS CONVEYED HEREIN, IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY GARYER, LLC OR EXPLICITLY ALLOWED IN THE GOVERNING PROFESSIONAL SERVICES AGREEMENT FOR THIS WORK.

**REGISTRATION NO.**  
**F-5713**

F-5713

REGISTRATION NO.

## PRELIMINARY DESIGN

THIS DOCUMENT IS RELEASED FOR THE  
PURPOSE OF INTERIM REVIEW UNDER THE  
AUTHORITY OF RIKKI D. WEAVER, P.E., NO.  
133574, ON 10/18/2024. IT IS NOT TO BE USED  
FOR CONSTRUCTION, OR PERMIT PURPOSES

| REV. | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
|      |      |             |    |
|      |      |             |    |
|      |      |             |    |
|      |      |             |    |

McKINNEY NATIONAL AIRPORT  
McKINNEY, TX



## EASTSIDE TERMINAL INFRASTRUCTURE DESIGN

## SITE PLAN OVERVIEW

JOB NO.: 23A11174

DATE: NOV. 2024  
DESIGNED BY: WFM

DRAWN BY: KCP

BAR IS ONE INCH ON  
ORIGINAL DRAWING  
0 1"

**CV-001**

NUMBER

6

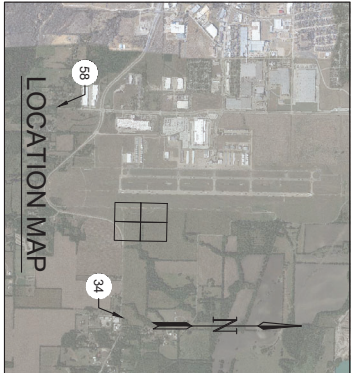


CITY OF MCKINNEY STANDARD NOTATIONS:

1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY DESIGN SPECIFICATIONS.
2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT FOR NON-RESIDENTIAL AND MULTI-FAMILY USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
3. THE LIGHTING FOR THE SUBJECT PROPERTY SHALL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH ARTICLE 6 OF THIS CODE AND CHAPTER 98 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.

## CITY SURVEY CONTROL MONUMENTS

| NAME        | NORTHING   | EASTING    | ELEVATION | DESCRIPTION          |
|-------------|------------|------------|-----------|----------------------|
| MONUMENT 34 | 7113081.06 | 2567962.48 | 570.22    | MONUMENT IN HEADWALL |
| MONUMENT 58 | 7110756.78 | 2560105.36 | 542.47    | CONCRETE MONUMENT    |



## LEGEND

|                                                                                   |                               |
|-----------------------------------------------------------------------------------|-------------------------------|
|  | PROPOSED CONCRETE<br>PAVEMENT |
|  | PROPOSED CONCRETE SIDEWALK    |
|  | FIRE LANE                     |
|  | PROPOSED PROPERTY LINE        |
|  | EXISTING PROPERTY LINE        |
|  | PROPOSED LIGHT POLE           |
|  | PROPOSED HANDHOLE             |

## SITE DATA TABLE

|                                    |                               |
|------------------------------------|-------------------------------|
| PROPOSED USE                       | AIRPORT TERMINAL              |
| ZONING                             | AP                            |
| TOTAL BUILDING AREA                | 48,000 SF                     |
| BUILDING HEIGHT                    | <30'                          |
| DETENTION POND AND LANDSCAPE AREAS | 507,585 SQ FT (30%)           |
| FLOOR AREA RATIO                   | 48,000 SQ FT (3%)             |
| IMPERVIOUS AREA                    | 1,128,010 SQ FT (67%)         |
| TOTAL LOT AREA                     | 1,613,595 SQ FT (38.65 ACRES) |
| PARKING REQUIRED                   | NO REQUIREMENTS               |
| STANDARD SURFACE PARKING PROVIDED  | 1,609 SPACES                  |
| HANDICAP REQUIRED                  | 27 SPACES                     |
| HANDICAP PROVIDED                  | 30 SPACES                     |
| TOTAL SPACES PROVIDED              | 1,639 SPACES                  |

**NOTE:**

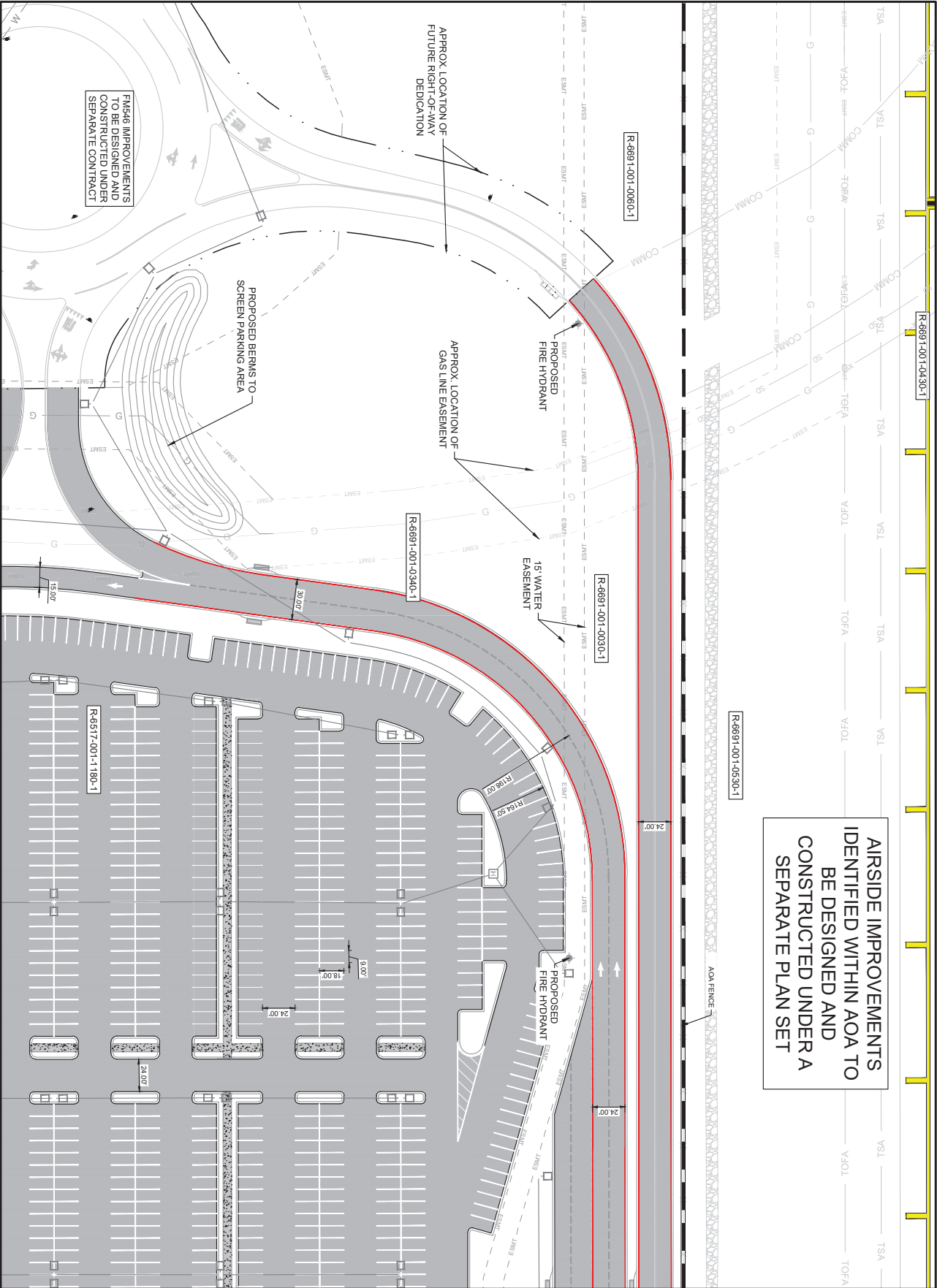
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. HVAC SHALL BE ROOF MOUNTED.

CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT

ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

TEXAS STATE LAW, E. UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUESTS SUFFICIENT ADVANCE NOTIFICATION THROUGH THE TEXAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPOSURES (EXCEPT IN THE CASE OF AN EMERGENCY), THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-245-4545. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE TEXAS ONE-CALL SYSTEM. THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES AS WELL AS THE ONE-CALL SYSTEM.

|                    | GEOGRAPHIC ID                                                | LEGAL DESCRIPTION OF PROPERTY |
|--------------------|--------------------------------------------------------------|-------------------------------|
| R-68697-001-0030-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 3, 16.2271 ACRES  |                               |
| R-68697-001-0030-2 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 3S, 19.4067 ACRES |                               |
| R-68697-001-0030-3 | ABS A0517 R H LOCKE SURVEY, SHEET 1, TRACT 11B, 14.612 ACRES |                               |
| R-68697-001-0030-4 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 24A, .1592 ACRES  |                               |
| R-68697-001-0030-5 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 2, 69.5171 ACRES  |                               |
| R-68697-001-0040-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 43, 33.8368 ACRES |                               |
| R-68697-001-0040-2 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 20, 50.7096 ACRES |                               |
| R-68697-001-0050-1 | ABS A0674 RUFINUS SEWELL SURVEY, TRACT 20, 17.8789 ACRES     |                               |
| R-68697-001-0050-2 | ABS A0674 RUFINUS SEWELL SURVEY, TRACT 1, 17.8789 ACRES      |                               |
| R-68697-001-0050-3 | ABS A0674 RUFINUS SEWELL SURVEY, TRACT 1, 17.8789 ACRES      |                               |



# MATCHLINE SHEET CV-003

| REV. | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
|      |      |             |    |
|      |      |             |    |
|      |      |             |    |
|      |      |             |    |

## PRELIMINARY DESIGN

THIS DOCUMENT IS RELEASED FOR THE  
PURPOSE OF INTERIM REVIEW UNDER THE  
AUTHORITY OF RIKKI D. WEAVER, P.E., NO.  
133574, ON 10/18/2024. IT IS NOT TO BE USED  
FOR CONSTRUCTION, OR PERMIT PURPOSES.

REGISTRATION NO.

F-5713

GAHV EHS

THIS DOCUMENT, ALONG WITH THE IDEAS AND DESIGNS CONVEYED HEREIN, SHALL BE CONSIDERED INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROPERTY OF GARVER, LLC. ANY REPRODUCTION, OR DISTRIBUTION OF THIS DOCUMENT, ALONG WITH THE IDEAS AND DESIGNS CONTAINED HEREIN, IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY GARVER, LLC OR EXPLICITLY ALLOWED IN THE GOVERNING PROFESSIONAL SERVICES AGREEMENT FOR THIS WORK.

JOB NO.: 23A11174  
DATE: NOV. 2024  
DESIGNED BY: WFM  
DRAWN BY: KCP

**McKINNEY NATIONAL AIRPORT**  
McKINNEY, TX

McKINNEY, TX

## EASTSIDE TERMINAL INFRASTRUCTURE DESIGN

AN 1

MATCHLINE SHEET CV-004

6  
STEEL  
NUMBER

6

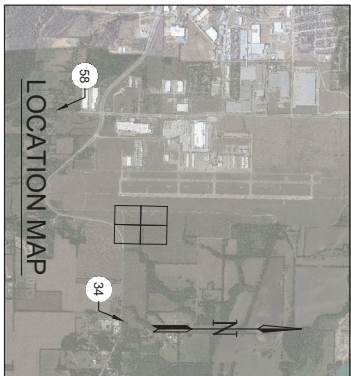


CITY OF MCKINNEY STANDARD NOTATIONS

1. THE SANITATION CONTAINER SCREENING WALLS SHALL BE BRICK MASONRY, STONE MASONRY, OR OTHER ARCHITECTURAL MASONRY FINISH, INCLUDING A METAL GATE, PRIMED AND PAINTED, AND THE SANITATION CONTAINER SCREENING WALLS, GATE, AND PAD SITE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY DESIGN SPECIFICATIONS.
2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT FOR NON-RESIDENTIAL AND MULTI-FAMILY USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
3. THE LIGHTING FOR THE SUBJECT PROPERTY SHALL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH ARTICLE 6 OF THIS CODE AND CHAPTER 38 OF THE CITY OF MADISON'S CODE OF ORDINANCES.

## CITY SURVEY CONTROL MONUMENTS

| NAME        | NORTHING   | EASTING    | ELEVATION | DESCRIPTION          |
|-------------|------------|------------|-----------|----------------------|
| MONUMENT 34 | 7113081.06 | 2657982.48 | 570.22    | MONUMENT IN HEADWALL |
| MONUMENT 58 | 7110756.78 | 2650105.36 | 542.47    | INSTALLED IN 2007    |



## LEGEND

- |                                                                                   |                            |
|-----------------------------------------------------------------------------------|----------------------------|
|  | PROPOSED CONCRETE PAVEMENT |
|  | PROPOSED CONCRETE SIDEWALK |
|  | FIRE LANE                  |
|  | PROPOSED PROPERTY LINE     |
|  | EXISTING PROPERTY LINE     |
|  | PROPOSED LIGHT POLE        |
|  | PROPOSED HANDHOLE          |

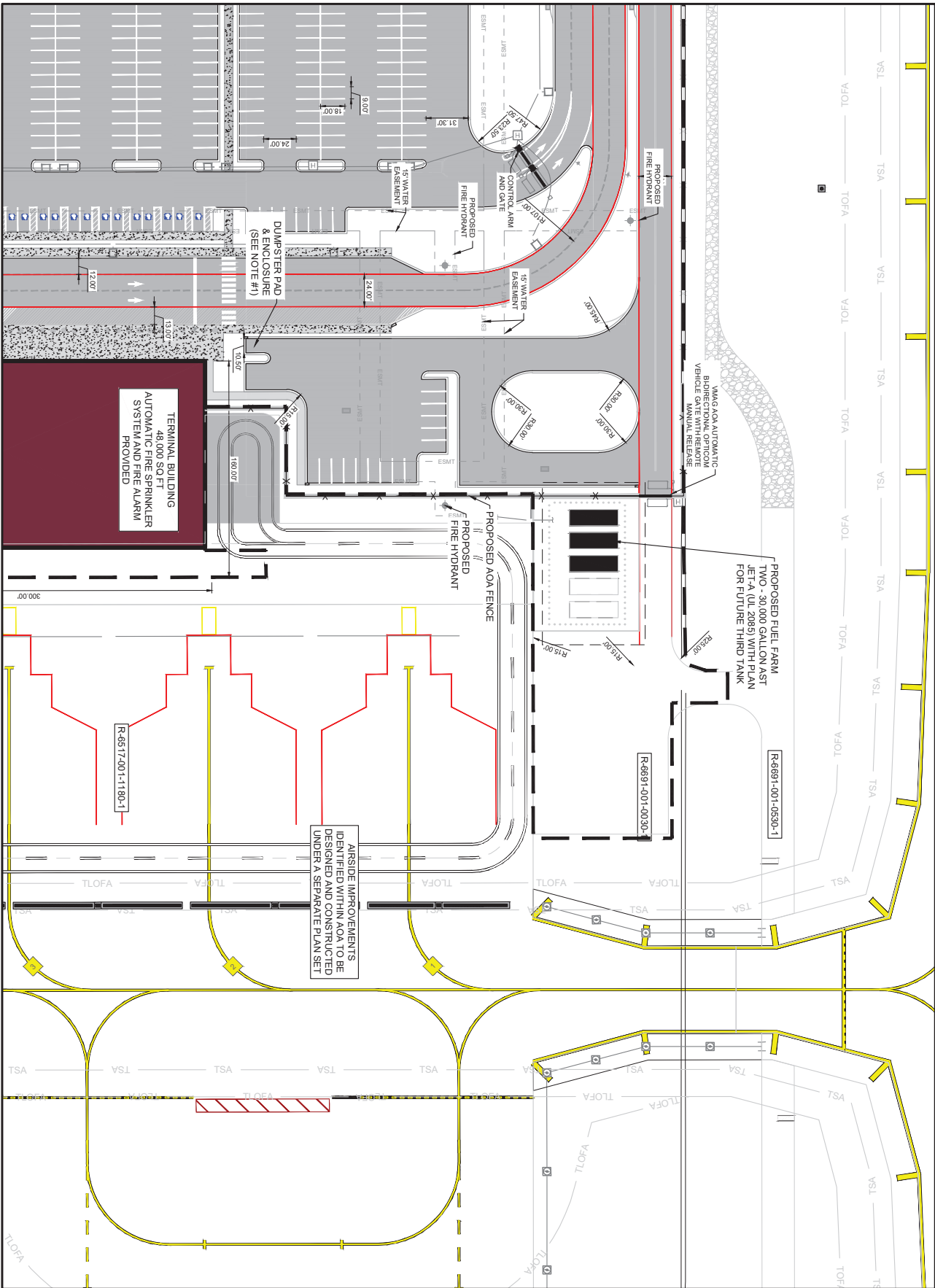
## SITE DATA TABLE

| PROPOSED USE                      | AP                            |
|-----------------------------------|-------------------------------|
| ZONING                            |                               |
| TOTAL BUILDING AREA               | 48,000 SF                     |
| BUILDING HEIGHT                   | <30'                          |
| DEVELOPMENT OF LANDSCAPE AREAS    | 507,585 SQ FT (30%)           |
| FLOOR AREA RATIO                  | 48,000 SQ FT (3%)             |
| IMPERVIOUS AREA                   | 1,182,010 SQ FT (67%)         |
| TOTAL LOT AREA                    | 1,683,595 SQ FT (38.65 ACRES) |
| PARKING REQUIRED                  | NO REQUIREMENTS               |
| STANDARD SURFACE PARKING PROVIDED | 1609 SPACES                   |
| HANDICAP REQUIRED                 | 27 SPACES                     |
| HANDICAP PROVIDED                 | 30 SPACES                     |
| TOTAL SPACES PROVIDED             | 1639 SPACES                   |

|Z|

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. HVAC SHALL BE ROOF MOUNTED.

## MATCHLINE SHEET CV-002



CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION, AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

TEXAS STATE LAW: THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES SUFFICIENT ADVANCE NOTIFICATION THROUGH THE TEXAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPLOSIVES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1.800.254.4545. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE TEXAS ONE-CALL SYSTEM. THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT A NON-MEMBER UTILITIES AS WELL AS THE ONE-CALL SYSTEM.

| GEORGAPHIC ID        | LEGAL DESCRIPTION OF PROPERTY                                 |
|----------------------|---------------------------------------------------------------|
| R-6691-00-01-00-30-1 | ABS A0091 G B PLANT SURVEY, SHEET 1, TRACT 3, 16.221 ACRES    |
| R-6691-00-01-00-30-1 | ABS A0091 G B PLANT SURVEY, SHEET 1, TRACT 5, 19.4051 ACRES   |
| R-6691-00-01-00-30-1 | ABS A0517 R B HOOKS SURVEY, SHEET 1, TRACT 118, 141.612 ACRES |
| R-6691-00-01-00-30-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 24, 1.582 ACRES    |
| R-6691-00-01-00-30-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 46, 0.9631 ACRES   |
| R-6691-00-01-00-30-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 43, 33.865 ACRES   |
| R-6691-00-01-00-30-1 | ABS A0674 RUPUS SEWELL SURVEY, TRACT 20, 50.009 ACRES         |
| R-6691-00-01-00-30-1 | ABS A0674 RUPUS SEWELL SURVEY, TRACT 1, 17.878 ACRES          |



PRELIMINARY DESIGN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RIKKI D. WEAVER, P.E., NO. 133574, ON 10/18/2024. IT IS NOT TO BE USED FOR CONSTRUCTION, OR PERMIT PURPOSES.

| REV. | DATE | DESCRIPTION | BY |
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|      |      |             |    |

McKINNEY NATIONAL AIRPORT  
McKINNEY, TX

EASTSIDE TERMINAL  
INFRASTRUCTURE DESIGN

## SITE PLAN 2

JOB NO.: 23A11174  
DATE: NOV. 2024  
DESIGNED BY: WFM  
DRAWN BY: KCP

BACK IS ONE INCH ON  
ORIGINAL DRAWING  
0 1"  
IF NOT ONE INCH ON THIS SHEET  
ADJUST SCALES ACCORDINGLY  
DRAWING NUMBER  
**CY-003**  
SHEET  
NUMBER **7**

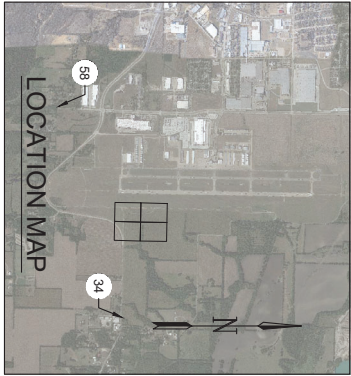


CITY OF MCKINNEY STANDARD NOTATIONS:

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3. THE LIGHTING FOR THE SUBJECT PROPERTY SHALL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH ARTICLE 6 OF THIS CODE AND CHAPTER 98 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.

CITY SURVEY CONTROL MONUMENTS

| NAME        | MONTH/ING    | EASTING    | ELEVATION | DESCRIPTION          |
|-------------|--------------|------------|-----------|----------------------|
| MONUMENT 34 | 7/13/2081.06 | 2557952.48 | 57.22     | MONUMENT IN HEADWALL |
| MONUMENT 58 | 7/10/756.78  | 2550105.38 | 54.247    | INSTALLED IN 2007    |



LEGEND

|  |                            |
|--|----------------------------|
|  | PROPOSED CONCRETE          |
|  | PROPOSED CONCRETE SIDEWALK |
|  | FIRE LANE                  |
|  | PROPOSED PROPERTY LINE     |
|  | EXISTING PROPERTY LINE     |
|  | PROPOSED LIGHT POLE        |
|  | PROPOSED HANDHOLE          |

SITE DATA TABLE

|                                    |                               |
|------------------------------------|-------------------------------|
| PROPOSED USE                       | AIRPORT TERMINAL              |
| ZONING                             | AP                            |
| TOTAL BUILDING AREA                | 48,000 SF                     |
| BUILDING HEIGHT                    | <30'                          |
| DETENTION POND AND LANDSCAPE AREAS | 507,586 SQ FT (90%)           |
| FLOOR AREA RATIO                   | 48,000 SQ FT (3%)             |
| INTERVIOUS AREA                    | 1,128,010 SQ FT (67%)         |
| TOTAL LOT AREA                     | 1,683,596 SQ FT (38.65 ACRES) |
| PARKING REQUIRED                   | NO REQUIREMENTS               |
| STANDARD SURFACE PARKING PROVIDED  | 1,609 SPACES                  |
| HANDICAP PROVIDED                  | 27 SPACES                     |
| TOTAL SPACES                       | 30 SPACES                     |
| TOTAL SPACES PROVIDED              | 1,639 SPACES                  |

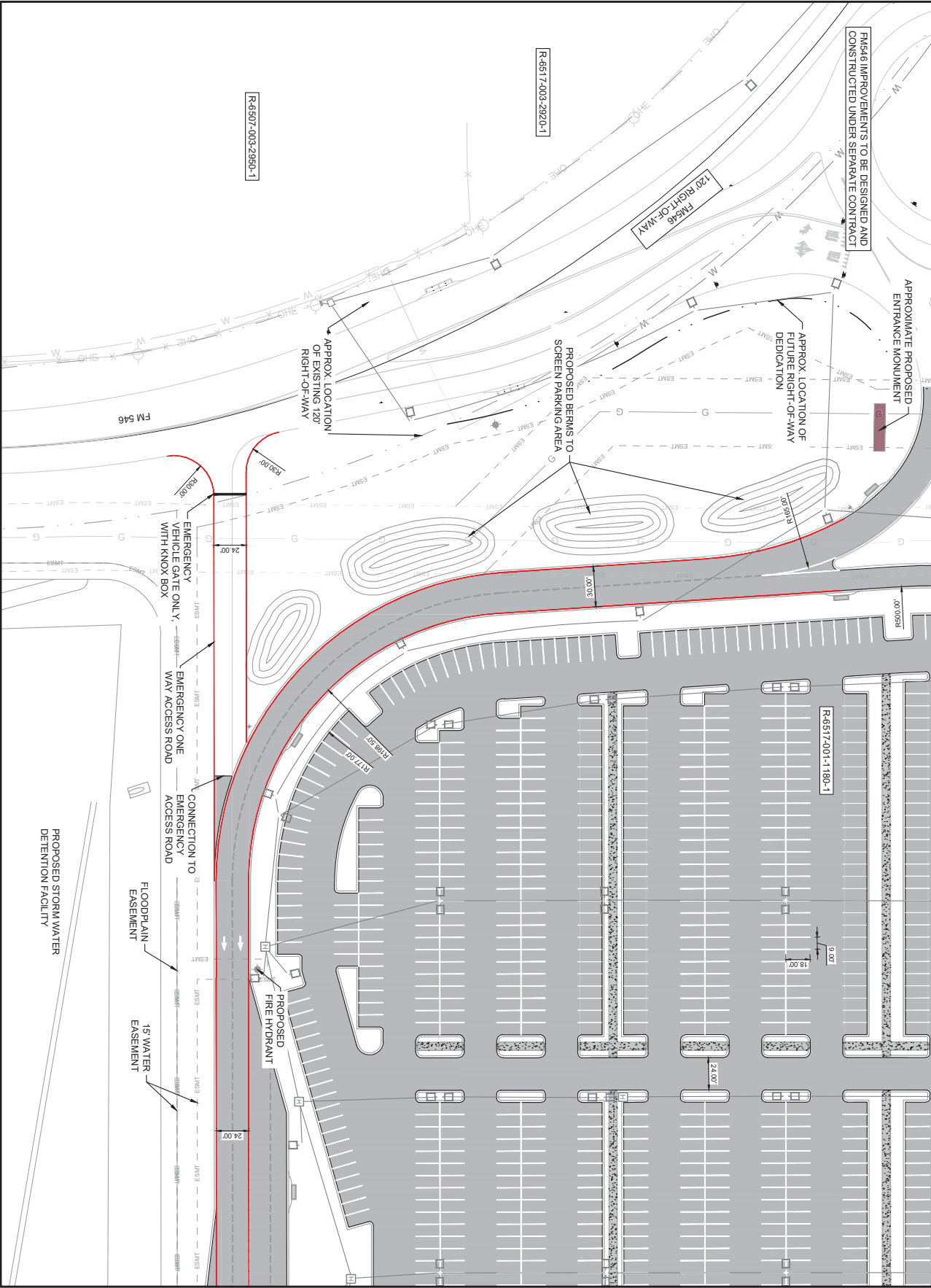
NOTE:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. HVAC SHALL BE ROOF MOUNTED.

CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

TEXAS STATE LAW, THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES SUFFICIENT ADVANCE NOTIFICATION THROUGH THE TEXAS ONE-CALL SYSTEM CENTER BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPOSURES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-256-4845. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE TEXAS ONE-CALL SYSTEM. THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES AS WELL AS THE ONE-CALL SYSTEM.

MATCHLINE SHEET CV-002



MATCHLINE SHEET CV-005

| GEOGRAPHIC ID     | LEGAL DESCRIPTION OF PROPERTY                                |
|-------------------|--------------------------------------------------------------|
| R-6691-001-0030-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 3, 18.2271 ACRES  |
| R-6691-001-0530-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 53, 19.4061 ACRES |
| R-6617-001-1180-1 | ABS A0517 R FLOODE SURVEY, SHEET 1, TRACT 118, 147.612 ACRES |
| R-6691-001-0340-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 34, 1582 ACRES    |
| R-6691-001-0060-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 6, 69.511 ACRES   |
| R-6691-001-0430-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 43, 33.889 ACRES  |
| R-6874-000-0200-1 | ABS A0874 RUFUS SEWELL SURVEY, TRACT 20, 50.089 ACRES        |
| R-6874-000-0010-1 | ABS A0874 RUFUS SEWELL SURVEY, TRACT 1, 17.8789 ACRES        |

| REV. | DATE | DESCRIPTION | BY |
|------|------|-------------|----|
|      |      |             |    |
|      |      |             |    |
|      |      |             |    |

PRELIMINARY DESIGN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RIKKI D. WEAVER, P.E., NO. 133574, ON 10/16/2024. IT IS NOT TO BE USED FOR CONSTRUCTION, OR PERMIT PURPOSES.

REGISTRATION NO. F-5713



MCKINNEY NATIONAL AIRPORT  
McKINNEY, TX

**McKinney**  
NATIONAL AIRPORT

EASTSIDE TERMINAL  
INFRASTRUCTURE DESIGN

SITE PLAN 3

JOB NO.: 23A11174  
DATE: NOV. 2024  
DESIGNED BY: WFM  
DRAWN BY: KCP

DRAWN BY: KCP  
DATE: NOV. 2024  
DESIGNED BY: WFM  
DRAWN BY: KCP

DRAWING NUMBER  
**CV-004**  
SHEET NUMBER  
**8**

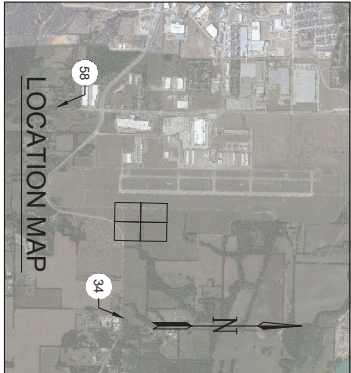


CITY OF MCKINNEY STANDARD NOTATIONS:

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2. MECHANICAL AND HEATING AND AIR CONDITIONING EQUIPMENT FOR NONRESIDENTIAL AND MULTI-FAMILY USES SHALL BE SCREENED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND FROM ADJACENT RESIDENTIAL PROPERTIES.
3. THE LIGHTING FOR THE SUBJECT PROPERTY SHALL BE CONSTRUCTED AND OPERATED IN CONFORMANCE WITH ARTICLE 6 OF THIS CODE AND CHAPTER 98 OF THE CITY OF MCKINNEY CODE OF ORDINANCES.

CITY SURVEY CONTROL MONUMENTS

| NAME        | LOCATION   | EASTING    | NORTHING | DESCRIPTION          |
|-------------|------------|------------|----------|----------------------|
| MONUMENT 34 | 7113081.06 | 2557952.48 | 570.22   | MONUMENT IN HEADWALL |
| MONUMENT 58 | 7110756.78 | 2550105.38 | 542.47   | INSTALLED IN 2007    |



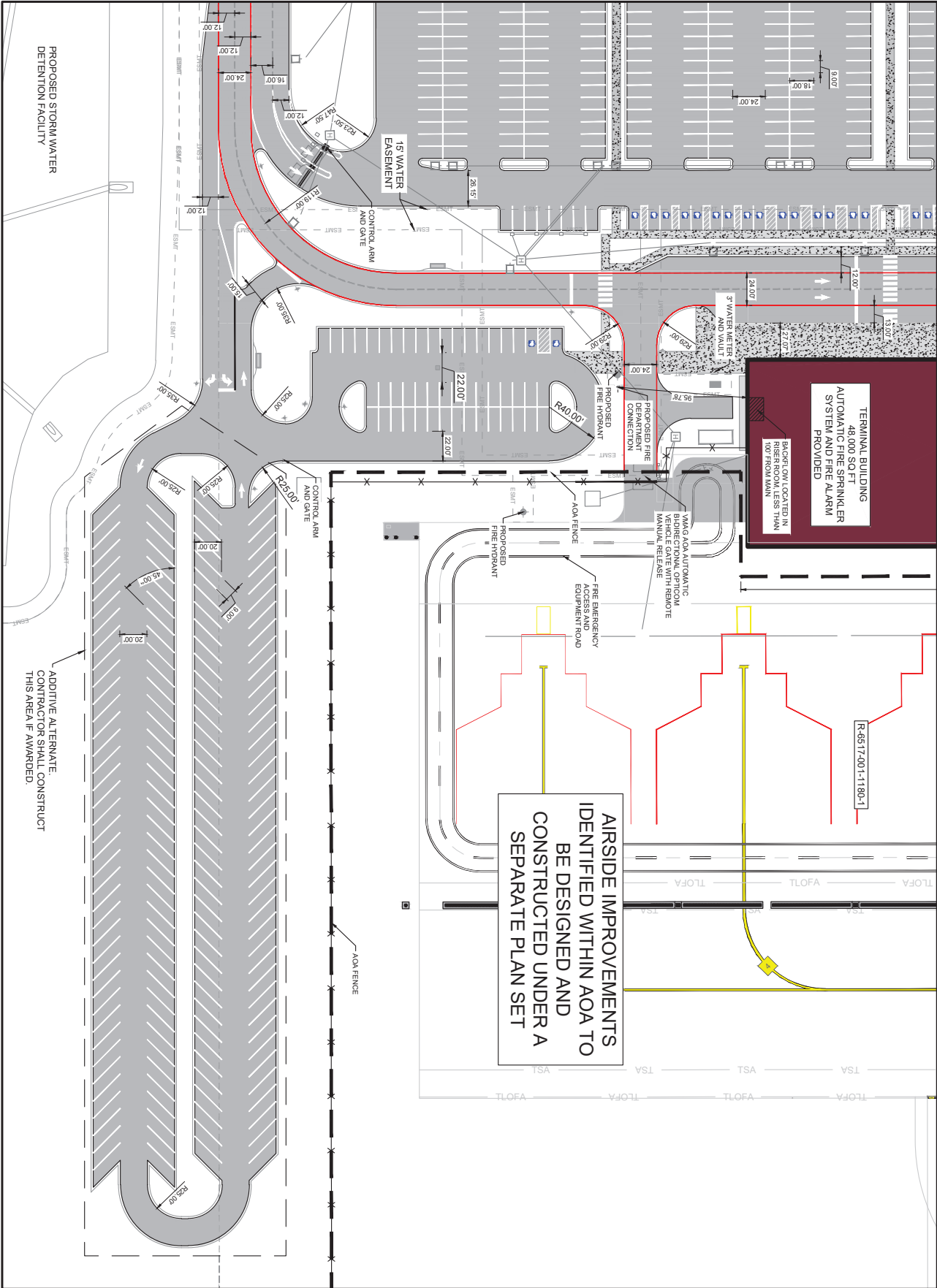
**LEGEND**

- PROPOSED CONCRETE
- PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- FIRE LANE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED LIGHT POLE
- PROPOSED HANDHOLE

| SITE DATA TABLE                    |                               |
|------------------------------------|-------------------------------|
| PROPOSED USE                       | AIRPORT TERMINAL              |
| ZONING                             | AP                            |
| TOTAL BUILDING AREA                | 48,000 SF                     |
| BUILDING HEIGHT                    | <30'                          |
| DETENTION POND AND LANDSCAPE AREAS | 507,586 SQ FT (90%)           |
| FLOOR AREA RATIO                   | 48,000 SQ FT (3%)             |
| INTERVENOUS AREA                   | 1,128,010 SQ FT (67%)         |
| TOTAL LOT AREA                     | 1,683,596 SQ FT (38.66 ACRES) |
| PARKING REQUIRED                   | NO REQUIREMENTS               |
| STANDARD SURFACE                   | 1609 SPACES                   |
| HANDICAP PROVIDED                  | 27 SPACES                     |
| TOTAL SPACES                       | 30 SPACES                     |
| TOTAL SPACES PROVIDED              | 1639 SPACES                   |

- NOTE:
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. HVAC SHALL BE ROOF MOUNTED.

MATCHLINE SHEET CV-004



MATCHLINE SHEET CV-003

CAUTION: UNDERGROUND UTILITIES EXIST WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION. AN ATTEMPT HAS BEEN MADE TO LOCATE THESE UTILITIES ON THE PLANS. HOWEVER, ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THE ACTUAL LOCATIONS OF THE UTILITIES MAY VARY FROM THE LOCATIONS SHOWN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION, THE CONTRACTOR SHALL CONTACT THE UTILITIES INVOLVED AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITIES ON THE GROUND. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

TEXAS STATE LAW, THE UNDERGROUND FACILITIES DAMAGE PREVENTION ACT, REQUIRES SUFFICIENT ADVANCE NOTIFICATION THROUGH THE TEXAS ONE-CALL SYSTEM BEFORE EXCAVATING USING MECHANIZED EQUIPMENT OR EXPLOSIVES (EXCEPT IN THE CASE OF AN EMERGENCY). THE ONE-CALL SYSTEM PHONE NUMBER IS 1-800-256-4845. THE CONTRACTOR IS ADVISED THAT THERE IS A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE TEXAS ONE-CALL SYSTEM. THEREFORE, THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBER UTILITIES AS WELL AS THE ONE-CALL SYSTEM.

| GEOGRAPHIC ID     | LEGAL DESCRIPTION OF PROPERTY                                  |
|-------------------|----------------------------------------------------------------|
| R-6691-001-003C-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 3, 15.2271 ACRES    |
| R-6691-001-053C-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 53, 19.4061 ACRES   |
| R-6617-001-118C-1 | ABS A0517 R FLOODING SURVEY, SHEET 1, TRACT 118, 147.612 ACRES |
| R-6691-001-034C-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 34, 15.82 ACRES     |
| R-6691-001-006C-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 6, 69.511 ACRES     |
| R-6691-001-043C-1 | ABS A0691 G B PLANT SURVEY, SHEET 1, TRACT 43, 33.889 ACRES    |
| R-6691-001-020C-1 | ABS A0674 RUFUS SEWELL SURVEY, TRACT 20, 50.089 ACRES          |
| R-6617-000-0010-1 | ABS A0874 RUFUS SEWELL SURVEY, TRACT 1, 17.8789 ACRES          |

PRELIMINARY DESIGN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF RIKKI D. WEAVER, P.E., NO. 133574, ON 10/18/2024. IT IS NOT TO BE USED FOR CONSTRUCTION, OR PERMIT PURPOSES.

REGISTRATION NO. F-5713



THIS IS ONE PART OF A SET OF DRAWINGS. THE ENTIRE SET OF DRAWINGS MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD BEFORE ANY CONSTRUCTION BEGINS. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY CONSTRUCTION NOT IN ACCORDANCE WITH THE DRAWINGS.

MCKINNEY NATIONAL AIRPORT  
McKINNEY, TX

**McKinney**

EASTSIDE TERMINAL  
INFRASTRUCTURE DESIGN

JOB NO.: 23A11174  
DATE: NOV. 2024  
DESIGNED BY: WFM  
DRAWN BY: KOP

DATE: NOV. 2024  
DRAWN BY: KOP

0' 1" = 1' 0"

0' 1" = 1' 0"

DRAWING NUMBER  
**CV-005**

SHEET  
NUMBER  
**9**